

Planning Commission

Agenda Amended 11/7/16

**November 10, 2016
City Hall, Council Chambers
749 Main Street
6:30 PM**

For agenda item detail see the Staff Report and other supporting documents included in the complete meeting packet.

Public Comment will be limited to three (3) minutes per speaker.

- I. Call to Order
- II. Roll Call
- III. Approval of Agenda
- IV. Approval of Minutes
 - October 13, 2016
- V. Public Comment on Items Not on the Agenda
- VI. Old Business – Public Hearing Items
 - **Delo Lofts Final Plat/PUD/SRU:** A request for a final Plat and planned unit development (PUD) and special review use (SRU) to allow for eight live/work units and 33 apartment units in the Hwy 42 Revitalization Area. **Continued from 10/13/16**
 - Applicant: Delo East, LLC (Justin McClure)
 - Owner: Boom, LLC (Elizabeth Law-Evans)
 - Representative: RMCS, Inc (Justin McClure)
 - Case Manager: Scott Robinson, Planner III/Kristin Dean, Principal Planner
 - **Centennial Pavilions Final Plat:** A request for a re-plat of Centennial Pavilions Filing No. 1 to create four separate legal lots. **Continued from 10/13/16**
 - Applicant and Representative: NexGen Properties (Sean Sjodin)
 - Owner: NexGen Properties, Walorado Partners LLC, Centennial Pavillion Lofts Owner's Association
 - Case Manager: Lauren Trice, Associate Planner
- VII. New Business – Public Hearing Items
 - **North End Market PUD/GDP Amendment:** A request for a final Planned Unit Development (PUD) and General Development Plan (GDP) amendment to allow 40,000 SF of commercial and 38 dwelling units.
 - Applicant, Owner, and Representative: Ridgeline Development Corp (Chad Kipfer)
 - Case Manager: Scott Robinson, Planner III/ Kristin Dean, Principal Planner

- **Crystal Springs SRU:** A request for a special review use (SRU) to allow a tap room at 600 Main Street.
 - Applicant and Representative: Crystal Springs Brewing Company, LLC (Tom Horst)
 - Owner: Martin and Karen Achtermann
 - Case Manager: Rob Zuccaro, Planning and Building Safety Director
- **Lot 2, Block 3 Park at CTC PUD:** A request for a Planned Unit Development for a 49,600 SF flex building.
 - Applicant, Owner, and Representative: Balfour Senior Living (Hunter MacLeod)
 - Case Manager: Scott Robinson, Planner III/Lauren Trice, Associate Planner
- **Innovative Openings:** A request for a Planned Unit Development and easement vacation for a 15,101 SF office, manufacturing and warehouse facility.
 - Applicant and Representative: Rosenthal Associates, LLC (Bob Rosenthal)
 - Owner: PF Investments, LLC
 - Case Manager: Kristin Dean, Principal Planner

VIII. Planning Commission Comments

IX. Staff Comments

X. Items Tentatively Scheduled for the regular meeting December 8, 2016:

- **Medtronic PUD/Plat:** A request for an amended Planned Unit Development and Subdivision Plat for a 40,000 SF office addition, increase in parking area and revised drainage plan
 - Applicant and Representative: CTC Commercial III, LLC (Steve Meyers)
 - Owner: Leslie Malone
 - Case Manager: Rob Zuccaro, Planning and Building Safety Director
- **1517 Main Street Minor Subdivision:** A request for a final plat to subdivide the existing 31,000 SF lot into two lots.
 - Applicant: Jesse Truman
 - Owner: Janice Tesone
 - Representative: Altitude Land Consultant (Galen Hagen-Peter)
 - Case Manager: Lauren Trice, Associate Planner
- **Clementine Preliminary PUD/Preliminary Plat:** A request for a preliminary plat and preliminary planned unit development (PUD) for 44 townhome units on 3.6 acres.
 - Applicant: Louisville Gateway, LLC (Mike Jones and Mike Eisenstein)
 - Owner: Mike Jones and Mike Eisenstien
 - Representative: Hartronft Associates (Erik Hartronft)
 - Case Manager: Rob Zuccaro, Planning & Building Safety Director

XI. Adjourn

**Planning Commission
Meeting Minutes
October 13, 2016
City Hall, Council Chambers
749 Main Street
6:30 PM**

Call to Order – Pritchard called the meeting to order at 6:30 p.m.

Roll Call was taken and the following members were present:

Commission Members Present: Chris Pritchard, Chair
Ann O’Connell, Vice Chair
Steve Brauneis, Secretary
Jeff Moline
Tom Rice
David Hsu

Commission Members Absent: Monica Sheets

Staff Members Present: Rob Zuccaro, Dir of Planning and Building Safety
Scott Robinson, Planner III
Lauren Trice, Planner II
Susie Bye, Planning Clerk

Approval of Agenda:

O’Connell moved and **Brauneis** seconded a motion to approve the October 13, 2016 agenda. Motion passed by voice vote.

Approval of Minutes:

Brauneis moved and **O’Connell** seconded a motion to approve the September 8, 2016 minutes. Motion passed by voice vote.

Public Comments: Items not on the Agenda
None.

Regular Business:

- **197 S 104th PUD Amendment, Resolution 21, Series 2016.** A resolution recommending approval of an amendment to the final Planned Unit Development (PUD) plan for Lots 2A & 3A, Block 4, Business Center at CTC to construct a 6,267 SF addition.
 - Applicant and Representative: JM Associates, Inc (Jerry Moore)
 - Owner: CTC Commercial I, LLC (Steve Meyers)
 - Case Manager: Scott Robinson, Planner III

Conflict of Interest and Disclosure:
None.

Public Notice Certification:

Published in the Boulder Daily Camera on September 25, 2016. Posted in City Hall, Public Library, Recreation Center, and the Courts and Police Building, and mailed to surrounding property owners on September 23, 2016.

Staff Report of Facts and Issues:

Robinson presented from Power Point:

- Located in CTC
- Property zone Planned Community Zone District-Industrial (PCZD-I)
- Required to follow IDDSG
- Located at the corner of 104th Street and Dogwood Street
- Proposed 6,267 SF refrigerator on the back of the building
- Does not impact landscaping or parking, meets both requirements
- Adequate parking based on current uses
- Adequate separation to provide vehicular access
- Addition will be 37' tall which is taller than the existing buildings, but under the maximum allowed height of 40' in the IDDSG
- Exterior will be stucco to match the existing building and made of an insulating material

Staff Recommendations:

Staff recommends Planning Commission move to approve **197 S 104th PUD Amendment, Resolution 21, Series 2016**. A resolution recommending approval of an amendment to the final Planned Unit Development (PUD) plan for Lots 2A & 3A, Block 4, Business Center at CTC to construct a 6,267 SF addition.

Commission Questions of Staff:

Rice asks if there are any waivers being sought. **Robinson** says no.

Hsu says "the proposed addition lacks architectural detailing, but given its size and location on the lot, Staff has determined it complies with the standards of the IDDSG". The IDDSG sets a standard to avoid blank walls at ground level. Does this comply and if it doesn't, isn't this a waiver?

Robinson says the IDDSG makes a distinction between the public zone and the nonpublic zone. There is a higher architectural standard in the public zone which is the area abutting public streets. Given this addition's location in the back of the building and setback from the south lot line from Dogwood Street, it is considered in the nonpublic zone and considered the back of the building which does not have those same requirements for visual interest. It is relatively small and is creating more articulation by having this addition stick out. Staff believes it complies with the IDDSG.

Applicant Presentation:

Jerry Moore, JM Associates, 589 Arapahoe Street, Boulder, CO

I am the architect and planner for this project. I will not make a presentation because the agenda this evening is long. We concur with Staff's review and their conclusions. I will be happy to address questions.

Commission Questions of Applicant:

Brauneis asks if you are at liberty to discuss why this is a large freezer.

Moore says the prime tenant in the building just to the north in the same PUD is Udi's Foods. They are expanding. This is a new division they are adding to their business and they need the freezer space. When the space is ready, they will be expanding into 80% of this building as well.

Public Comment: None.

Summary and request by Staff and Applicant:

Staff recommends approval of **197 S 104th PUD Amendment, Resolution 21, Series 2016**. A resolution recommending approval of an amendment to the final Planned Unit Development (PUD) plan for Lots 2A & 3A, Block 4, Business Center at CTC to construct a 6,267 SF addition.

Closed Public Hearing and discussion by Commission:

Hsu in support. I thank **Robinson** for answering my question about the IDDSG. Given that there are no waivers, this seems like an easy decision. **Moline** in support. **Brauneis** in support and encouraged to see a local business growing. **O'Connell** in support. **Rice** in support. Seems like an eminently reasonable use for this property and it complies with all our codes. **Pritchard** in support.

Motion made by **Brauneis** to approve **197 S 104th PUD Amendment, Resolution 21, Series 2016**. A resolution recommending approval of an amendment to the final Planned Unit Development (PUD) plan for Lots 2A & 3A, Block 4, Business Center at CTC to construct a 6,267 SF addition, seconded by **O'Connell**. Roll call vote.

Name	Vote
Chris Pritchard	Yes
Ann O'Connell	Yes
Steve Brauneis	Yes
Jeff Moline	Yes
Tom Rice	Yes
David Hsu	Yes
Monica Sheets	n/a
Motion passed/failed:	Pass

Motion passes 6-0.

- **North End Block 15 PUD amendment, Resolution 22, Series 2016**. A resolution recommending approval of an amendment to the final Planned Unit Development (PUD) plan for North End Block 15 to modify the building elevations.
 - Applicant, Owner, and Representative: Ridgeline Development Corp (Chad Kipfer)
 - Case Manager: Scott Robinson, Planner III

Conflict of Interest and Disclosure:

None.

Public Notice Certification:

Published in the Boulder Daily Camera on September 25, 2016. Posted in City Hall, Public Library, Recreation Center, and the Courts and Police Building, and mailed to surrounding property owners on September 23, 2016.

Staff Report of Facts and Issues:

Robinson presented from Power Point:

- Located in North End, Phase 2, at the corner of Hecla Way and Sweet Clover Lane
- Property zone Planned Community Zone District - Residential (PCZD-R)
- PUD for Blocks 12 & 15 approved in 2014
- Approved plan has 6-plex townhomes
- Complies with North End GDP standards
- Moved south 5 feet to provide solar access
- Provide better solar access to the property to the north which has invested in solar panels. The property owner is concerned that changes to this building will negatively affect their ability to get sunlight on the panels.
- New front design below. It is taller but complies with maximum height allowed in North End. It moves from the front gable roof to a side gable with butterfly wings on each end. It is a similar design to the other North End development to the east.



- New back design below. The butterfly wings on the ends have been cut off and go to a gable end.
- Building complies with all applicable regulations in the North End GDP. We do not have specific design guidelines for residential construction. Staff looks for compatibility with surrounding properties in the neighborhood.



Staff Recommendations:

Staff recommends Planning Commission move to approve **North End Block 15 PUD amendment, Resolution 22, Series 2016**. A resolution recommending approval of an amendment to the final Planned Unit Development (PUD) plan for North End Block 15 to modify the building elevations.

Commission Questions of Staff:

Rice asks if there are any waivers being sought. **Robinson** says no.

Rice says you alluded to those units being built to the east. Those are three stories as well. Is this completely consistent with that? **Robinson** says yes.

Brauneis asks what the City policy is on changes after the packet has been released.

Robinson says because it is a minor change to the PUD, we present it to you. If these were major substantive changes, we would ask for a continuance. Staff felt this is a small enough change to be handled at the meeting.

Applicant Presentation:

Chad Kipfer, Markel Homes, 5723 Arapahoe Avenue, Boulder, CO

The PUD included Block 12 and Block 15. At that time, Block 15 had a six-unit building on it.

The neighbor to the north brought to our attention that there could be potential shading of his solar panels on top of his house. We worked out a 3D model for the December 21 solar shadow

and decided to move the building 6' down, and make some changes on the back side of it. These buildings have been submitted for a permit. We think this is a good product. Kipfer shows a color elevation. The front of this product is unchanged from what you see now. We are ready to start construction once this is approved.

Commission Questions of Applicant:

Moline asks apart from the solar access issue with the neighbor to the north, did they have any other concerns with your proposal?

Kipfer says this was the main concern. They had a question about the alley to the north. The alley continues to a piece of open space where we will install an open rail fence and it is consistent with the look we have on all open space. We believe the neighbor is in support.

Brauneis says you mentioned 6', but Robinson mentioned 5'.

Kipfer says the actual setback is 12' from the property line, and the PUD has a 6' rear minimum. This building is not very deep so we pushed it another 6'. It is a total of 12' off the back. There is ample room in the front for the courtyards we are proposing.

Brauneis says it is six units and is staying six units. Are they larger in square footage?

Kipfer says they are not larger in square footage. It is a little different design. We had an elevation change on these, trying to stay with the market and keep designs current.

Hsu says can you speak briefly on what prompted the change from the original design to this design?

Kipfer says the original design was an older model townhouse. It was a gabled roof repetition. This is more in line with some of the condominium products we are doing that have more flat roofs, flatter elements, and sheds off the side. It is more current and is an interesting look. I think it is more marketable.

Public Comment:

Mark Cathcart, 1763 Sweet Clover Lane, Louisville, CO

I am the immediate neighbor in a single story ranch behind the alley. I did have some concerns originally. I'd like to thank Chad and Markel Homes for accommodating me. I had two concerns and the second one Chad did not mention, which is the sound of the air conditioning units that will be on the north side of the property. From what I understand in his last email, he has agreed to put baffling protection around those units. My house was specifically purchased to be a single story. I was very clear that I wanted to put solar on it well before the house was built. I am grateful that he has been able to find an accommodation for the solar. I remain marginally concerned about the noise from the AC units, but if they install the baffles or blankets, I will be quite happy with that. I am concerned because the two bedrooms we use are both on the ground floor on the other side of the privacy fence.

Hsu asks **Kipfer** about the baffling of the AC units.

Kipfer says there was a concern for the noise, so we are proposing to install a sound blanket around the compressor and inside the AC. My understanding is it cuts the sound by 40%. We are committed to doing it.

Summary and request by Staff and Applicant:

Staff recommends Planning Commission move to approve **North End Block 15 PUD amendment, Resolution 22, Series 2016**. A resolution recommending approval of an amendment to the final Planned Unit Development (PUD) plan for North End Block 15 to modify the building elevations.

Closed Public Hearing and discussion by Commission:

Rice in support. I am happy when we can have a more marketable product that complies with our codes. It seems we have accomplished it. I think there should be a condition regarding the AC blankets.

O’Connell in support. I suggest we change Resolution 22 as it is written. It says solely that they are modifying the building elevations. I am in favor of Resolution 22 to include that the setback increased 6 feet so it is now 12 feet back from the back line, the removal of butterfly wings to gable ends, and the switch from two stories to three stories.

Brauneis in support.

Moline in support. I had an opportunity to walk by the other buildings that this building will mimic in North End. This direction with architecture is an improvement over the existing plan.

Hsu in support. It is helpful that the applicant talked with the immediate neighbor to work out issues.

Brauneis says I am concerned about the sound concern. I think it is great the developer and the neighbor have worked something out. I hope the compressor blanket does achieve the 40%. This is not an issue we have taken on in development approval in the past. AC is a concern for every home or apartment complex. I don’t know if the PC is meant to consider this. In the long term, does that mean that they will have to maintain an AC when it is replaced in 40 years? Since we do not have any specifications in front of us for the performance of this AC blanket, I am concerned about heading there.

Rice says **Brauneis** has a good point. Procedurally, can we make a condition to what is an amendment to a PUD?

Zuccaro says yes, you can make a condition of your recommendation of approval, specifically if it is connected to one of the review criteria you are looking at for the development. As long as it is in consideration of the PUD review criteria and you think it is a reasonable condition related to meeting those criteria, you can make that type of condition. There are issues of defining it and being able to enforce it over time. These are valid things we may want to consider and how the condition is worded, if you choose to adopt the condition.

O’Connell says given those conditions and definitions, I am leaning toward leaving it out.

Hsu says I think one of the criteria this would apply to is its appropriate relationship to the surrounding areas. This is clearly criteria we can draw upon to enforce this condition. I don’t see it as being too precedential to always worry about the noise. I don’t see this as saying the future owners of these townhouses have to maintain the AC to some decibel level. I think it applies to the PUD. If there are issues with noise in the future, that is a nuisance issue and outside the planning context.

Moline says I can envision the complications of trying to enforce this in the future. I am comfortable leaving it out of our approval. I appreciate that the applicant has worked with the neighbor. I don’t think it needs to be in a condition.

Pritchard says I agree with my commissioners that we are getting into a slippery slope in terms of enforcement. I believe the applicant will work with the homeowner. Technology improvement in AC will lend itself toward a quieter product. Historically, that has been the case.

Rice says after hearing the discussion, I agree with **O’Connell** that in approving an amendment, we are also approving an amendment to the plan that suggested a 6 foot setback on the north side and now makes it 12 feet. It is an important feature and should be in the resolution.

Motion made by **Rice** to approve **North End Block 15 PUD amendment, Resolution 22, Series 2016**. A resolution recommending approval of an amendment to the final Planned Unit Development (PUD) plan for North End Block 15 to modify the building elevations, and be modified to include a statement that a change in the setback from the north property line from 6 feet in the previous PUD to 12 feet, seconded by **Moline**. Roll call vote.

Name	Vote
Chris Pritchard	Yes
Ann O’Connell	Yes
Steve Brauneis	Yes
Jeff Moline	Yes
Tom Rice	Yes
David Hsu	Yes

Monica Sheets	n/a
Motion passed/failed:	Pass

Motion passes 6-0.

- **Foundry Replat, Resolution 23, Series 2016.** A resolution recommending approval of an amendment to the Foundry subdivision final plat.
 - Applicant and Representative: RMCS Inc. (Justin McClure)
 - Owner: RMCS LLC
 - Case Manager: Scott Robinson, Planner III

Conflict of Interest and Disclosure:

Rice lives within 500 feet and received notification of this resolution. I don't think I have any conflict because I do not believe I would enjoy or dis-enjoy any different change in property value. I am not conflicted.

Pritchard agrees. I think you should be able to participate in the discussion.

Public Notice Certification:

Published in the Boulder Daily Camera on September 25, 2016. Posted in City Hall, Public Library, Recreation Center, and the Courts and Police Building, and mailed to surrounding property owners on September 23, 2016.

Staff Report of Facts and Issues:

Robinson presented from Power Point:

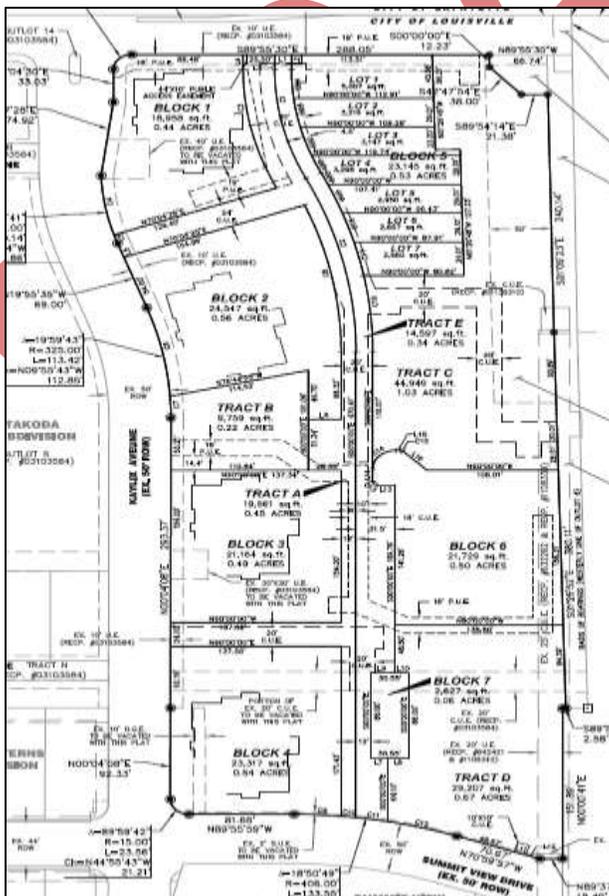
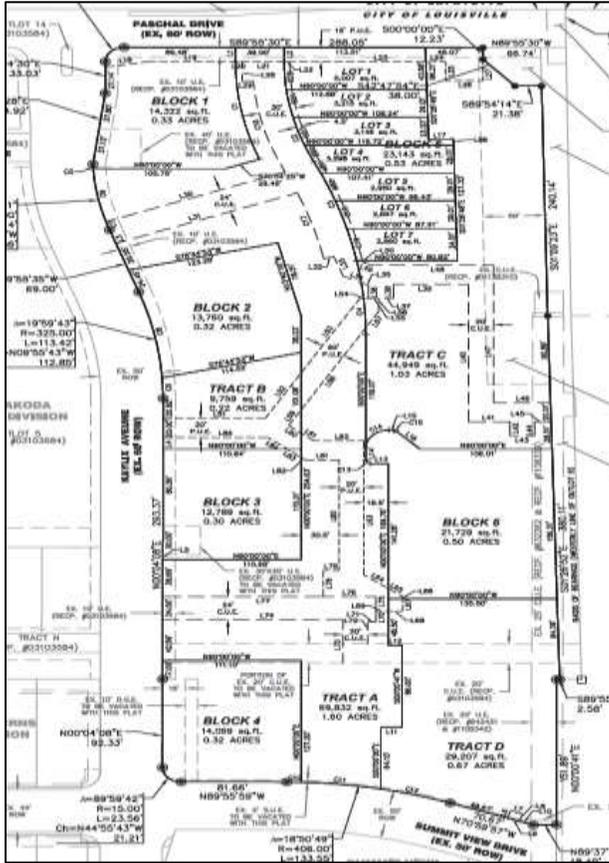
- This is a request to modify a previously approved plat for the Foundry subdivision
- Located in Steel Ranch (Takoda) at the southwest
- Property zone Planned Community Zone District – Commercial/ Residential (PCZD-C/R)
- Plat & PUD approved in January, 2016
- Plat has not yet been recorded. This is an amendment to a previously approved but unrecorded plat to modify some of the lot line locations.

BACKGROUND

- 32 residential condos (24 age restricted)
- 38,000 SF commercial space
- Residential buildings on the west half of the property and the commercial on the east half

PREVIOUS LAYOUT AND PROPOSED LAYOUT

- Buildings staying in the same place. Nothing changing about the development.
- The change is to get the land associated with the residential uses along the residential lots and get the land associated with the commercial uses on the commercial lots for ownership and future maintenance reasons.
- Some lines are moving. Nothing is changing about the public land dedication
- When the property was initially platted and the PUD approved for the overall Takoda subdivision, public land dedication was made.
- When this change was submitted, some of the commercial land was converted to residential land, which has a higher public land dedication requirement. The applicant agreed to pay a fee-in-lieu to make up the increment in public land dedication.
- This does not change the allocation between the residential and commercial land.
- The fee-in-lieu is not changing. The applicant will still pay it.
- The proposal meets all applicable requirements and criteria in the Louisville Municipal Code.
- Previous layout and new layout below.



Staff Recommendations:

Staff recommends Planning Commission move to approve **Foundry Replat, Resolution 23, Series 2016**. A resolution recommending approval of an amendment to the Foundry subdivision final plat.

Commission Questions of Staff:

Hsu says can you focus on what lines are changing.

Robinson says Blocks 1, 2, 3, and 4 are the residential buildings. In the new proposed plat, the lots are expanded and the outlot that separated them, the drive aisle, parking, and landscaping, has expanded to absorb it. The proposal is to get the parking on the same lot as the residential buildings.

Moline says it looks like the land ownership associated with the access areas is adjusting. The traffic flow remains the same.

Robinson says yes. Initially, it was one outlot where the drive aisles were. Now it is being split in half for residential versus commercial association. There is still an access easement with one drive aisle to serve the whole development.

Applicant Presentation:

Justin McClure, RMCS Inc., 1002 Griffith Street, Louisville, CO

Alex Carlson and **David Waldner**

Due to construction defect liability, there are two unique products that we are providing within the Foundry development. According to my lenders and legal counsel, we need to do a better job on our plat to separate the commercial and residential uses. There are three primary changes.

1. Looking at the Staff presentation, Block 1 is smaller in the previous plat than in the proposed because we need to pick up the garages. They did not belong in the tract but in the block for legal reasons.
2. The second change is the drive aisle needed to be split into two separate tracts. The western portion of the street can be specifically owned and maintained by the residential portion. The eastern portion will be owned and maintained by the commercial.
3. We had an outlying garage hanging in commercial land. It needed to be restricted for construction defect liability.

These changes have resulted in a significant delay. We have not developed for-sale condos to date and are going through the challenges currently.

Commission Questions of Applicant: None.

Public Comment: None.

Summary and request by Staff and Applicant:

Staff recommends approval of **Foundry Replat, Resolution 23, Series 2016**. A resolution recommending approval of an amendment to the Foundry subdivision final plat.

Closed Public Hearing and discussion by Commission:

Rice says this is a legal change that the applicant needs. I don't think it changes anything in terms of how we view this from a planning perspective. I support the change.

O'Connell in support. **Brauneis** in support. **Moline** in support. **Hsu** in support.

Motion made by **Brauneis** to approve **Foundry Replat, Resolution 23, Series 2016**. A resolution recommending approval of an amendment to the Foundry subdivision final plat, seconded by **Moline**. Roll call vote.

Name	Vote
Chris Pritchard	Yes
Ann O'Connell	Yes
Steve Brauneis	Yes
Jeff Moline	Yes
Tom Rice	Yes
David Hsu	Yes
Monica Sheets	n/a
Motion passed/failed:	Pass

Motion passes 6-0.

- **Balfour Senior Living Plat/PUD Amendment, Resolution 24, Series 2016:** A resolution recommending approval of a Planned Unit Development (PUD) and final plat to allow for a 56-unit assisted living community on Lots 2 and 3 of Louisville Plaza Filing 2.
 - Applicant, Owner, and Representative: Balfour Senior Living (Hunter MacLeod)
 - Case Manager: Lauren Trice, Planner II

Conflict of Interest and Disclosure:
 None.

Public Notice Certification:
 Published in the Boulder Daily Camera on September 25, 2016. Posted in City Hall, Public Library, Recreation Center, and the Courts and Police Building on September 23, 2016. Mailed to surrounding property owners and property posted on September 23, 2016.

Staff Report of Facts and Issues:
Trice presented from Power Point:
 This is a resubmittal and redesign of the project previously presented at the PC July meeting.

- Located at 1800-1870 Plaza Drive
- Proposal is a 56-unit assisted living community

LOCATION



Located between the existing Balfour Senior Living facilities, Hecla Lake, the detention pond to the south, and the North End neighborhood to the east.

General Development Plan

- Louisville Plaza GDP allows nursing and rest homes

Public Land Dedication

- Based on previous public land dedication (PLD), no additional PLD is required

Site Plan

- U-shaped building
- 2 driveways off of Plaza Drive
- Internal courtyard
- Driveway along north side
- 48% open space, CDDSG requires 30%
- Preservation of Hecla Mine historic element

Parking Setback

- CDDSG requires 15 feet
- Six compact car spaces extend 5 feet into setback

Side Setback

- CDDSG requires 10 feet
- Fire access/turnaround extend 10 feet into setback/landscape buffer

Accessory Structure Setback

- CDDSG does not have requirement
- LMC front yard 35 feet
- Accessory structure has 26 feet front yard setback

Parking

- LMC – 1 space/3 beds for Residential – Home for the Aged
- 58 beds requires 20 parking spaces
- LMC – 1 space/300 SF of office
- 1,400 SF of office requires 5 spaces
- Project requires 25 spaces
- Proposed plan provides 30 spaces (24 full size, 6 compact), 4 bicycle spaces

Architecture

- 3 story, gable roofed, U-shape
- Horizontal wood shiplap, vertical board and batten, stone veneer
- 2-story covered entry
- Formal courtyard
- Combination of roof angles and broken gables
- Craftsman style

Height

- CDDSG limits building height to 35 feet
- Proposed structure 3 stories, up to 49 feet 10 inches in height, reduction from 52 feet in the previous application
- 3 stories along Plaza Drive
- 2 stories along the entire east wing
- Redesign creates a more appropriate transition between Plaza Drive and the North End neighborhood

Landscape

- Screen parking areas
- Fence and trail connection per City's Open Space standards
- Keep existing Cottonwood trees to maintain buffer on eastern side of site
- Staff recommends a condition to maintain landscaping and replace Cottonwoods with deciduous trees when they die

Signs

- 2 monument signs – one at each entrance per CDDSG
- V-shaped monument sign with site name
- Balfour tree logo on small shed

Setbacks waivers

- Accessory structure front yard setback 35 feet to 26 feet
- Parking setback along Plaza Drive from 15 feet to 10 feet
- Side yard setback for fire access

Height waiver

- Extend portion of structure beyond the 35 foot height requirement to a maximum of 49 feet 10 inches

Waiver requests complies with 17.28.120 of the LMC

Public benefits

- Hecla mine element preservation
- Hecla mine interpretive sign
- Trail connection
- Overall design of structure
- Additional open space (17%)

HISTORIC PRESERVATION COMMISSION

Historic Preservation Commission held a meeting on April 18, 2016 and had the following comments:

- Preserve the historic structure at 1800 Plaza Drive by moving it to another location
- Preserve "historic element" associated with the Hecla Mine
- HPC expressed concern about the height of the structure retained.

Staff Recommendations:

Staff recommends Planning Commission move to approve **Balfour Senior Living Plat/PUD Amendment, Resolution 24, Series 2016**: A resolution recommending approval of a Planned Unit Development (PUD) and final plat to allow for a 56-unit assisted living community on Lots 2 and 3 of Louisville Plaza Filing 2, with the following condition:

1. *Prior to the City Council hearing, the applicant shall add the following note on the landscape plan: All landscaping must be maintained in a healthy and thriving condition. If any existing landscaping dies it must be replaced with like landscaping, and for the Cottonwood tree buffer on east side of the property dead or unhealthy trees must be replaced with a minimum 2.5 inch caliper deciduous tree with the species to be approved by the City.*

Commission Questions of Staff:

Rice says we have a 35 foot setback requirement for the main structure. Does that apply to this accessory structure?

Trice says we do not have a separate accessory structure front yard setback. Accessory structures typically are in the rear of the property.

Rice says if there is a requirement, would it be 35 feet back?

Trice says we would apply it because it is the only setback we have. This is a waiver to that 35 foot setback.

Rice says the applicant wants 26 feet, so we must grant a waiver with respect to the accessory structure only.

Applicant Presentation:

Dave Williams, DTJ Design, 3101 Iris Street, Boulder, CO

Representatives from Balfour are present. After our meeting on July 14, 2016, we immediately huddled with Staff to talk about what our options would be moving forward. We started a redesign effort to address the concerns we heard that evening. We set up community meetings with neighbors and interested stakeholders, held on July 27 and August 1. We got into a dialogue very quickly following that July meeting on how to move forward. As a consequence, we were able to get to consensus with the folks who had expressed concern. One of the big concerns was moving the third floor mass of the building to Plaza Drive side of the site from the

northeast side. That allowed us to do the whole wing on the northeast side at two stories. At the time, we said we would try to keep it at 40 feet. We were able to get it down to 39 feet. It is still a height waiver, but it is definitely lower than where we were before. The other aspect was the preservation of the cottonwood grove at the southeast corner of the site. It was important to be able to preserve some privacy between the property owners to the east and this property. They asked that we add some low evergreen plantings along the end of the drive aisle of the parking lot. In the winter with car headlights from staff coming and going, it would mitigate lights coming into the adjacent residences. Staff had requested that we remove the Russian olives along the northeast property line. We will replace them with a line of alternating evergreen trees and ornamental grasses. The residents, we believe, are in favor of it as a screening buffer to the adjacent open space. Balfour has three other facilities in the same neighborhood. The Balfour Retirement Community was the first facility built back in the late 1990s. The Lodge at Balfour was built in 2003-2005 and the Residences were built a couple years later. The new facility, the Balfour at Lavender Farms, is an assisted living community. The Balfour Retirement Community is a combination of assisted living, memory care, and skilled nursing. The Lodge and the Residences are independent living. This new building will be another assisted living component. This will serve a good population, not only new residents but current residents who are in the independent community but feel they need a little more help. They will have the opportunity to move over. The portion of the building on the northeast, the east wing, is almost exclusively residences. The administration, dining, fitness, and salon areas are in the area facing Plaza Drive and the parking lot to the north. The small accessory building is in the corner. The front of the porte cochere is actually 53.5 feet and we tried to get the building centrally in the site. In the back, we are from 30 feet to 60-80 feet back from the surrounding property lines in terms of setback. The emergency access lane is another requested waiver to allow the firetruck to have a place to back up and turn around. The second floor remains the same, but the big change is on the third level where the units moved to the front. In our previous application, Staff asked us to do a solar analysis to insure that the building did not cast any shadows on the trails and open space. We updated it with the new massing to verify it is still the case. At winter solstice, the shadow does go into the open space a bit, but does not reach the trails. All of these projects represented on this chart have received height waivers previously and we think this is important to note in terms of context. This new project is not unique. The other three Balfour projects plus one of the Markel buildings did receive a height waiver. **Williams** shows renderings of the building. Regarding landscaping, the existing cottonwood grove will be preserved. Adjacent to the building where some trees will be removed, we will add some additional deciduous and evergreen trees. We believe this will help to mitigate any removed trees. **Williams** shows a material board.

Materials board entered into record:

O'Connell makes a motion to enter the material board into the record, seconded by **Brauneis**. Passed by voice vote.

Williams says the materials are Hardy board-type siding, a combination of asphalt and metal roofs, and stone wainscot around the base of the building. The board also shows the detail of the small character structure up front, signs, walls, and perimeter fence adjacent to open space which matches City standard.

Commission Questions of Applicant:

Moline says I want to understand the height waiver issue in the context of the first picture of the Staff report. I think Mr. **Williams'** slides show a number of the previous Balfour developments that received waivers. What was the height limit for Louisville Plaza?

Trice says it was 35 feet.

Moline says did the King Soopers and those buildings comply or did they get waivers.

Trice says the King Soopers' height is 35 feet. Balfour directly across the Plaza is 50 feet. The Residences which are closer to Highway 42 are 65 feet. The Balfour campus just north of that is 60 feet.

Moline says in North End, the height limit is 35 feet.

Trice says the North End residential portion is 25 feet, and the multi-family under construction is 40 feet.

Pritchard says for clarification, the point where it is 65 feet, the topography and the lay of the land is mitigated by the slope coming off Highway 42.

Moline says the height proposed in the new application is consistent with the other Balfour buildings in that area.

Public Comment:

Brian Topping, 1550 White Violet Way, Louisville, CO

My home is in Block 13 in North End. I spoke before the PC in July 14, 2016 and I want to pass along as a resident of North End my appreciation to Balfour for their work with the community. I was nervous at the time. They have done an excellent job with the efforts they've made toward the lake views being preserved. We are really grateful.

Natasha Bond, 1841 Sweet Clover Lane, Louisville, CO

It is my backyard that was effectively represented in one of the later photos in the presentation. Like Brian, I was also here in July and I had specific concerns. One was around the loss of privacy, not around screening the building from view and pretending it wasn't there, but not feeling overlooked when I was able to enjoy my property. Speaking as a person who uses the trail around Hecla, I was concerned the building was similarly overlooking and shadowing the open space. In the previous proposal, I saw destruction of native foliage and cottonwood trees that are well established and dense in the area. I felt back in July that the proposal did not take into account these things, and would have an adverse impact on the local environment. I echo Brian's comments. Balfour has done a tremendous job since July in reaching out, hearing, and taking those things into account. They have come up with a design that allows them to move forward in what I think is a valuable addition to our community but in a way that does not impact others negatively. I speak tonight in support of their proposal as it is laid out.

Kerrie Merkel, 1849 Sweet Clover Lane, Louisville, CO

My backyard is the other backyard seen in the photos. I likewise echo my neighbors. I was heartbroken and worried at the July meeting and I am thankful for the opportunity to come speak. I went to all the community meetings with Balfour and had one-on-one conversations with all of them, and felt heard. They were asking me questions. I promised them that I would stand up here and say that I support this as it is laid out before you tonight. I want to thank them for reaching out.

Summary and request by Staff and Applicant:

Zuccaro says Staff wants to bring up one additional item before you close the public hearing. The applicant may want to add to this. Staff's recommended condition about the landscaping and specifically, the existing cottonwood buffer, is "if any of the cottonwood trees die, that they will have to replace that tree with a new tree." I think the applicant has brought up a good point based on the density of those cottonwoods. It probably wouldn't be appropriate to replace one for one. You couldn't fit in new trees. It is our understanding that the applicant was going to present an alternative to the condition for consideration. There are a couple of options the PC can consider tonight.

1. It can be delegated to Staff to determine more detail between now and CC meeting.
2. If you feel it is important to see the details of the condition and how that condition changes, there could be a continuance.

I am sure the applicant would prefer to move onto CC. Staff is open to amending the condition so that it is not a one for one replacement, but something more appropriate.

Moline says as a certified arborist, I would agree with your comments. I use the trail that goes along Hecla Lake and past the grove of trees. It is extremely dense. I propose we come up with a revision of the condition that asks that Staff or the applicant come up with proposal for replacement of the trees that makes sense before CC meeting.

Pritchard asks Moline to reword the condition so that Staff has enough direction.

Rice says perhaps the PC should take **Zuccaro's** suggestion to make it a matter of delegation for Staff to work with the applicant and come up with a mutually agreeable proposal in advance of the CC meeting.

O'Connell says the City has an arborist on Staff. The arborist should be consulted to make the vegetation as dense as possible.

Zuccaro has an arborist and City landscape architect. We will work with both of them to determine the condition along with the applicant's landscape architect.

Pritchard asks how the PC feels about this. **Moline** concurs.

Rice says the condition should be modified to indicate that in advance of the CC consideration of this application, Staff and the applicant work together to come up with a mutually acceptable solution to the trees dying.

Moline says the condition's wording should be:

1. *Prior to the City Council hearing, **STAFF IN CONSULTATION WITH THE CITY ARBORIST AND LANDSCAPE ARCHITECT WORK WITH THE APPLICANT TO DEVELOP THE LANDSCAPING**, the applicant shall add the following note on the landscape plan: All landscaping must be maintained in a healthy and thriving condition. If any existing landscaping dies it must be replaced with like landscaping, and for the Cottonwood tree buffer on east side of the property dead or unhealthy trees must be replaced with a minimum 2.5 inch caliper deciduous tree with the species to be approved by the City.*

Staff recommends Planning Commission move to approve **Balfour Senior Living Plat/PUD Amendment, Resolution 24, Series 2016**: A resolution recommending approval of a Planned Unit Development (PUD) and final plat to allow for a 56-unit assisted living community on Lots 2 and 3 of Louisville Plaza Filing 2, with the condition as amended by PC:

1. *Prior to the City Council hearing, **STAFF IN CONSULTATION WITH THE CITY ARBORIST AND LANDSCAPE ARCHITECT WORK WITH THE APPLICANT TO DEVELOP THE LANDSCAPING**, the applicant shall add the following note on the landscape plan: All landscaping must be maintained in a healthy and thriving condition. If any existing landscaping dies it must be replaced with like landscaping, and for the Cottonwood tree buffer on east side of the property dead or unhealthy trees must be replaced with a minimum 2.5 inch caliper deciduous tree with the species to be approved by the City.*

Closed Public Hearing and discussion by Commission:

Hsu says two months ago, the meeting was contentious and I felt the vote was difficult for me and the rest of the PC. Today, reading the packet and seeing three residents come out in favor of it, and having no emails on this issue, it speaks to how this process worked out well. It is a win-win for everyone. I appreciate Balfour's work with the public, I appreciate the public continuing to work toward a solution, and I appreciate Staff working to put everything together.

Moline says I concur 100% with David. I would add that Balfour has found a way to add this component to their campus and do it in a way that will make sense for the community.

Brauneis in support. **O'Connell** in support.

Rice says some might recall that I supported the proposal as it came forward in July. I continue to believe that this proposal as modified is entirely consistent with what is out there, both in terms of height and in the character of the development. I am moved by the fact that this development provides a very important public need for our community. It sounds like it is headed for approval.

Pritchard says I was not at the previous meeting but I too am in support. I am pleased that the applicant listened to the public. I expected they would because they have been ideal corporate citizens since they moved here.

Motion made by **Moline** to approve **Balfour Senior Living Plat/PUD Amendment, Resolution 24, Series 2016**: A resolution recommending approval of a Planned Unit Development (PUD) and final plat to allow for a 56-unit assisted living community on Lots 2 and 3 of Louisville Plaza Filing 2, with the condition as amended by PC:

1. *Prior to the City Council hearing, **STAFF IN CONSULTATION WITH THE CITY ARBORIST AND LANDSCAPE ARCHITECT WORK WITH THE APPLICANT TO DEVELOP THE LANDSCAPING**, the applicant shall add the following note on the landscape plan: All landscaping must be maintained in a healthy and thriving condition. If any existing landscaping dies it must be replaced with like landscaping, and for the Cottonwood tree buffer on east side of the property dead or unhealthy trees must be replaced with a minimum 2.5 inch caliper deciduous tree with the species to be approved by the City.*

seconded by **Rice**. Roll call vote.

Name	Vote
Chris Pritchard	Yes
Ann O'Connell	Yes
Steve Brauneis	Yes
Jeff Moline	Yes
Tom Rice	Yes
David Hsu	Yes
Monica Sheets	n/a
Motion passed/failed:	Pass

Motion passes 6-0.

- **Delo Lofts Final Plat/PUD/SRU, Resolution 25, Series 2016**. A resolution recommending approval of a final plat for 4.39 acres which includes a 1.91 acre final PUD and a Special Review Use (SRU) within the core area of the Highway 42 Revitalization District for 3 apartments and 8 live-work units.
- Applicant: Delo East, LLC (Justin McClure)
 - Owner: Boom, LLC (Elizabeth Law-Evans)
 - Representative: RMCS, Inc (Justin McClure)
 - Case Manager: Scott Robinson, Planner III

Conflict of Interest and Disclosure:

None.

Public Notice Certification:

Published in the Boulder Daily Camera on August 21, 2016. Posted in City Hall, Public Library, Recreation Center, and the Courts and Police Building, and mailed to surrounding property owners on August 19, 2016. It was originally advertised for the September PC meeting and was continued to the October meeting.

Staff Report of Facts and Issues:

Robinson presented from Power Point:

- Located in Hwy 42 Revitalization Area
- Property zoned Mixed-Use – Residential (MU-R)
- Governed by MUDDSG
- Preliminary Plat & PUD approved in November, 2015



There is a discrepancy between the Plat and the PUD. The Plat area is larger than the PUD area. The overall development is shown in red and blue areas on the Power Point presentation with Cannon Street to the west and Highway 42 to the east, Griffith Street to the north.

- Building A = **Live/Work, 3-Plex**
- Building B = **Live/Work, 5-Plex**
- Building C = **Apartment/Condo, 33 units**

Plat

- Complies with all appropriate regulations except that the individual Live/Work units are proposed to be on their own lots
- Each would be 29 feet wide
- LMC requires 40 foot minimum lot width
- The applicant is requesting a waiver to allow more narrow lots than zoning allows

Considering this type of development, this waiver has been granted for other developments in the area, such as original Delo and Coal Creek Station. Staff supports this waiver request.

PUD

- Complies with MUDDSG Bulk and Dimension Standards
- Except requirement for 70% building frontage
- Proposal has 62% building frontage, largely because of the two accesses off Cannon Street and the landscape areas

Staff believes these make the development more usable, more esthetically pleasing, and more pedestrian friendly by providing these landscape areas. Staff supports this waiver request.

Parking

- Complies with MUDDSG Parking Standards
- 14 on-street spaces counted toward non-residential parking requirement
- 10 bike spaces

Access



Proposed interim condition



Proposed final condition

Two accesses off Cannon Street, proposed third access off Griffith Street where there is currently a shared access easement between the property in question and the Louisville Tire property to the east. The Highway 42 Revitalization Plan calls for an alley running north-south down the middle of this block. This development is setting up so that the alley can eventually be constructed once additional development occurs on the block. Currently, there is not enough land for it to go anywhere. There is a proposed interim condition in which parking may be

provided for the northern most Live-Work units with access off Griffith Street using the shared access easement. They would be disconnected from the rest of the parking drive aisles within the development. Once the alley is constructed further south, the access connection would be punched through so the parking on the northern portion would be connected to the rest of the development internally.

While this is not an ideal situation, this is a Revitalization Area and this is the nature of these kinds of developments. As they come in bit by bit, accommodations are made so that they work with the proposed future plans and still function in the interim condition and meet the overall goals once the rest of the redevelopment occurs. Staff supports this proposal.

ARCHITECTURE



Live/Work building



Apartment building

Complies with the Design Guidelines in the MUDDSG. Both combine a mix of materials and vertical and horizontal articulation, and a significant use of glazing especially on the first floor. This makes it a pedestrian-friendly design for what is intended to be a pedestrian-oriented environment. *Staff believes both of these comply.*

LANDSCAPING

- MUDDSG requires 1 street tree for every 20 linear feet of street frontage
- This translates to 26 street trees and 38 total trees
- Applicant proposing 15 street trees (5 along Griffith Street and 10 along Cannon Street) and 44 total trees throughout the development
- They are requesting a waiver to reduce the number of street trees, but are exceeding the requirement for total trees.
- The request to reduce the number of street trees is to provide better visibility to the commercial uses and avoid utility conflicts. Each of the Live-Work units will be on its own lot with its own utilities.

Staff supports the request considering the total number of trees required is being exceeded and believes the number of street trees being provided will still provide a pleasant pedestrian environment.

Sidewalk

- MUDDSG requires 10 foot sidewalk
- Applicant proposes a 10 foot sidewalk in front of the apartment building to the south
- North of this, the sidewalk will shrink down to 5 feet
- In front of the Live/Work buildings, it will shift onto private property with a public access easement.
- There will be a 8 foot tree lawn and landscape buffer proposed in front of Live/Work

Staff believes with the combination of the 5 foot walk and the tree lawn, it will still be met while reducing the amount of impervious surface and increasing the amount of landscaping in the area. Staff believes with the public access easement, this waiver should be supported.

Signage

- Governed by the Downtown Sign Manual
- Applicant proposing two signs at the northern entrance off Cannon Street
- Proposed sign will be 12 feet tall, 57 square feet, which is larger than what the Downtown Sign Manual allows which is 6 feet tall and 9 square feet

Staff has concerns that these signs are too large for what is intended to be a pedestrian-oriented environment. These may be more appropriate on the other side of the block facing Highway 42 which is an auto-oriented environment. Staff does not support the waiver request for the larger signs and recommends a condition that signs have to comply with the Downtown Sign Manual to create a more pedestrian-friendly environment.

Carpport

- Much parking will be provided in carports along the east side of the property
- They will be 5 feet from rear lot line
- MUDDSG requires 20 foot rear setback
- No differentiation for principal and accessory structures
- Carports would be considered accessory structures and would comply with the same setback as principal structures.

Considering the location adjacent to what is intended to be a future alley, Staff feels that the 5 foot rear setback is appropriate for these structures. Staff supports the waiver request.

WAIVER REQUEST SUMMARY

Waiver	Requirement	Request	Location	Recommendation
Minimum Sidewalk Width	10'	5'	Buildings A and B	Approve
Street Trees	1 per 20'	1 per 42'	Cannon and Griffith Streets	Approve
Rear Setback	20'	5'	Carports	Approve
Minimum Lot Width	40'	29'	Lots 1-8	Approve
Minimum Street Frontage	70%	62%	Cannon and Griffith Streets	Approve
Signage	6', 9SF	12', 57SF	Between Buildings A and B	Deny

Special Review Use

- First floor residential uses require SRU approval
- Live/Work designs so the ground floor will be Work commercial and the upper two floors will be Live portion
- Design conditions from preliminary approval require horizontal and vertical variation

Staff believes residential use in this area is appropriate considering the surrounding development. When this went through preliminary approval last year, there were specific design

conditions placed on the residential building that had to be met before the SRU could be approved. Staff went through those design conditions and worked with the applicant to refine the design of the building. Staff believes that the current design meets those requirements providing variation both horizontally and vertically, creating a strong pedestrian environment with the use of materials, a well-defined entrance on the ground floor, operable doors and windows on the ground floor, change of materials from the ground floor to the upper floors, and larger windows on the ground floor. Staff believes these have been met and recommends approval of the SRU.

Staff Recommendations:

Staff recommends Planning Commission move to approve **Delo Lofts Final Plat/PUD/SRU, Resolution 25, Series 2016**. A resolution recommending approval of a final plat for 4.39 acres which includes a 1.91 acre final PUD and a Special Review Use (SRU) within the core area of the Highway 42 Revitalization District for 3 apartments and 8 live-work units with two conditions:

1. The proposed signage shall be modified to comply with the Downtown Sign Manual.
2. The applicant shall address all issues in the Department of Public Works October 4, 2016 memo prior to the City Council hearing.

Commission Questions of Staff:

Moline asks can you explain to me how the future alley will relate to that line of parking.

Robinson says where the curb cut is, it extends straight down to the outlot. It would be off the property to the east.

Moline says the carports would then back to the alley.

Robinson says they would be accessed from the internal drive and then the 5 foot setback to the alley.

Moline asks what your rationale is for approving the waiver to allow the 5 foot walk instead of the 10 foot walk.

Robinson says it still meets the intent of the regulation which is to provide a wide area for pedestrians separated from the street with the combination of the 5 foot walk and the 8 foot tree lawn area. It provides a tree lawn instead of a paved walk to reduce the impervious surface and increases the amount of landscaping.

Brauneis says I am comfortable with the allowance to go from a 40 foot width to a 29 foot width. From a LMC perspective, why would we focus on 40 foot as being the ideal lot width?

Robinson says when those regulations were put in place, it was envisioned that a building would sit on an individual lot. Creating a narrower 40' lot makes that it hard to develop. It was not contemplating these multi-unit townhomes would straddle lot lines. It still meets the intent of the LMC in that these buildings are wider than 40 feet. In order to meet the ownership structure that the applicant has in mind, it requires dividing them up into smaller than 40 foot lots.

Rice says regarding the Live/Work units, comments were made that right now, there are no particular tenants proposed but when they do come in, they will need to meet the MU-R district requirements. What are the kinds of uses the first floor work units could be?

Robinson says the uses allowed in the MU-R are general commercial uses, likely office uses such as accountants, architects, and engineers. Retail uses would also be allowed.

Rice says regarding the 40 foot versus 29 foot widths, comments were made that similar waivers have been approved for Delo and Coal Creek Station. What did we approve in those two instances and how narrow a slice did we draw?

Robinson says I do not have the numbers with me, but I know the Delo townhomes just across Cannon Street are on individual lots.

Rice says on page 12 in the Staff report matrix, you show minimum building coverage. The requirement is 40% and show this proposed at 28%. Is that a typographical error?

Robinson says that is an error. There is no waiver being sought, but is more than 40%.

Hsu says does the SRU only apply to the apartment building?

Robinson says it allows residential on the first floor of the apartment building.

Hsu says there was discussion about how the Revitalization Commission looked at the Cannon Street and said there would not be enough foot traffic. Does that include all the residents in this development and to the west?

Robinson says when the Revitalization Area Plan was originally approved, the whole MU-R district was intended to have commercial on the ground floor. As years passed, we looked at it and realized it was not realistic and did some analysis a few years ago. We looked at what the demand would be and what the market would support as far as commercial. We had zoned for too much commercial.

Hsu says with Live/Work, you have commercial on the first floor but not retail, is that a distinction?

Robinson says it could be retail. It is general commercial such as office or retail.

Hsu says with the apartment building, why couldn't the first floor be commercial office space?

Robinson says from a zoning perspective, it could be. From a building perspective, it is a doable design. It is a matter of what the demand is. Given that it is further from Downtown, further from the Gateway Underpass, and further from Highway 42, there is not as strong a demand for just commercial space. If you look at what happened in the original Delo, instead of spreading out the commercial in multiple buildings on the ground floor, the commercial portion is concentrated in one building right at the underpass. The rest of the buildings are residential. To make a viable commercial building, you need more square footage than just the ground floor of one apartment building. It does not make sense from a market perspective to have a ground floor office building with apartments above it in this location.

Hsu says with the tree waiver, we have one tree per 42 feet along Cannon and Griffith. The rationale is that too many trees would block the view of the commercial Live/Work, and get in the way of utilities for the Live/Work. In front of the apartment buildings, do we have one tree per 20 feet? Those issues don't seem to exist for the apartment building.

Robinson says the tree separation is more or less consistent all the way along Cannon Street and in front of all buildings. In front of the apartment building, there are 10 foot sidewalks. Trees are provided there in tree grates instead of a tree lawn. That is probably the justification for reducing the density of trees. Too many trees would result in too many tree grates and no 10 foot walk.

Hsu says the extra six trees that are not fronting the streets, where are they located?

Robinson says a lot of them are in the landscape area at the corner of Griffith and Cannon. Trees are further set back. They are in the landscape area between the apartment building and the Live/Work building. They are spread throughout the development, breaking up the parking lot in landscape islands.

Recess at 8:12 pm, reconvene at 8:17 pm.

Applicant Presentation:

Justin McClure, RMCS Inc, 1002 Griffith Street, Louisville, CO.

David Waldner, Alex Carlson, RMCS Inc.

Randy Law, property owner, representing the Law family

I have had the good fortune to appear in front of this PC for various projects throughout the City of Louisville for over 12 years. My company originally started investing in 2004 and has been struggling in excess of a decade with land assemblage. It has always been a significant challenge; it was a challenge with Steel Ranch. Our previous mayor, **Mayor Sisk**, pointed this out years ago. It took us years to assemble all the land for the Steel Ranch subdivision. When we talk about Delo and urban infill, this was even more complex. We have Burlington Northern Santa Fe and Aggregate Industries. The vision for Delo came about in 2008 and we started investing in this area in 2010. **McClure** shows a short video shot by drone. This area was defined as the core area in the Highway 42 Framework Plan in 2003. Our company does a good job reviewing municipal documents, attending public process, talking with the community to see what their desires and needs and wants are, and then focusing on that so we can work together

to accomplish collective goals. The South Street Pedestrian Gateway work has been completed by BNSF. By the end of October, we should be able to walk through it. We will get as much done as we can before the snow starts to fall. The video shows Delo Phase 1, Delo Phase 2, Miners' Field, Delo commercial building under construction, Building C, B, A, and E, Coal Creek Collision Center, the Deborski property, eastern half of BOOM property, and Louisville Tire on the northeast corner. The subject property within our application of approximately 1.9 acres is for 33 residential units and 8 Live/Work units. There is a shared access off Griffith Street and Cannon Street with Phase 1 and 1A Delo townhomes. The original plans, MUDDSG, and Highway 42 Framework Plan are documents that go back to 2003. In 2008, my company had the first idea to redevelop this area within Louisville. We started conversations with Aggregate Industries and at that time, they were not interested sellers. They had visions of manufacturing concrete. It took us a couple of years to get them to sell. They called us in October 2010 and said, "If you can close before the year is out, due to tax reasons, we will sell you the property. Otherwise, it is off the market." We closed in 60 days. This particular property was risky because there were undermining issues. This proposal is the finished product of 33 apartment buildings and 8 Live/Work units. Since 2008, we have been able to effectuate the City's plan and it has been a public partnership. While we have sought waivers in the past, we think they provide a compelling reason to do so, because they make for a better project. I would like to take this opportunity to thank Staff, especially Public Works, for their willingness to work with us. **McClure** shows images of the northwest townhomes under construction and for sale by Boulder Creek. Here are the the five Live/Work units with deck and balcony spaces fronting out onto Cannon Street. Looking southwest, there are three Live/Work units and then the 33 residential apartment units. The architecture is stepped back from Cannon in terms of pedestrian scale, and generous setbacks allowed on Griffith Street. It adds value to the future owners, but it complies with Section 8 of the Residential Transition Protection Standards of MUDDSG. We have put effort in creating a pleasant experience at the back of these units for the commercial users. While we have omitted it from the FTP per direction from Staff, we are no longer calling this an adaptable space. We have off-street parking for the commercial uses. The residential units have varied window packages, color schemes, and altered entrances to the building. The interim condition could be a final condition in perpetuity. I don't have any specific agreements with the BOOM family to redevelop the eastern half of their parcel. Looking at the Highway 42 Framework Plan, the alley is shown to come down and connect with Caledonia Way. The alley is supposed to provide mid-block access to both the east and west parcels. The alley allows for more efficient development of both sides. I don't know when that alley will be built out because it is up to the BOOM family. We have a joint development agreement for the 1.9 acres. They are generous to work with us and allow us to do so. The back half of their property does not have a lot of tenants on it; therefore, it was not generating a significant amount of cash flow. There are a lot of dated properties built in the past that provide good cash flow, so there is little motivation or incentive to take the risk to redevelop. In the interim condition, the alley is not going through. I hope that it will.

Commission Questions of Applicant:

Hsu asks if you are concerned that you might not get tenants for the commercial space of the Live/Work units.

McClure says Live/Work in Louisville is a unique product type. There is only one unit on Main Street that qualifies as Live/Work. It is a new addition to municipal code. In terms of civic uses and MUDDSG, we are pleased to bring this use forward because it adds diversity. The commercial aspect of this is not what we're after. In the preliminary PUD, we had blocky design with little architectural interest. We redid all of the designs to add some softness and residential context. The owners we envision paying premiums for these spaces (they will be very expensive and large 4200 SF spaces) are architects, chiropractors, CPAs, or consulting firms. These units will be in excess of \$800,000. If you are a retailer, you can't overcome that hurdle because it is too expensive.

Moline asks can you explain your rationale on street trees.

McClure says on all of our projects, we want to do as intensive a landscape application as possible. Regarding Cannon Street, where originally there was a tree lawn, there are water mains and utility conflicts. So while complying with utility conflicts, we want to comply with visibility for commercial. We are also meeting and exceeding the landscape requirements through other opportunities. We want to plant more trees as long as Public Works approves.

Brauneis says there is a proposed condition regarding working things out with Public Works. That wasn't trees but other issues. Did you work them out?

McClure says there is usually one last public memorandum before final recordation to make sure Public Works has an opportunity to do final review. We are okay with the condition.

Rice asks do you know what the reduction was from the 40 foot minimum width in Delo.

McClure says due to construction defect liabilities, we had a conversation with building partners about creating fee simple lots. The legal theory is that there is greater flexibility in terms of construction defect. That is the sole purpose in doing so. I believe Delo townhomes, Phase 1 and 1A, were 24 feet.

Rice says here we are talking about 29 feet. Regarding the density issue in the apartment building, unless the SRU is granted, you would be required to have commercial on the first floor. There are three stories and 33 units. If the SRU is not granted, would we have 22 units on the second and third floors. So we are adding 11 residential units.

Public Comment:

Scott Osgood, 838 W. Dahlia Court, Louisville, CO 80027

I am here as the attorney for the Gallawa family who owns the Louisville Tire and Auto property. We are specifically concerned about the re-plat of Louisville Trade Center which is the northern edge of it. Where you see the jog and where it continues across is the Louisville Trade Center, which was subdivided separately from the other property. On the plat of Louisville Trade Center, they describe an area for a shared parking and access easement. People think an access easement is where you can drive freely, but that is not the case. It is access for the two properties and nothing else. If and when there is a connection made to serve these lots, it would require a condemnation of a right-of-way that hasn't been mentioned. We came to the prior hearing supporting the preliminary approval, but asked for a condition regarding concerns about the easement and the use of it being resolved. Part of it is that the entire area has been used exclusively by the Gallawa family and their tenants since the mid 1980s. It is fenced and used as a parking lot for Louisville Tire and Auto. It is not a driveway and does not go anywhere. It has not been used by anyone else for 30 years. We ask the PC to propose a condition that we resolve this in a way that would not be harmful to our tenant. I ask you to deny the application because as constructed, there is no resolution and the condition has not been met. I'm sorry that Staff did not bring that to your attention because it was one of the conditions for the preliminary approval last September 2015. There was one meeting between my clients and Mr. **McClure** in April 2016. He proposed a solution which would have been a stack up for cars, but since this is really customer parking and it would not be usable. He was told that in April. My clients waited for other proposals that never happened and there has been no other communication. This was brought to my attention a couple days ago and I wrote **McClure** and gave him a counter proposal that I thought would be useful. The only thing that would be harmful would be if he needed those spaces for parking. Looking at Staff's numbers, it might work without it. The interim plan and the permanent plan would eliminate a large number of those parking spaces which we have the right to use. The easement would not permit them. The final plan which he is asking you to approve tonight would turn this into a driveway for access to the developed properties to the south. That is not what the condition was. I have a copy of the plat of the Louisville Trade Center which was submitted as part of the record September 2015. Given that the plans take away our parking and eventually turn it into a road for other people, we are asking you to deny the plan as it is currently postured. There are currently 12 or 13 parking spaces there. The curb cut change eliminates at least one parking space in the interim

plan. The area that becomes part of the greenspace seems greater than shown on this drawing. When you get to the final drawing, it is cut down to make 6 spaces. We already know that when Louisville Trade Center was developed, there was a footprint of another industrial building to be built. The primary parking was going to come in off Cannon. The shared parking was secondary to that building that was never built. The only surface parking other than on the street for those properties will be here. Regardless of easement rights and regardless of legal rights, we know there will be an ongoing problem for our tenants dealing with tenants who want to park their cars. There is no right or reason to remove the parking spaces and there is no reason to allow or approve a plan that provides an access to other properties. There is no easement that gives that right. It would have to be condemned.

Moline asks if that is the lot line shown depicted where Louisville Tire parks cars.

Osgood says there is a fence 65 feet west of the Louisville Tire property that runs the length of the lot. You see the very edge of Louisville Tire property. It was installed by the Law family. It has been completely enclosed since the 1980s, and the parking has been used exclusively by Louisville Tire.

Moline asks if you will make an adverse possession claim.

Osgood says we have an adverse possession claim. We had hoped to resolve this amicably without going to that extent. That is why we asked for a condition to get a resolution, but there has been no real effort to get that resolution. Since you have made that a condition, I am asking you to hold the condition and say, "no, you haven't solved that condition so we can't approve it."

Easement map entered into record:

Hsu makes motion to enter easement map into the record, seconded by **Brauneis**. Passed by voice vote.

Osgood says this easement map was entered into the record last September 2015.

Moline asks Staff if the City Attorney has weighed in on this issue. At what point would the City Attorney weigh in?

Robinson says he has not weighed in on this point. He was consulted last year when the preliminary went through but not on this final.

Pritchard asks Staff, in regard to the condition on the preliminary in September 2015, do you know the actual wording of it.

Osgood says it is Condition 3 on page 12 of the September 10, 2015 minutes.

3. *Easement concerns, with the Louisville Trade Center Plat, will be resolved prior to final approval.*

My clients do not want to oppose this project. We want to be able to preserve our rights. We think there is a way to get that done, it just hasn't gotten done. In terms of the potential for litigation, that is not your concern but the effect of it could potentially be a concern. If we were to bring an adverse possession claim and acquire ownership, it would change the square footage, change other requirements, and require additional waivers. If we only establish a prescriptive easement and those parking spaces are lost, it looks like it might get approved anyway. I don't know where the parking spaces came from in the Staff report as available for the Live/Work areas. It is not our goal to end up in litigation; it is our goal to get it resolved. The first time I heard anything on it was a response from the attorney developer at 4:40 pm, saying we don't need to worry about this because we have this easement. We are opposing it today.

Michael Menaker, 1827 West Choke Cherry Drive, Louisville, CO

I was not going to talk about this, but since it came up, I think there is some interesting language from CC if we prevail in adverse possession and if we acquire rights to this property. My understanding is that they don't own that property. I think it is inappropriate for PC to be party to an adverse possession suit. I think dealing with that is outside the scope of reasonable activities of the PC, and certainly not something to be done on the fly. I know that Mr. **McClure** and his partners are fairly confident in their property rights or they wouldn't have come this far forward and presented such detail plans. My understanding has always been, and I have lived here

since 1987, that it is not their property. In fact, I believe there was an offer outside these chambers to buy that property, which would also indicate that the owners know they don't own it. I will set that aside and move forward. I think what I want to talk about most is this: there are very few of us still active in government who were present at the beginning, when the MUDDSG were created, discussed, and adopted. Since that time, things have changed tremendously. From the very first design that RTD posted when we still believed that we would have FasTracks coming into Downtown Louisville, it was apparent immediately that there would never, ever be the foot traffic required to support first floor retail anywhere in the urban renewal area. That was supported by studies paid for by the City and the Urban Renewal Authority, and by EPS on two occasions. In discussions with then Planning Director **Troy Russ**, my concern always was that we would end up in this place today with an SRU and a body of people who didn't remember how we got here. Only Mr. **Pritchard** and myself have been doing this so long that we were present at the creation. The reasoning behind an SRU was that Staff at the time felt they actually had more control over design elements by doing a special review for first floor residential. I argued strenuously at the time, and did not prevail, that we should rewrite the code. I think it eliminates questions, concerns, and lack of understanding when you lose institutional memory. But I will assure this PC that at no time at the beginning when we were still talking about five story buildings with densities greater than 30 dwelling units an acre, did we ever see a commercial feasibility study that supported first floor retail anywhere in the Urban Renewal Area with the exception of highway facing, highway-oriented retail on Highway 42. At the time, we thought Highway 42 would be the first place to develop. How little did we know? What I would offer is this. As someone who was present throughout the process and is an active and current member of the Urban Renewal Board, if you have detailed questions about any of this, I would be glad to answer them; or we can simply move forward and know that we are where we are, that the code has evolved, that it is intended to be a living document which was the point of the SRU, and recognize that we did this on purpose. It wasn't a decision I would have made but it was the decision made at the time. I think we can all be confident that there is absolutely zero viability for first floor commercial and also recognize that the intent to make a street-oriented, pedestrian friendly first floor façade in these buildings regardless of what takes place inside those walls has been achieved, and be confident to move forward.

Scott Osgood says I would like to respond to one point. The prior comments said that if we acquire this, we will then own it. Regardless of whether we own what people think of as ownership, we own an easement on that and we have the right to use that space. If it is impinged upon and if the parking is reduced or altered, that does affect our property rights without regard to whether we have a lawsuit and what the outcome is. The issue I ask you to consider is that the plan would impinge on our legal rights in a way that frankly, cannot be done. If the City can approve this, he doesn't have the right to take away our easement. The question is whether he has any rights in the easement. It isn't a question of whether we have rights in the easement. We certainly do.

Summary and request by Staff and Applicant:

O'Connell asks Staff if I am correct in thinking that the City Attorney has not had any input as to whether that condition has been met? **Robinson** says no, not at this point.

Rice says I am not remembering any of this discussion, so I conclude that I was probably not present at the September meeting. Who has fee title to the property that has been presented as a development plan? Is there any question about that? The applicant has fee title to the property that we are being asked to recommend a development plan. The only other issue that is outstanding in my view from a planning perspective is what Ann just raised. If there was a condition that we attached on final approval and it hasn't been met, it seems to me that we can't approve a final plan. I am looking for guidance.

Robinson says in Staff's opinion, the condition has been met. When the preliminary went through, it was more vague on how the access would work. This proposal provides access to the property they have fee title to, and utilizes a platted access easement to get access to it. In

Staff's analysis of it at this point, there is no conflict with the easement or the properties. That condition has been met but the City Attorney has not reviewed it. If you'd like, we can have him review it. The condition was that it be resolved before final approval. If that is the only concern of PC at this point, you can leave that condition on it or put a similar condition on it that it be resolved before CC approval. We'd have an additional month to work it through with the City Attorney.

Rice says my concern is that the reason we are at this point today is because we put a condition on it. I am not sure it is our place to be doing that. It becomes a planning issue because we made it a condition. Otherwise, I am keenly in agreement with the idea that it is not our place as the PC to get into prior property disputes.

Moline says would another month or another visit on the project change anything for us. I would be at the point of recommending approval with the same condition.

Osgood says in looking at the September 2015 minutes, it is apparent that the resolution called for a resolution between parties. I am telling you there is no resolution and the applicant has not said otherwise. Not only the condition, but the minutes and the statements by commissioners make it very clear that the point of the condition was a resolution between parties. Does the condition matter or will you ignore it? You are being asked not only for approval of an interim plan but approval of a final plan which would involve access through the north properties and the Louisville Trade Center down the south.

McClure says when we are in the preliminary process, what we originally wanted to do with access was to have access come through off Griffith and access our land here. To digress, it is a horribly inefficient design to have two alley accesses. Given where we are in the process, we need to be able to move forward with our project and this is the decision we made. We have eliminated access entirely onto our parcel from the Louisville Trade Center plat joint access easement. The plan calls for a joint access easement to the mutual benefit of both property owners. We are not doing anything to change it. The preliminary plat had existing parcel conditions and had final conditions. We identified the easement on that plat as well but we have totally adjusted and reviewed our site plan per our comments at the preliminary process to not have access to the interior of our parcel from this joint access easement, simply because of the argument they have made. It is supposed to be specifically for this 60 foot area and not provide internal access. Whether we agree or disagree, we have complied. We are not doing anything with our final plat that negatively affects the existing use of that easement. It is parking for us and parking for them. It is access for us and access for them as it always has been. To be totally frank, I have incurred a significant amount of project delay and soft cost expenses to be able to accommodate this. I have a great reputation of working with the community. I have never been in front of this PC with an adjacent property owner disagreeing with our proposals. That is because we have a great track record of working with our neighbors and being kind, generous, and responsive to the community. People like what we do because we are raising property values, which was the intent of the MUDDSG.

Rice says I want you to respond to the comment that if we approve this final PUD, that we are also approving this alley. I hear you tell me that is your ultimate plan.

McClure says it is not my ultimate plan. It is the City's.

Rice says my point is we are not voting on that.

McClure says I have intentionally set it up where you do not vote on that tonight. As I previously indicated, what I am calling an interim condition in the final development plan may exist in perpetuity as a final condition. I hope it doesn't and I'd like to be able to effectuate the alley access that is shown in Exhibit A of the MUDDSG. But if we can't, we can't. That is not going to be up to me. That will be up to the BOOM family. Ultimately, they have the largest interest on eastern Highway 42-oriented development. That is east of midblock where the alley is supposed to go. They have great cash flows off that property. I certainly hope that they give me an opportunity to redevelop it, but we have no agreement right now. In Resolution 27, Series 2015, there are no easement concerns because we have the entire package to make sure that we are

not conflicting with the easement. Therefore, the condition has been satisfied. I can't speak for Staff, but **Robinson** clearly stated that Staff thought the condition had been satisfied.

Closed Public Hearing and discussion by Commission:

Hsu says let me start with the easier issues. There are a lot of waivers and special review use issues in front of us. When I saw this in the packet, I was worried that there were so many questions, it might be difficult to approve every single one. I appreciate Staff's and the applicant's presentations and I now feel comfortable with the SRU, the tree waiver, and the subdivision plat. I am not comfortable with the sign but it seems okay, and I am comfortable with the parking. On this question of the easement, I am going to take the easy way out and say that right now, I don't favor approving this, not so much for the substantive issues but for the procedural issues that this easement question was not in front of us in the packet at the right time. It did not have adequate public notice. There are probably some due process concerns. I didn't brush up on my property law to figure out whose rights are here. I don't think anyone on this PC feels comfortable adjudicating property law right now. I think procedurally, we are missing something by not having this be considered. I do want to make another comment that has come up a few times. There is the question of institutional memory and the performance of citizenship of applicants. Those are great for the community but that is not our legal criteria. It is not in the LMC or City Charter or state law. I appreciate people talking about how it is great to have institutional memory and that applicants who come back and develop have a tie to the City. Unfortunately for better or worse, that is not in our criteria to consider and I don't think we should give that any weight pro or con. I am thinking of voting against this because of the procedural issues. I am open to hearing what my fellow commissioners think.

Moline says I agree with David on the first part of this. For me, the application is consistent with the preliminary plan and has been enhanced. I had concerns about the street trees and those have been explained. From that perspective, I am in support of this application along with the two conditions proposed by Staff. I don't think our denial of the application really addresses what might be a legal issue. I am leaning toward Staff's perspective of the application that works with the existing property the applicant owns. If there is some other issue that needs to be worked out, it will be worked out in a court of law or where it needs to be. I agree with Staff that the condition applied at the preliminary has been met and I am ready to approve it.

Brauneis says it is unfortunate that we find ourselves with this issue so late in the game. When I step back, I see a neighbor concerned about important parking and the viability of an ongoing operation of the business on the site. There is clear potential legal action surrounding this issue that may or may not play out going forward. In the narrow confines presented tonight, as the PC, we are within reason to move forward in approving it. I am leaning towards approval but wished this issue had been worked out. If we do move to approve this evening, it may push it in one direction that may not serve the City well.

O'Connell says I want to approve it but I don't think we can. I think we need to continue this and submit it to the City Attorney. The reason I feel that way is because we did inject ourselves into this by putting on the condition. I am afraid that if we go forward and approve it without a definitive statement from the City as to whether or not this condition has been met, we may potentially inject the City into this dispute should it go to court. That is my hesitation. I think we need to see the language of the condition and see an opinion from the City Attorney as to whether or not the City feels that the condition has been met given. We have a party here who says there is no easement at play and another party who says there is.

Rice says from a substantive standpoint, I think this is a great proposal. All my questions have been answered and I think it is solid. I am enthusiastic about it. My concern is the same as Ann's. We have injected ourselves into this by creating this condition which, quite frankly, I can't resolve in my mind based on what I've heard tonight. In terms of lessons learned, don't make a condition for two private parties to agree to something. We only want to have a condition where we, the City, have some control over it. We are best to continue this matter and get some advice

from the City Attorney with regard to that condition. I am sad to say that, but I think that is the prudent thing to do.

Pritchard says looking at this proposal and this project, I am in favor of it. I agree with Ann and Tom. This is the first time in 20 years since I have been on the PC that we have not resolved something before we put on some type of limitation. I am disappointed in both parties. This should have been worked out. I want the City Attorney to look at this. I think this matter should be continued. I hate the fact that we are continuing it, but I do believe Staff is correct that the condition under the preliminary was met. I want this matter pushed back for 30 days to November 10, 2016 for Staff present this to the City Attorney, get it reviewed and confirm Staff's findings. If the City Attorney says it is not, then we will address it accordingly.

Brauneis says I am comfortable with a continuance. **Moline** is comfortable with a continuance. **Zuccaro** read the condition from the September 10, 2015 minutes:

3. Easement concerns, with the Louisville Trade Center Plat, will be resolved prior to final approval.

Moline asks what does Staff consider to be final approval, is that a CC meeting?

Zuccaro says it would constitute CC's final decision.

Rice says we should not send something to CC that we haven't given our blessing to. We are sending them something that is unresolved.

O'Connell says we have not heard all sides and we are basically making a legal determination.

Motion made by **Rice** to continue **Delo Lofts Final Plat/PUD/SRU, Resolution 25, Series 2016**. A resolution recommending approval of a final plat for 4.39 acres which includes a 1.91 acre final PUD and a Special Review Use (SRU) within the core area of the Highway 42 Revitalization District for 3 apartments and 8 live-work units with two conditions:

1. The proposed signage shall be modified to comply with the Downtown Sign Manual.
2. The applicant shall address all issues in the Department of Public Works October 4, 2016 memo prior to the City Council hearing.

to the November 10, 2016 meeting to have legal counsel look at it and see whether the condition from the September 10, 2015 has been met, seconded by **O'Connell**. Roll call vote.

Name	Vote
Chris Pritchard	Yes
Ann O'Connell	Yes
Steve Brauneis	Yes
Jeff Moline	Yes
Tom Rice	Yes
David Hsu	Yes
Monica Sheets	n/a
Motion passed/failed:	Pass

Continuation passes 6-0.

- **Centennial Pavilions Final Plat:** A request for a re-plat of Centennial Pavilions Filing No. 1 to create three separate legal lots. **Continue to 11/10/16**

- Applicant and Representative: NexGen Properties (Sean Sjodin)
- Owner: NexGen Properties, Walorado Partners LLC, Centennial Pavilions Lofts Owner's Association

Motion made by **Brauneis** to continue Centennial Pavilions to the November 10, 2016 meeting, seconded by **Moline**. Passed by voice vote.

Planning Commission Comments:

Hsu says that both **Robinson** and **Trice** have received promotions. Congratulations to you both.

Pritchard says there is a new Planning Staff member. **Zuccaro** introduces **Kristin Dean** who is the new Principal Planner. She will be the liaison to the PC.

Brauneis thanks Staff for creating chapters in the PDF. It makes it easier to move around.

Staff Comments:

Robinson says that CC appointed a new PC member, **Monica Sheets**. She was not able to attend tonight, but I believe she will be here at the November meeting. She was a member of PC a few years ago so she is familiar with the PC.

Items Tentatively Scheduled for the regular meeting: November 10, 2016:

- **Crystal Springs SRU:** A request for a special review use (SRU) to allow a tap room at 600 Main Street.
 - Applicant and Representative: Crystal Springs Brewing Company, LLC (Tom Horst)
 - Owner: Martin and Karen Achtermann
 - Case Manager: Rob Zuccaro, Planning and Building Safety Director

- **Innovative Openings:** A request for a Planned Unit Development and easement vacation for a 15,101 SF office, manufacturing and warehouse facility.
 - Applicant and Representative: Rosenthal Associates, LLC (Bob Rosenthal)
 - Owner: PF Investments, LLC
 - Case Manager: Kristin Dean, Principal Planner

- **Lot 2, Block 3 Park at CTC PUD:** A request for a Planned Unit Development for 49,600 SF flex building.
 - Applicant, Owner, and Representative: Balfour Senior Living (Hunter MacLeod)
 - Case Manager: Scott Robinson, Planner III

- **Medtronic:** A request for an amended Planned Unit Development and Subdivision Plat for a 40,000 SF office addition, increase in parking area and revised drainage plan.
 - Applicant and Representative: CTC Commercial III, LLC (Steve Meyers)
 - Owner: Leslie Malone
 - Case Manager: Rob Zuccaro, Planning and Building Safety Director

- **North End Market PUD/GDP Amendment:** A request for a final Planned Unit Development (PUD) and General Development Plan (GDP) amendment to allow 40,000 SF of commercial and 65 dwelling units.
 - Applicant, Owner, and Representative: Ridgeline Development Corp (Chad Kipfer)
 - Case Manager: Scott Robinson, Planner III

Adjourn:

O'Connell made motion to adjourn, **Brauneis** seconded. **Pritchard** adjourned meeting at 9:25 pm.

ITEM: Case #16-025-UR, Crystal Springs

PLANNER: Robert Zuccaro, AICP, Planning and Building Safety Director

APPLICANT: Crystal Springs Brewing Company, LLC
876 Sunshine Canyon Drive
Boulder, CO 80202

OWNER: Martin and Karen Achtermann
777 West Mulberry St.
Louisville, CO 80027

REPRESENTATIVE: Tom Horst, Crystal Springs Brewing Company, LLC

EXISTING ZONING: Commercial Community (CC)

LOCATION: 600 Main Street (Lot 7, Block 4, Louisville Old Town)

TOTAL SITE AREA: 6,809 square feet (0.16 acres)

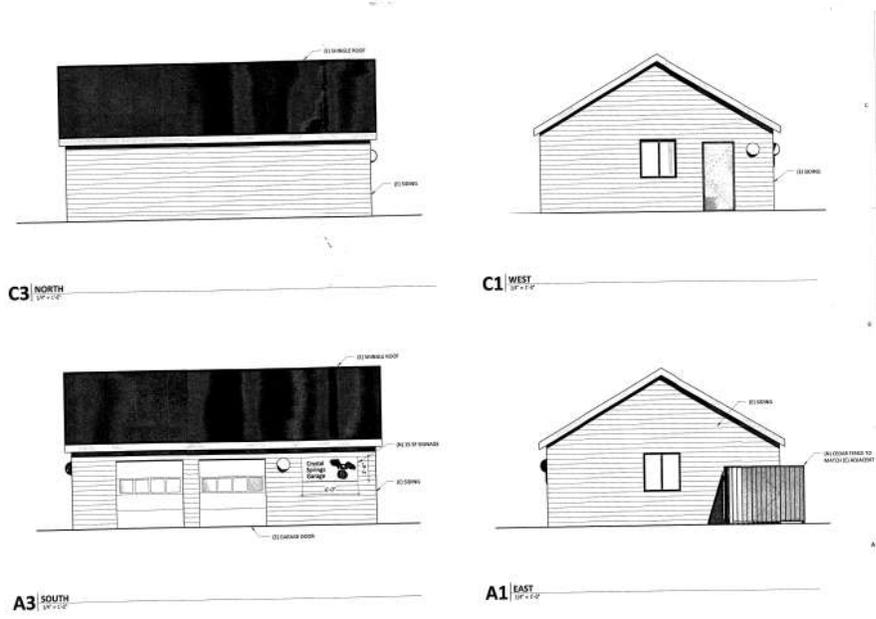
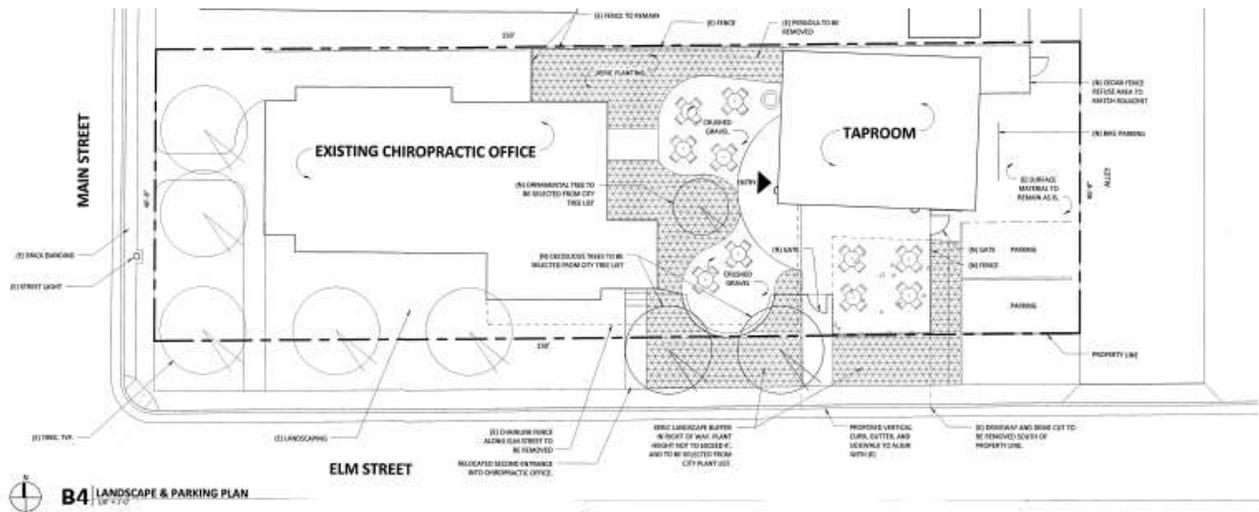
REQUEST: Approval of Resolution No. 26, Series 2016, a resolution recommending approval of a Special Review Use to allow for an approximately 720 square-foot outdoor patio seating area associated with the proposed Crystal Springs Brewing Company Satellite Tap Room

VICINITY MAP:



PROPOSAL:

The applicant, Chrystal Springs Brewing Company LLC, requests approval of a Special Review Use (SRU) to allow an approximately 720 sq. ft. outdoor patio seating area associated with the establishment of a proposed tap room at 600 Main Street. The outdoor patio seating area is part of the conversion of an existing 780 sq. ft. detached garage on the east side of the parcel to a tap room, with the patio space located on the south, southwest and west sides of the converted garage. The proposal includes converting the existing driveway on the south side of the garage into part of the patio space, with the curb cut removed and landscaping added to the right of way portion of the old driveway. The plans also call for adding two alley-loaded parking spaces to replace the two parking spaces lost with the conversion of the driveway. The conversion of the garage to an indoor tap room is a use by right under Louisville Municipal Code (LMC) Sec. 17.12.30, Use Group 31, Indoor Eating and Drinking Establishments and is not part of the SRU request. The outdoor patio space falls under Use Group 35, Outdoor Sales: Eating and Drinking Establishments, which requires SRU approval.



BACKGROUND:

The subject property is located within the boundaries of Downtown Louisville and is zoned Community Commercial (CC). The property currently contains a chiropractic business in an approximately 1,500 sq. ft. converted residence on the west side of the property and an approximately 780 sq. ft. detached garage on the east side of the property with a driveway connecting to Elm Street to the south. The residence was originally built in 1890. Properties to the south and west across Elm Street and Main Street are residential uses. The property immediately to the north is an office use and to the east is a public parking lot.

ANALYSIS:

LMC Chapter 17.40 provides procedures and review criteria for SRU requests. The Planning Commission is to review the SRU request at a public hearing and make a recommendation for approval, approval with conditions or denial of the application to City Council. Review criteria are found in LMC Sec. 17. 40.100. The following contains staff's analysis of the request and recommended findings on each review criteria.

Sec. 17.40.100.A The following criteria shall be considered by the planning commission and the city council in reviewing applications for special review use under this chapter.

- 1. That the proposed use/development is consistent in all respects with the spirit and intent of the comprehensive plan and of this chapter, and that it would not be contrary to the general welfare and economic prosperity of the city or the immediate neighborhood;*

The Comprehensive Plan classifies Downtown Louisville as Center type development. Centers are described by as follows:

Centers are defined by their mixture of uses (retail, commercial, and residential), street interconnectivity, and integrated public spaces. A center's physical design is that of a destination, or gathering point for city-wide activities. Centers are connected to and oriented toward their adjacent land uses. Centers typically have the greatest retailing opportunities. Centers feature integrated public spaces with a recognized public space, or focal point. Centers also have the highest potential for a vertical mix of uses.

The Comprehensive Plan also includes the following applicable policy for Downtown Louisville in support of the proposal:

Downtown and Highway 42 Revitalization District Framework Policy No. 9: Promote the health of downtown through a traditional development pattern and pedestrian scaled redevelopment including expansion of business and housing opportunities.

Staff finds that the proposal is consistent with the Center type development as it provides adaptive reuse of a property that provides a destination, gathering place and provides a new commercial use to the area. Staff also finds the

development proposal promotes the health of Downtown by adding pedestrian scale development and expansion of businesses consistent with Downtown and Highway 42 Revitalization District Framework Policy No. 9.

Development of the property is subject to the Design Handbook for Downtown Louisville. The property falls within the Transition Area of Downtown, which is intended to be more residential in character than the Core Area of Downtown. The Design Handbook also calls for pedestrian scale development with visual interest. Staff finds that the adaptive reuse of the garage as the tap room is consistent with the Transition Area's residential character requirements. The patios and landscaping incorporated in the development will add visual interest and a pedestrian scale to the development. The proposal is also consistent with applicable Design Handbook standards on site lighting, alley loaded parking and shielding refuse areas from view.

Any development in Downtown Louisville that increases floor area by less than 1,000 sq. ft. is exempt from any requirements to add new parking. However, any existing spaces must be maintained. Because the existing business utilized the driveway that will be converted to patio, two new spaces are required on-site. This requirement is being met with the two alley loaded spaces. The space dimensions are 19' deep x 9' wide. Staff finds that the parking complies with the LMC and intent of the Design Handbook for Downtown Louisville and.

2. *That such use/development will lend economic stability, compatible with the character of any surrounding established areas;*

The use will provide a new business to Downtown Louisville through adaptive reuse of an existing commercially zoned property. Staff finds the use will compliment other businesses in the downtown area and will lend to economic stability.

3. *That the use/development is adequate for internal efficiency of the proposal, considering the functions of residents, recreation, public access, safety and such factors including storm drainage facilities, sewage and water facilities, grades, dust control and such other factors directly related to public health and convenience;*

A chiropractic business operates out of the existing building on the west side of the property. The owners of this business will be leasing the converted garage space to the applicant. Conversion of the east side of the property is not anticipated to impact the other use of the property. A separate water and sewer tap will be required for the conversion of the garage to a separate business premises. No net additional impervious surface is anticipated impacting storm drainage.

4. *That external effects of the proposal are controlled, considering compatibility of land use; movement or congestion of traffic; services, including arrangement of*

signs and lighting devices as to prevent the occurrence of nuisances; landscaping and other similar features to prevent the littering or accumulation of trash, together with other factors deemed to effect public health, welfare, safety and convenience;

The applicant has provided a lighting and photometric plan with full cut-off light fixtures and demonstrating that there will be no external light spill across the property boundaries. Staff recommends that amplified music not be allowed within such close proximity to residential uses. At the request of staff, the applicant has also added a note regarding the intent to have outdoor amplified music. The note states that “No amplified music is planned for the site.” In order to clarify the meaning of the note, staff recommends the wording be changed to the following: “Outdoor amplified music shall be prohibited.” The proposal also includes additional landscaping along the south side of the property to help buffer the use from the residential properties across Elm Street. In addition, the proposal includes adding a cedar fence screened refuse area in the alley on the northeast side of the property. Staff finds that the external effects of the proposed outdoor patio area are reasonably controlled through the site design and restriction on outdoor amplified music. To date, no comments have been received from nearby property owners regarding this proposal.

5. *That an adequate amount and proper location of pedestrian walks, malls and landscaped spaces to prevent pedestrian use of vehicular ways and parking spaces and to separate pedestrian walks, malls and public transportation loading places from general vehicular circulation facilities.*

The parking spaces will be alley loaded and set back 8 feet from the public sidewalk along Elm Street. Bicycle parking will be located on the east side of the garage. The proposal includes pedestrian access to the property from the Elm Street sidewalk in addition to access from the alley. Staff finds that the pedestrian and vehicular access plan meets the intent of this criterion.

STAFF RECOMMENDATION:

Staff finds that the proposal complies with the SRU criteria in LMC Section 17.40.100 and recommends that the Planning Commission recommend approval of Resolution No. 26, Series 2016, a resolution recommending approval of a Special Review Use to allow an approximately 720 sq. ft. outdoor patio seating area associated with the proposed Crystal Springs Brewing Company Satellite Tap Room at 600 Main Street with the following condition:

- Prior to the City Council public hearing, the plan note addressing amplified music shall be amended to read “Outdoor amplified music shall be prohibited.”

The Planning Commission may recommend approval (with or without conditions) or denial of the request or move for a continuance if additional information related to the proposal is needed.

ATTACHMENT(S):

1. Resolution No. 26, Series 2016
2. Application documents

**RESOLUTION NO. 26
SERIES 2016**

A RESOLUTION RECOMMENDING APPROVAL OF A SPECIAL REVIEW USE TO ALLOW FOR AN APPROXIMATELY 720 SQUARE-FOOT OUTDOOR PATIO SEATING AREA ASSOCIATED WITH THE PROPOSED CRYSTAL SPRINGS BREWING COMPANY SATELLITE TAP ROOM LOCATED AT 600 MAIN STREET (LOT 7, BLOCK 4, LOUISVILLE OLD TOWN)

WHEREAS, there has been submitted to the Louisville Planning Commission an application for approval of a Special Review Use (SRU) to allow for an outdoor patio seating area associated with a proposal to locate the Crystal Springs Brewing Company Satellite Tap Room at 600 Main Street;

WHEREAS, the outdoor patio seating area is classified under Louisville Municipal Code (LMU) Section 17.12.30, Use Group 35, Outdoor Sales: Eating and Drinking Establishments; and

WHEREAS, the City Staff has reviewed the information submitted and found that, subject to conditions, the application complies with the Louisville zoning regulations and other applicable sections of the Louisville Municipal Code, including the SRU review criteria in LMU Section 17.40.100; and

WHEREAS, the Planning Commission has considered the application at a duly noticed public hearing on November 10, 2016, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated November 10, 2016.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of an approximately 720 square foot outdoor patio seating area associated with the proposed Crystal Springs Brewing Company Satellite Tap Room at 600 Main Street with the following conditions:

- Prior to the City Council meeting the plan note addressing amplified music shall be amended to read "Outdoor amplified music shall be prohibited."

PASSED AND ADOPTED this 10th day of November, 2016.

By: _____
Chris Pritchard, Chairman
Planning Commission

Attest: _____
Steve Brauneis, Secretary
Planning Commission

LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: Crystal Springs Brewing

Contact: Tom Horst

Address: 876 Sunshine Canyon Dr.
Boulder, CO 80202

Mailing Address: 876 Sunshine Canyon Dr.
Boulder, CO 80202

Telephone: 303-884-5602

Fax: _____

Email: tom@crystalspringsbrewing.com

OWNER INFORMATION

Firm: _____

Contact: Martin and Karen Achternann

Address: 777 West Mulberry St.
Louisville, CO 80027

Mailing Address: same

Telephone: 303-673-9797

Fax: _____

Email: mdacht777@gmail.com

REPRESENTATIVE INFORMATION

Firm: Crystal Springs Brewing Company LLC

Contact: Tom Horst

Address: 657 S. Taylor Ave. Unit E
Louisville, CO 80027

Mailing Address: same

Telephone: 303-884-5602

Fax: _____

Email: tom@crystalspringsbrewing.com

PROPERTY INFORMATION

Common Address: 600 Main St.

Legal Description: Lot 7 Blk 4

Subdivision Louisville OT

Area: _____ Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)**
- SRU Amendment**
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: CONVERSION OF EXISTING BUILDINGS INTO A SATELLITE TASTING ROOM FOR CRYSTAL SPRINGS BREWING COMPANY AND INCLUDING OUTSIDE AREAS FOR SERVING ALCOHOLIC BEVERAGES (BEER)

Current zoning: ML Proposed zoning: SAMU

SIGNATURES & DATE

Applicant: [Signature]

Print: THOMAS HORST

Owner: [Signature]

Print: KAREN ACHTERNANN

Representative: [Signature]

Print: THOMAS HORST

CITY STAFF USE ONLY

- Fee paid: _____
- Check number: _____
- Date Received: _____

Dear Sir or Madam:

RE: 600 Main Street (garage)

Our proposed use for this building and the grounds to the west and a portion of the concrete area to the south is to establish a "satellite" taproom .

Crystal Springs Brewing Company is a packaging brewery, with locations in Sunshine Canyon, Boulder County and the Colorado Technical Center in Louisville, Colorado. We were established in May of 2010 and have had a location in the CTC since 2013.

Our goal in establishing a taproom in old town Louisville is to provide a more convenient location for our customers and to add to the already vibrant and unique atmosphere in old town. To do so, we intend to use this location as a place where we can provide our patrons with a unique environment including a taproom, beer garden and patio where customers can enjoy our beers in a relaxed and comfortable setting.

Our hours of operation would vary with the seasons, but normally opening no earlier than 11:00 AM and closing by 10:00 PM. Hours would be longer during warm weather months and shorter during the winter.

We believe that our project meets all city parking requirements for old town Louisville.

Regards,

A handwritten signature in black ink, appearing to read "Thomas Horst", written in a cursive style.

Thomas Horst
Crystal Springs Brewing Company

Sean McCartney
City of Louisville
749 Main Street
Louisville CO 80027

Dear Mr. McCartney,

Below are our responses to the SRU criteria per LMC Section 170.40.100 – Criteria and conditions for approval.

RE: 600 Main St (garage)

1) That the proposed use / development is consistent in all respects with the spirit and intent of the comprehensive plan and of this chapter, and that it would not be contrary to the general welfare and economic prosperity of the city or the immediate neighborhood;

The proposed use is for a satellite tasting room for Crystal Springs Brewing Company. No brewing will be done on premise. Pursuant to state guidelines, Crystal Springs Brewing Company will use its wholesale license from its Boulder location for the tasting room. However, this tasting room will compliment Crystal Springs' brewery and tasting room located in Louisville's Colorado Technical Center. At this taproom we would also like to be allowed to serve beer outside, in both the lawn area west of the building and in a small area just south of the building. This use is listed as allowed with an approved SRU within the Old Town zoning district. We envision the proposed tasting room will not only compliment and support other businesses in Historic Downtown Louisville but also beautify the community by replacing an otherwise undeveloped garage and the surrounding grounds.

2) That such use / development will lend economic stability, compatible with the character of any surrounding established areas;

The tasting room will compliment the Old Town by providing a place for people to gather in pleasant and relaxed surroundings and by attracting more visitors to the downtown area. While food will be served, the menu will be very limited and mostly confined to appetizers. The hours of operation for the tasting room will be within the hours of 11 am and 10 pm everyday.

3) That the use / development is adequate for internal efficiency of the proposal, considering the functions of residents, recreation, public access, safety and such factors including storm drainage facilities, sewage and water facilities, grades, dust control and such other factors directly related to public health and convenience;

Our use as a satellite tap room in the existing structure will not affect any of the

public health and convenience functions described in the question. Parking and access all conform to the appropriate design standards for accessibility.

4) That external effects of the proposal are controlled, considering compatibility of land use; movement or congestion of traffic; services, including arrangement of signs and lighting devices as to prevent the occurrence of nuisances; landscaping and other similar features to prevent the littering or accumulation of trash, together with other factors deemed to effect public health, welfare, safety and convenience;

Our proposed use of the building does not increase traffic above levels anticipated when the building was constructed. No additional signs or lighting devices above the approved PUD for the building are being proposed. Landscaping will compliment area landscaping and provide for a pleasant area for people to gather.

5) That an adequate amount and proper location of pedestrian walks, malls and landscaped spaces to prevent pedestrian use of vehicular ways and parking spaces and to separate pedestrian walks, malls and public transportation loading places from general vehicular circulation facilities.

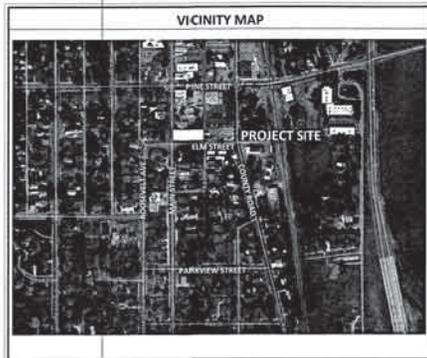
Walks are already in place and will not be altered.

Please let me know if you have any questions. Thank you.

Regards,

A handwritten signature in black ink, appearing to read 'Thomas Horst', with a long horizontal line extending to the right.

Thomas Horst
Crystal Springs Brewing Company



SIGNATURES

OWNERSHIP SIGNATURE BLOCK
By signing this PUD, the owner acknowledges and accepts all the requirements and intent set forth in this PUD. Witness my hand(s) and the _____ day of _____, 20____.

Owner Name and Signature _____
Owner Name and Signature _____
Notary Name (print) _____
Notary Signature _____
My Commission Expires _____

PLANNING COMMISSION CERTIFICATE
Approved this _____ day of _____, 20____, by the Planning Commission of the City of Louisville, Colorado.
Resolution No. _____ Series _____ (City Seal)

CLERK AND RECORDER CERTIFICATE (COUNTY OF BOULDER, STATE OF COLORADO)
I hereby certify that this instrument was filed in my office at _____ o'clock _____ M., this _____ day of _____, 20____, and is recorded in Plan File _____ Fee _____ per cent. File No. _____ Reception.

Clerk & Recorder _____
Deputy _____

CITY COUNCIL CERTIFICATE
Approved this _____ day of _____, 20____, by the Planning Commission of the City of Louisville, Colorado.
Resolution No. _____ Series _____ (City Seal)

Mayor Signature _____
City Clerk Signature _____

SPECIAL REVIEW USE

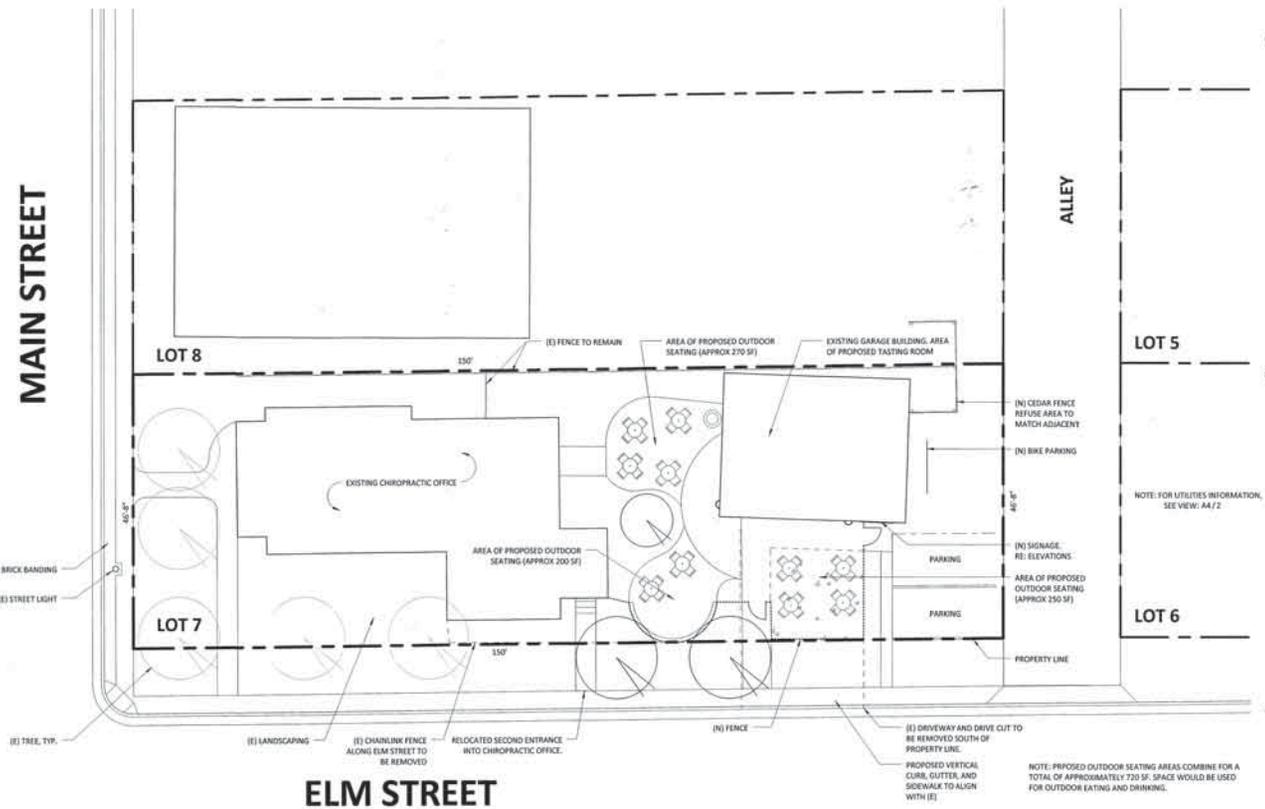
**600 MAIN STREET
COMMERCIAL DEVELOPMENT
LOUISVILLE OLD TOWN, BLOCK 4, LOT 7**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

THE PURPOSE OF THIS SPECIAL REVIEW USE IS TO ALLOW OUTDOOR EATING AND DRINKING ESTABLISHMENTS IN THE C-C COMMERCIAL COMMUNITY EDGE DISTRICT PULSANT TO CHAPTER 17.60 OF THE LOUISVILLE MUNICIPAL CODE.

THE INTENT FOR DEVELOPMENT IS TO COMMENCE WITH CONSTRUCTION IMMEDIATELY FOLLOWING APPROVAL OF THE SRU.

NO AMPIFIED MUSIC IS PLANNED FOR THIS SITE.



A1 SPECIAL REVIEW USE PLAN
1" = 10'-0"



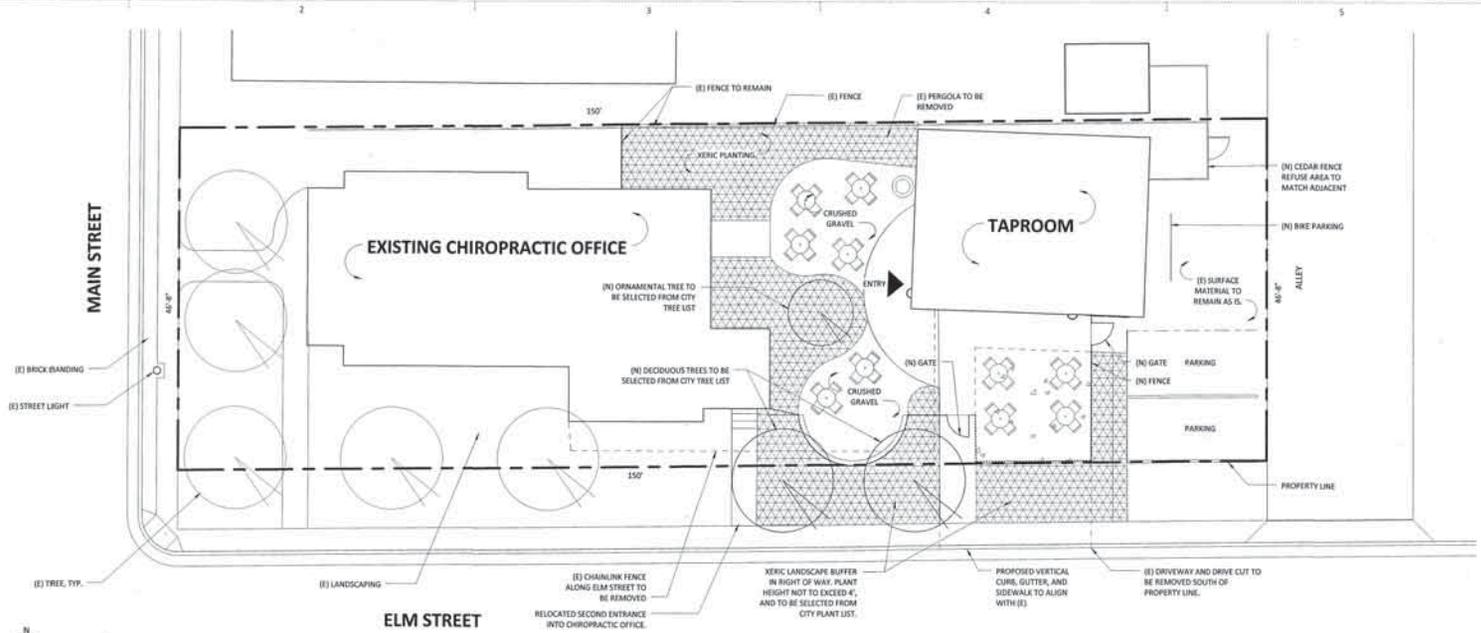
CONSTRUCTION DOCUMENTS

CRYSTAL SPRINGS GARAGE

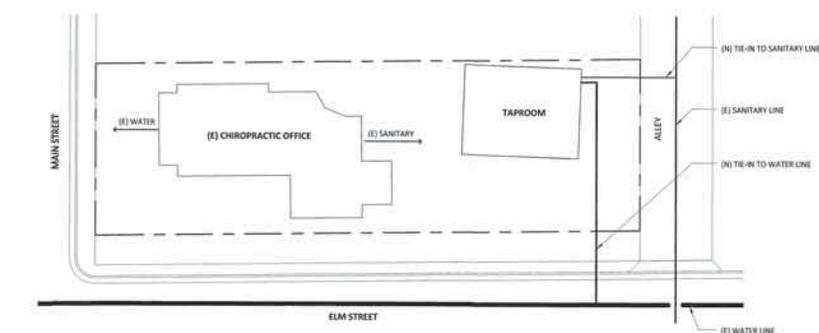
CRYSTAL SPRINGS BREWING
600 MAIN STREET
LOUISVILLE, CO 80027

PROJECT #: 1614
ISSUE DATE: 10/14/2016
REVISIONS: _____
DESCRIPTION: _____ DATE: _____

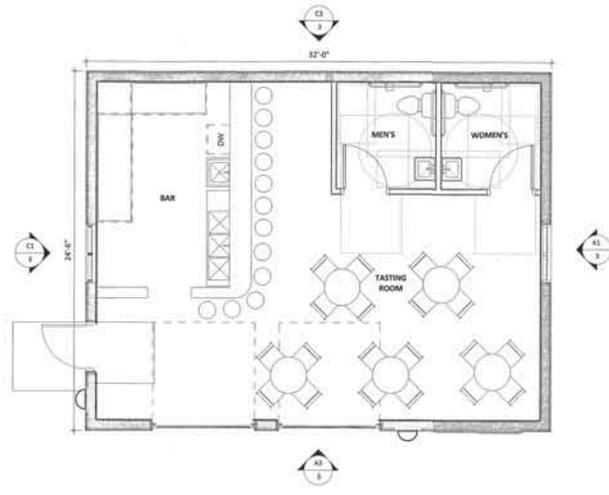
SPECIAL REVIEW USE PLAN



B4 LANDSCAPE & PARKING PLAN
 1/8" = 1'-0"



A4 CONCEPTUAL UTILITY PLAN
 1/8" = 1'-0"



A2 FLOOR PLAN
 1/8" = 1'-0"

GENERAL NOTE: A KNOCK BOX WILL BE INSTALLED WITH ALL NECESSARY PERMITS FROM THE LOUISVILLE FIRE DISTRICT

CONSTRUCTION DOCUMENTS

CRYSTAL SPRINGS GARAGE

CRYSTAL SPRINGS BREWING
 600 MAIN STREET
 LOUISVILLE, CO 80027

PROJECT #: 1614
 ISSUE DATE: 10/14/2016
 REVISIONS: DESCRIPTION DATE

FLOOR PLAN & LANDSCAPE/PARKING PLAN

10/12/2016 3:31:27 PM - PLOT DATE

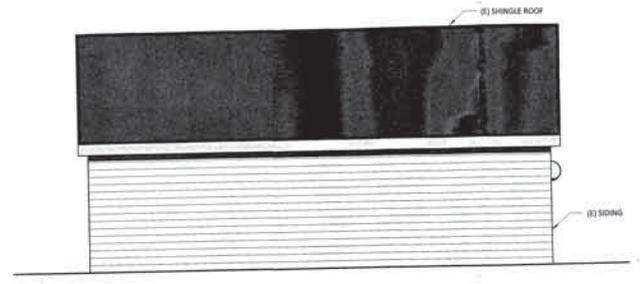
CONSTRUCTION DOCUMENTS

CRYSTAL SPRINGS GARAGE

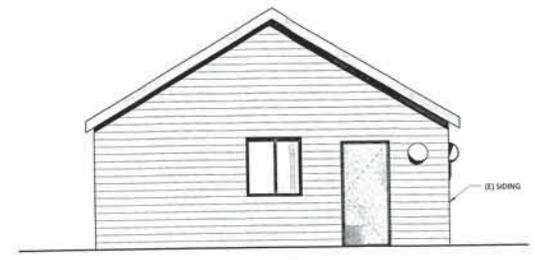
CRYSTAL SPRINGS BREWING
600 MAIN STREET
LOUISVILLE, CO 80027

PROJECT #: 1614
ISSUE DATE: 10/14/2016
REVISIONS:
DESCRIPTION DATE

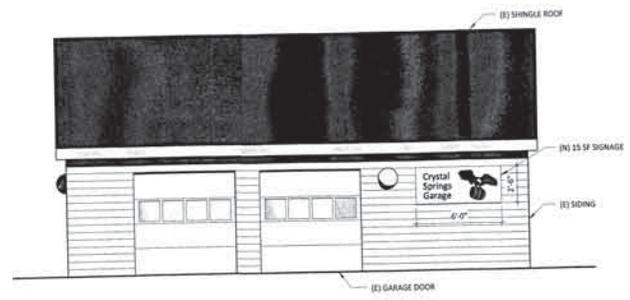
EXTERIOR ELEVATIONS



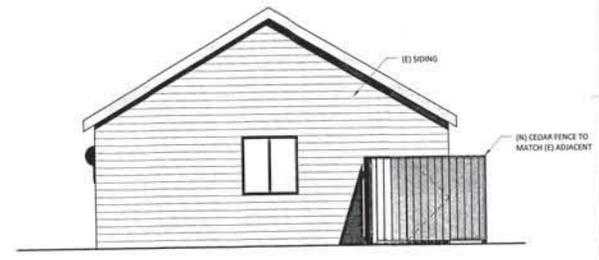
C3 NORTH
1/4" = 1'-0"



C1 WEST
1/4" = 1'-0"



A3 SOUTH
1/4" = 1'-0"



A1 EAST
1/4" = 1'-0"

10/12/2016 3:21:30 PM - PLOT DATE



CRYSTAL SPRINGS GARAGE

CRYSTAL SPRINGS BREWING
600 MAIN STREET
LOUISVILLE, CO 80027

PROJECT #: 1614
ISSUE DATE: 10/14/2016
REVISIONS:
DESCRIPTION: DATE:

SITE LIGHTING CALCULATIONS

GNLEDD2YRST11A

RAM

Part	Part
Accessories	Color

Technical Specifications

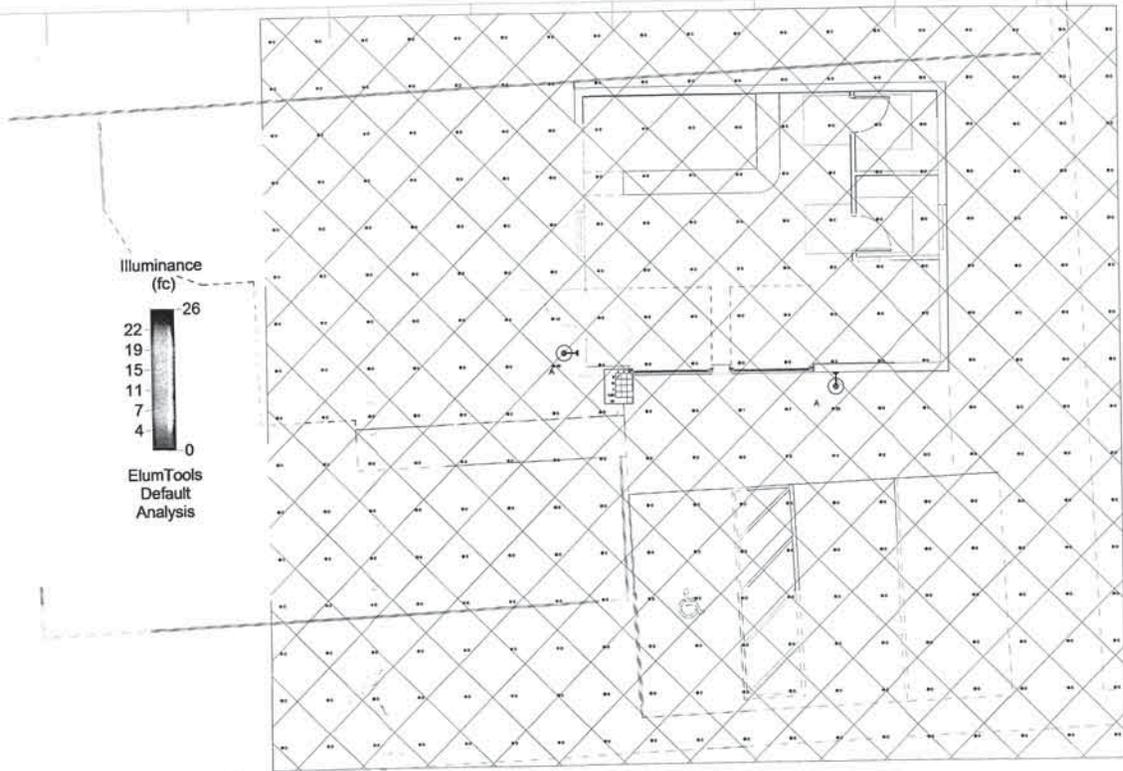
Manufacturer: RAM
Model: GNLEDD2YRST11A
Description: EXTERIOR DECORATIVE WALL FIXTURE, 26 WATT, 3000K, FLOOD, STRAIGHT SHADE, 11" BLACK

GNLEDD2YRST11A

RAM

Technical Specifications

Manufacturer: RAM
Model: GNLEDD2YRST11A
Description: EXTERIOR DECORATIVE WALL FIXTURE, 26 WATT, 3000K, FLOOD, STRAIGHT SHADE, 11" BLACK



LIGHTING CALCULATIONS SITE PLAN
FIXTURE A
1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE, FIXTURE A

Type Mark	Count	Manufacturer	Model	Description
A	2	RAM	GNLEDD2YRST11A	EXTERIOR DECORATIVE WALL FIXTURE, 26 WATT, 3000K, FLOOD, STRAIGHT SHADE, 11" BLACK
Grand Total: 2				



Illuminance Calc Points [fc]
Luminance Display [cd/m²]



ITEM: Case #16-028-FP, L2 B3 Park at CTC

PLANNER: Scott Robinson, Planner II

APPLICANT: JM Associates Inc
5589 Arapahoe Unit 104
Boulder, CO 80301

OWNER: CTC Commercial III LLC
168 CTC Blvd Suite E
Louisville, CO 80027

REPRESENTATIVE: Jerry Moore

EXISTING ZONING: Industrial (I)

LOCATION: Lot 2, Block 3, Park at CTC (312 CTC Blvd)

TOTAL SITE AREA: 186,310 square feet (4.28 acres)

REQUEST: Approval of Resolution No. 27, Series 2016, a resolution recommending approval of a final Planned Unit Development (PUD) to construct a 49,600 square-foot single-story industrial/flex building with associated site improvements on Lot 2, Block 3, Park at CTC.

VICINITY MAP:



PROPOSAL:

The applicant, JM Associates, is requesting approval of a final Planned Unit Development (PUD) to allow for the construction of a 49,600 square-foot industrial/flex building. The site is located in the Colorado Technology Center (CTC) at the corner of Dogwood Street and CTC Blvd on Lot 2, Block 3, of the Park at CTC subdivision. The property is zoned Industrial (I) and is subject to the Industrial Development Design Standards and Guidelines (IDDSG).

ANALYSIS:

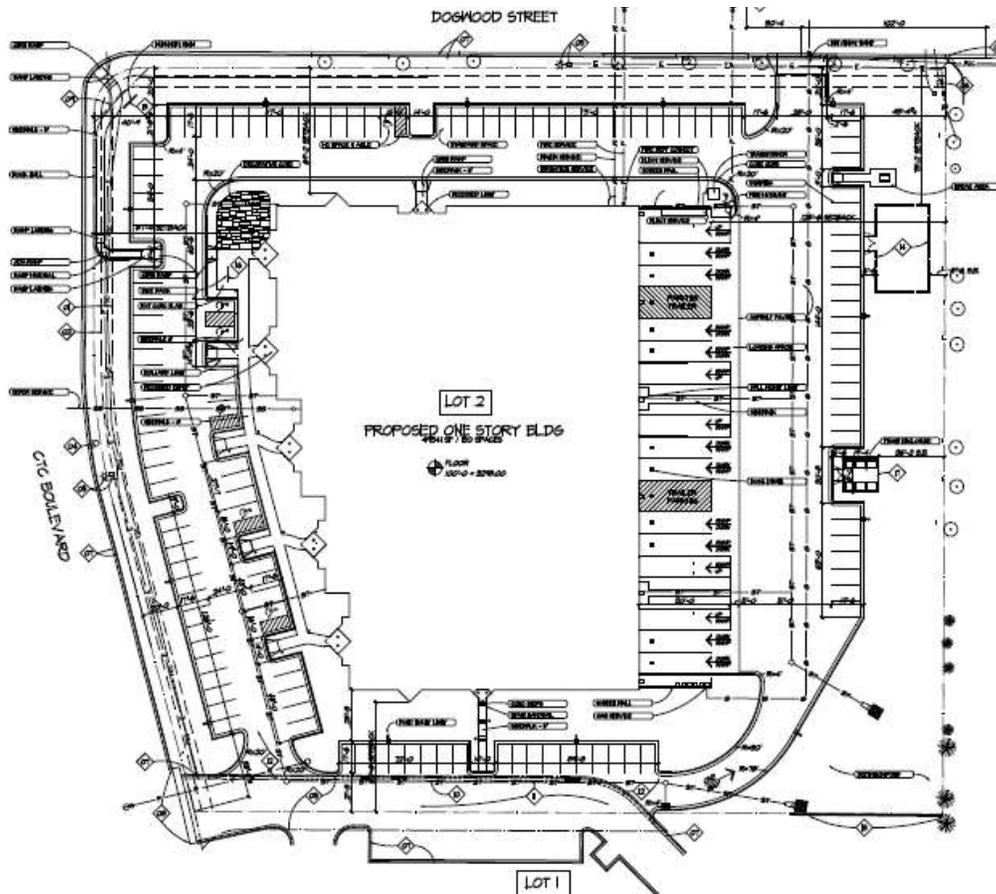
IDDSG

The following contains staff's analysis of the proposed development's compliance with the IDDSG:

Site Plan

The proposed lot coverage and setbacks meet the requirements of the IDDSG. The proposed building foot print, parking, and driveways cover 71% of the site, less than the 75% allowed by the IDDSG. Pedestrian plazas, landscaped setback areas, and landscaped drainage facilities would cover the remainder of the site. A break area would be provided on the east side of the site.

The front of the proposed building would face west with surface parking surrounding the building. The east side of the building would contain the loading area, with loading dock and trash enclosure. Concrete walls painted to match the building would screen the trash enclosure. Screen walls would screen the loading dock from Dogwood Street. The setbacks and site layout comply with the IDSG and no waivers are required.

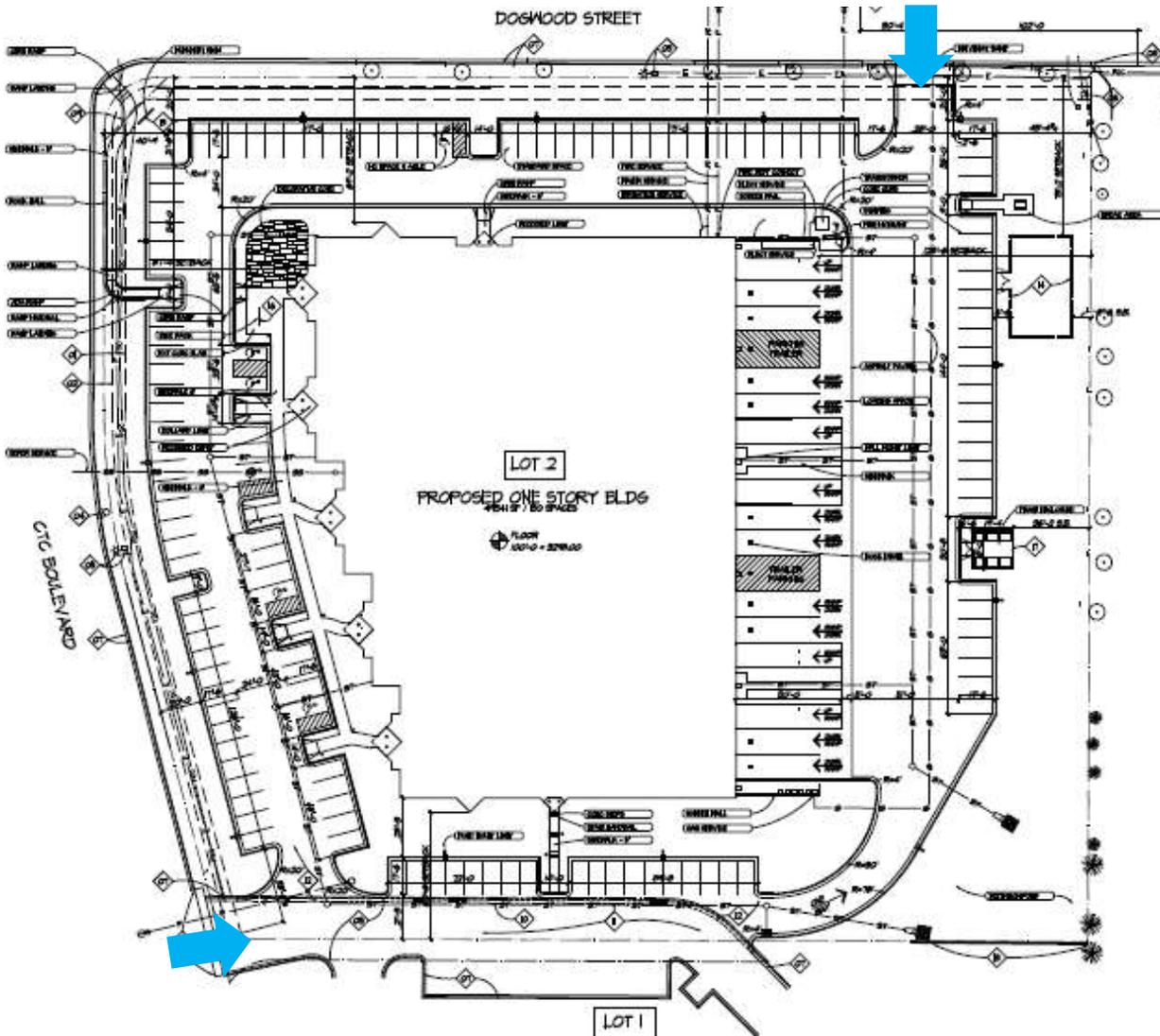


Parking

The applicant is proposing 130 parking spaces, or 2.6 spaces per 1,000 square feet. The IDDSG recommends a ratio of four spaces per 1,000 square feet for flex buildings, but allows individual uses to be evaluated at tenant finish as long as a minimum of two spaces per 1,000 square feet are provided. The proposed parking ratio is similar to other flex buildings in CTC. In addition, the dock areas can be used for deferred parking if a use does not need them and requires more parking spaces.

Vehicular and Pedestrian Circulation

There are two proposed vehicular access points to the site. One, from CTC Blvd, utilizes an existing drive and access easement shared with the property to the south. The other access would be from Dogwood Street. Both entrances would lead to a drive aisle that circles the site, providing access to parking and loading areas.

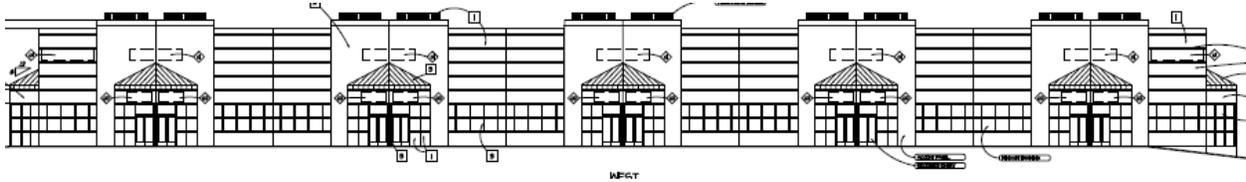


The site plan includes internal sidewalks to provide access from the parking areas to the main building entrances along the west side of the building. The CTC sidewalk plan does not call for sidewalks adjacent to this property, but the proposal includes a connection from the internal walks to the intersection of Dogwood and CTC Blvd to access the sidewalks on the other sides of the streets.

Architecture

Concrete tilt up panels incorporating reveals and recesses in the façade comprise the majority of the building. The building design encompasses a range of neutral colors and features an aluminum canopy at the entrances.

There would be five entrances along the west side of the building defined by triangular extensions from the building. The north and west elevations, facing the street, incorporate glazing and variations in color and materials, meeting the IDDSG requirements for architecture on street-facing facades. In addition, the west elevation would step back in segments going from north to south, following the curve in the lot line.



The building would include a varied roof line between 27 and 29 feet. The proposed building height of 29 feet is below the maximum permitted height of 40 feet found in the IDDSG. All roof mounted mechanical equipment would be setback a minimum of 20 feet from the building parapet, and would be painted to match the dominant color of the building.

Landscape Plan, Drainage and Retaining Walls

The proposed landscaping would screen the parking lot and the loading areas from public view point and provide a buffer between adjacent land uses. The parking area would incorporate landscaped islands separating parking bays consistent with IDDSG requirements. The proposed landscaping complies with the IDDSG. The plans also include a detention pond on the southeast corner of the site.

Signs

The applicant is requesting one monument sign at the corner of Dogwood and CTC Blvd. The proposed design is consistent with the IDDSG. No specific designs are proposed for the building-mounted signs, but notes on the PUD to regulate the signage are consistent with the IDDSG.

Lighting

The applicant has submitted a lighting plan that includes wall lights on the building and pole lighting in the parking lot. The parking lot light poles cannot exceed 24 feet in height per the requirements of the IDDSG. The proposed lighting standards meet the specifications of the IDDSG.

PUD Criteria

Section 17.28.120 of the Louisville Municipal Code lists 13 criteria for Planned Unit Developments (PUDs) that must be satisfied or found not applicable for the PUD to be approved. Staff finds that all applicable criteria are met because the proposal meets all the requirements of the IDDSG and is located in an industrial area surrounded by compatible developments. The public land dedication requirement was met when the property was originally platted.

STAFF RECOMMENDATION:

Staff finds that the proposal complies with the IDDSG and PUD approval criteria in LMC Section 17.28.120 and recommends Planning Commission recommend approval of Resolution No. 27, Series 2016, a resolution recommending approval of a Final Planned Unit Development to allow for the construction of a 49,600 square-foot single-story industrial/flex building with associated site improvements on Lot 2, Block 3, Park at CTC. The Planning Commission may recommend approval (with or without conditions),

continuance, or denial of the applicant's request for Final Planned Unit Development approval.

ATTACHMENT(S):

1. Resolution No. 27, Series 2016
2. Application documents
3. Final PUD

**RESOLUTION NO. 27
SERIES 2016**

A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLANNED UNIT DEVELOPMENT (PUD) TO CONSTRUCT A 49,600 SQUARE-FOOT SINGLE-STORY INDUSTRIAL/FLEX BUILDING WITH ASSOCIATED SITE IMPROVEMENTS ON LOT 2, BLOCK 3, PARK AT CTC.

WHEREAS, there has been submitted to the Louisville Planning Commission an application for approval of a final Planned Unit Development (PUD) to allow for the construction of a 49,600 square-foot single-story industrial/flex building with associated site improvements on Lot 2, Block 3, Park at CTC; and

WHEREAS, the City Staff has reviewed the information submitted and found that the application complies with the Louisville zoning and subdivision regulations and other applicable sections of the Louisville Municipal Code; and;

WHEREAS, after a duly noticed public hearing on November 10, 2016, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated November 10, 2016, the Planning Commission finds the PUD for Lot 2, Block 3, Park at CTC should be approved.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a final Planned Unit Development (PUD) to allow for the construction of a 49,600 square-foot single-story industrial/flex building with associated site improvements on Lot 2, Block 3, Park at CTC.

PASSED AND ADOPTED this 10th day of November, 2016.

By: _____
Chris Pritchard, Chairman
Planning Commission

Attest: _____
Steve Brauneis Secretary
Planning Commission

LAND USE APPLICATION

CASE NO. 16-028-FF

APPLICANT INFORMATION

Firm: CTC COMMERCIAL III, LLC
 Contact: STEVE MEYERS, MANAGER
 Address: 168 CTC BLVD - STE 15
LOUISVILLE, CO 80027
 Mailing Address: SAME
 Telephone: 303-588-9988
 Fax: 303-664-7850
 Email: STEVE@SMEYERS2450C.COM

OWNER INFORMATION

Firm: SAME AS APPLICANT
 Contact: _____
 Address: _____
 Mailing Address: _____
 Telephone: _____
 Fax: _____
 Email: _____

REPRESENTATIVE INFORMATION

Firm: JM ASSOCIATES, INC.
 Contact: JERRY MOORE, ARCHITECT
 Address: PO BOX 18390
BOULDER, CO 80308
 Mailing Address: SAME
 Telephone: 303-449-1887
 Fax: 303-449-2900
 Email: jerry@jm-associ.com

PROPERTY INFORMATION

Common Address: 312 CTC BOULEVARD
 Legal Description: Lot 2 Blk 3
 Subdivision THE PARK AT CTC
 Area: 180,310 Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: THE PROJECT PROPOSES DEVELOPMENT OF A SINGLE 49,600-SF 1 STORY BUILDING ON A 4.277 A LOT. THE BLDG IS ORIENTED FACING CTC BLVD TO THE WEST. THE BLDG INCLUDES A SIDEWALK CONNECTION TO CTC BLVD & DORRWOOD ST. ALL LIADING & UTILITY SERVICES ARE ON THE REAR OF THE BLDG AND SCREENED FROM VIEW OF ADJ. P/PLP/PROPS TO THE SOUTH & NORTH.

Current zoning: PUD-1 Proposed zoning: PUD-1

SIGNATURES & DATE

Applicant: [Signature] 07/14/16
 Print: STEPHEN MEYERS
 Owner: SAME AS APPLICANT
 Print: _____
 Representative: [Signature] 07/14/16
 Print: JERRY MOORE

CITY STAFF USE ONLY

- Fee paid: _____
- Check number: _____
- Date Received: _____

LETTER OF REQUEST

Rev 10/14/16

FINAL PUD

Lot 2, Block 3, The Park at CTC

LEGAL DESCRIPTION:

Lot 2, Block 3, The Park at CTC, Boulder County, CO

ADDRESS:

312 CTC Boulevard, Louisville CO

PROJECT AREA:

4.77 Acres

PROPOSED USE:

Any uses allowed in City of Louisville Industrial zone districts

PROJECT INTENT:

The Project proposes development of a single story building on an existing vacant lot located on the southwest corner of the intersection of CTC Boulevard and Dogwood Street. The Building is oriented with (10) prospective tenant entries on the west facing CTC Boulevard and (1) prospective tenant entry on the north facing Dogwood Street. All loading and utility services are on the rear (east) of the Building which are screened from view of the adjacent commercial property to the south (368 CTC Boulevard) and the commercial property to the north across Dogwood Street (2051 Dogwood). The Project includes two driveway access points: an existing one on the CTC Blvd frontage which is shared with the neighboring property to the south; and, a proposed new access from Dogwood Street near the northeast corner of the property.

LAND USE:

Building footprint	49,541 sf	26.98%
Screen walls footprint	52 sf	0.03%
Exterior storage footprint (future)	1,460 sf	0.80%
Trash enclosure footprint	348 sf	0.19%
Driveways/parking/sidewalks	78,775 sf	42.90%
Landscaped area	53,434 sf	29.10%
Total Site Area	183,610 sf	100.00%

BUILDING SETBACKS:

	East	North	West	South
Min. setback from principal structure	128.0'	69.0'	87.0'	60.0'

BUILDING HEIGHT:

1 story / 29'-0 maximum parapet height above floor elevation

BUILDING AREA:

Footprint 49,541 sf

PARKING:

Standard Parking	124 sp
HC Parking	6 sp
Total Parking	130 sp

Average parking ratio	2.62 sp/1,000 sf
Bicycle parking	9 sp

EXTERIOR MATERIALS:

Walls	Painted precast concrete with accent reveals (minimum 2 colors)
Window Framing	Aluminum storefront framing system
Glazing	Tinted insulating glazing
Sloped Roof	Standing rib metal roofing
Flat Roof	Epdm membrane roofing mechanically adhered
Mechanical Screen	Painted vertical ribbed steel decking (if screening is required per IDDSG)

See Exterior Elevations (Dwg 01/A03) for exterior color specifications and scope.

PROJECT PHASING:

Construction of the Project will commence within 6 months following approval of this PUD by the City of Louisville. Site improvements and core and shell building construction will be complete within 9 months following commencement of construction.

EXTERIOR LIGHTING:

See Sheets E1 and E2 for: pole mounted, wall mounted, bollard and recessed exterior lighting locations and fixture specifications.

SIGNAGE:

The Project proposes 1 double faced exterior lit project identification signs located as indicated on Dwg 01/A01. Monument sign shall be limited to 25 sf per face. Building mounted signage shall conform to the criteria indicated on Dwg 01/A03.

FUTURE TENANT FINISH:

Parking requirements will be reviewed during the building permit process for individual tenant finishes. No tenant finish permits or certificates of occupancy will be issued if the combined parking of the various uses as required by the IDDSG exceeds the total provided parking on the site.

WAIVERS:

The IDDSG includes a standard for alignment of new driveway entrances with existing driveway entrances on the opposing street face. Exact alignment of the proposed Dogwood driveway with the existing driveway at 2051 Dogwood creates two negative impacts on the Project: 1) emergency vehicles and truck traffic using this entrance/exit would be forced to make a tight "S" turn in order to avoid the end of the northern screen wall peninsula and parked tractor trailers on the loading apron to the south; and, 2) this reconfiguration would result in the loss of at least (3) parking spaces. There currently exist many neighboring pairs of driveway entrances in CTC which are not in direct alignment with one another. In this particular instance, we respectfully request a waiver of this IDDSG standard.

LEGAL DESCRIPTION:

Lot 2, Block 3, The Park at CTC, Boulder County, CO

ADDRESS:

312 CTC Boulevard, Louisville CO

PROJECT AREA:

4.77 Acres

PROPOSED USE:

Any uses allowed in City of Louisville Industrial zone districts

PROJECT INTENT:

The Project proposes development of a single story building on an existing vacant lot located on the southwest corner of the intersection of CTC Boulevard and Dogwood Street. The Building is oriented with (10) prospective tenant entries on the west facing CTC Boulevard and (1) prospective tenant entry on the north facing Dogwood Street. All loading and utility services are on the rear (east) of the Building which are screened from view of the adjacent commercial property to the south (308 CTC Boulevard) and the commercial property to the north across Dogwood Street (2051 Dogwood). The Project includes two driveway access points: an existing one on the CTC Blvd frontage which is shared with the neighboring property to the south; and, a proposed new access from Dogwood Street near the northeast corner of the property.

LAND USE:

Building footprint	49,541 sf	26.99%
Screen walls footprint	52 sf	0.03%
Exterior storage footprint (future)	1,460 sf	0.80%
Trash enclosure footprint	349 sf	0.19%
Driveways/parking/sidewalks	78,775 sf	42.90%
Landscaped area	53,434 sf	29.10%
Total Site Area	183,610 sf	100.00%

BUILDING SETBACKS:

Min. setback from principal structure	East	North	West	South
	128.0'	69.0'	87.0'	60.0'

BUILDING HEIGHT:

1 story / 29'-0" maximum parapet height above floor elevation

BUILDING AREA:

Footprint	49,541 sf
-----------	-----------

PARKING:

Standard Parking	124 sp
HC Parking	6 sp
Total Parking	130 sp

Average parking ratio	2.62 sp/1,000 sf
Bicycle parking	9 sp

EXTERIOR MATERIALS:

Walls	Painted precast concrete with accent reveals (minimum 2 colors)
Window Framing	Aluminum storefront framing system
Glazing	Tinted insulating glazing
Sloped Roof	Standing rib metal roofing
Flat Roof	Epdm membrane roofing with river rock ballast
Mechanical Screen	Painted vertical ribbed steel decking (if screening is required per IDDSG)

See Exterior Elevations (Dwg 01/A03) for exterior color specifications and scope.

PROJECT PHASING:

Construction of the Project will commence within 6 months following approval of this PUD by the City of Louisville. Site improvements and core and shell building construction will be complete within 9 months following commencement of construction.

EXTERIOR LIGHTING:

See Sheets E1 and E2 for: pole mounted, wall mounted, bollard and recessed exterior lighting locations and fixture specifications.

SIGNAGE:

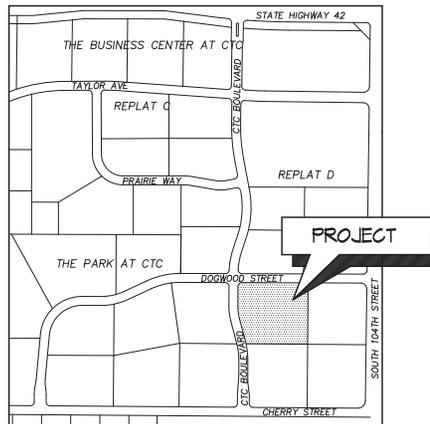
The Project proposes 1 double faced exterior lot project identification signs located as indicated on Dwg 01/A01. Monument sign shall be limited to 25 sf per face. Building mounted signage shall conform to the criteria indicated on Dwg 01/A03.

FUTURE TENANT FINISH:

Parking requirements will be reviewed during the building permit process for individual tenant finishes. No tenant finish permits or certificates of occupancy will be issued if the combined parking of the various uses as required by the IDDSG exceeds the total provided parking on the site.

P.U.D. DEVELOPMENT PLAN

Lot 2, Block 3 The Park at CTC Boulder County, Colorado



Vicinity Map

SHEET INDEX

- A00 Cover Sheet
- A01 PUD Plan, Typical Construction Assemblies
- A02a Partial Floor Plan (North)
- A02b Partial Floor Plan (South)
- A03 Exterior Building Elevations and Signage
- A04 Misc Elevation Details
- A05 Fire Access Plan
- L01 Landscape Plan
- L02 Landscape Details
- E01 Site Photometric Plan
- E02 Exterior Light Details
- C1 Grading Plan
- C2 Drainage Plan
- C3 Utility Plan
- Survey

CERTIFICATES

Ownership Signature Block

By signing this PUD, the owner acknowledges and accepts all the requirements and intent set forth in this PUD. Witness our hands and seals this ____ day of _____, 201__.

(Notary Seal)

Owner Name _____ Signature _____

Notary Name _____ Signature _____

Planning Commission Certificate

Recommended approval this ____ day of _____, 201__ by the Planning Commission of the City of Louisville, Colorado.

Resolution No. _____, Series _____.

City Council Certificate

Approved this ____ day of _____, 201__ by the City Council of the City of Louisville, Colorado.

Resolution No. _____, Series _____.

Mayor _____

City Clerk _____

Clerk and Recorder Certificate
(County of Boulder, State of Colorado)

I hereby certify that this instrument was filed in my office at ____ o'clock, __ M., this ____ day of _____, of 201__, and is recorded in:

Plan File _____, Fee _____, Paid _____

Film No. _____, Reception _____

Recorder _____

Deputy _____

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Final PUD
Lot 2, Block 3, The Park at CTC
Louisville, Colorado

A00

08/04/16	SUBMITTAL
10/14/16	RESUBMITTAL #1

ACCENT PANEL	T precast concrete wall panel with no accent reveals
ACCENT REVEAL	3/8" deep formed reveal on exterior exposed face of PRECAST PANELS Flats of reveal = 2" at base of reveals Turns with walls of reveals at 90 degrees
ACCESS LADDER	Painted or powder-coated steel rail mounted access ladder OSHA compliant with safety cage Provide access ladders to roof for enclosure as required
ADA RAMP	5' high x 5'-0" wide conc. curb on grade - see EXT CONG SLAB for rebar and finish
ASPHALT PAVING	Min slope = 1/2" 1/2" thick asphalt paving See Grading Plan Details for additional recommendations
BIKE RACK	T 1/2" x 4" steel canopy "bermberite" bike rack 2" dia perforated pipe
BOLLARD LIGHT	See Electrical for other requirements
BREAK AREA	12" x 14" concrete slab - see EXT CONG SLAB note 5/8" x 12" loaded wire mesh table and integral bench seats T max risers, 1" lip tread with 1/4" lip transverse on tread 4" thick brickwork reinforced with #4 @ 10" O.C.
CONG STEPS	Concrete curb 4" gutter Reinforce w/ 1# longitudinal in top of curb and 2-#5 longitudinal in mid-depth of gutter See Grading Plan and Details for top curb profile, finish and joints
COUNTERTOP	T 1/2" thick precast conc panel
CURB RAMP	5' concrete curb on grade minimum finish Reinforce w/ #4 @ 10" O.C. See Call for ramp slope and side finish Min ramp width = sidewalk width
DECORATIVE CONG	Patterned or colored concrete slab on grade - see EXT CONG SLAB note
DEFLECTION POND	Open steel deflection pond - see Grading Plan
DOCK DRAIN	Trench grate or catch basin flush contained in dock bay
ELECT SERVICE	See Electrical for size and specific location of electrical service
EXT CONG SLAB	5' concrete slab with broom finish See Structural for other requirements
FIRE DEPT COGN	See Utility Plan for size and specific location of fireline service
FIRELINE SERVICE	See Utility Plan for size and other requirements
GAS SERVICE	See Mechanical for size and specific location of electrical service
GATE	Finished steel deck with steel ribs on base steel frame Finish grade at building terminates @ bottom floor elev unless noted otherwise See GRADING PLAN for finish grade contour
GUARDRAIL	12" dia perforated steel pipe guardrail Splice nuts @ 5'2" oc max Splice bolsters @ 8'-0" oc max Locate top rail @ 42" above adjacent walking surface
HC SPACE/ABLE	8'-0" x 11'-6" parking space with 1'-0" curb overhang 8'-0" x 11'-6" maneuvering space on at least one side (Van accessible) Dedicated parking space with 4" wide striping Dedicated maneuvering space with 4" wide diagonal hatching Post mounted identification sign at head of space
INSULATION SERV	See Utility Plan for size and other requirements
LANDSCAPING	See LANDSCAPE PLAN
LOADING APRON	6" concrete slab on grade with #4 @ 18" oc each way See Grading Plan for additional requirements
LOADING DOCK	5' concrete slab with #4 @ 18" oc each way Reinforce dock edge with L#4@14" with 3/8" x 1/4" @ 24" oc See Structural for concrete elevated requirement 2 dock bumpers installed per mfg's recommendation See EXT CONG SLAB note
LOADING RAMP	5' concrete slab on grade with #4 @ 18" oc each way See Structural for concrete elevated requirement
MECH SCREEN	3" dia galv steel pipe isolators @ 8'-0" oc 3-2x2-2x2/8 galv steel angle lap, intermediate and bottom rail 1" top flange steel angles mounted back @ top section, vert @ bottom section of bolsters Prefabricated metal pipe flashing and sections as required at bolsters See Structural for enclosure and other requirements
METAL ROOFING	Standing seam metal roofing system Asphalt felt underlayment 1/2" O.C. sheathing
MONUMENT SIGN	4'-24" x 8'-0" precast concrete - see TRASH ENCLOSURE NOTE See Structural for foundation and other requirements
ON COLLAR DOOR	Overhead hoisting steel collar door with power operation
POLE MOUNT LIGHT	See Electrical for other requirements and pole base detail
PRECAST PANEL	T precast concrete wall panel See ACCENT REVEAL note See precast panel elevations for door windows and other opening locations See Structural for other requirements
RAMP EDGE	5' high concrete curb on grade - see EXT CONG SLAB note for rebar and finish
RAMP HANDRAIL	See 5' RAMP HANDRAIL for sensor height and logical construction
RAMP LANDING	5'-0" x 5'-0" minimum size w/ 1/4" lip max slope
RECESSED ENTRY	See EXT CONG SLAB note for reinforcement and finish Aluminum storefront door system Contoured precast wall panels above Recessed entry lighting
RECESSED LIGHT	See Electrical for other requirements See RECESSED ENTRY note
RETAINING WALL	Precast concrete panel Loading ramp caps top of panels 12" wide abraded rock retaining wall Maximum height above ramp/bleed surface = 2'-0" See GRADING PLAN for grade elevations
ROOF ACCESS	30x30x12 metal access hatch - 6" dia round SDO or equal
SANITARY SERVICE	See Utility Plan for size and other requirements
SCREEN WALL	T precast concrete wall panel See ACCENT REVEAL note
SEWER LINE	Rough-in main sanitary sewer line See Mechanical for size and routing
SIDWALK	5' conc curb on grade minimum finish Reinforce w/ #4 @ 10" O.C. See Grading Plan and Details for sidewalk, steps and logical joint requirements 1/2" dia standard steel pipe handrail with 1" intermediate rail Locate top of rail 36" above plane of stair nosing Extend rail 2' beyond top and bottom nosing
STAR HANDRAIL	1/2" dia standard steel pipe handrail with 1" intermediate rail Locate top of rail 36" above plane of stair nosing Extend rail 2' beyond top and bottom nosing
STANDARD SPACE	8'-0" x 11'-6" parking space
STORM SERVICE	See Utility Plan for size and other requirements
STRIPS	4" wide metal expansion joints strips for all parking destination See Electrical for location and size of transformer
TRANSFORMER	5' thick concrete pad - verify size with Electrical Reinforce with #4 @ 8" oc on top contained at mid-depth See GATE note
TRASH ENCLOSURE	See EXT CONG SLAB note. Single slide to drain toward driveway Provide ramp to gutter elevation - see SIDEWALKING RAMP note similar Precast concrete enclosure walls - see PRECAST PANEL note Recessed entry lighting
WATER SERVICE	See Utility Plan for size and other requirements See PRECAST PANEL note
WINDOW BAY	See PRECAST PANEL note
WINDOW FRAMING	2" thick 1/2" x 2" aluminum storefront framing system All doors to be 1" min double glazing See Window Elevations for location of tempered glazing

02 TYP ASSEMBLIES
A01

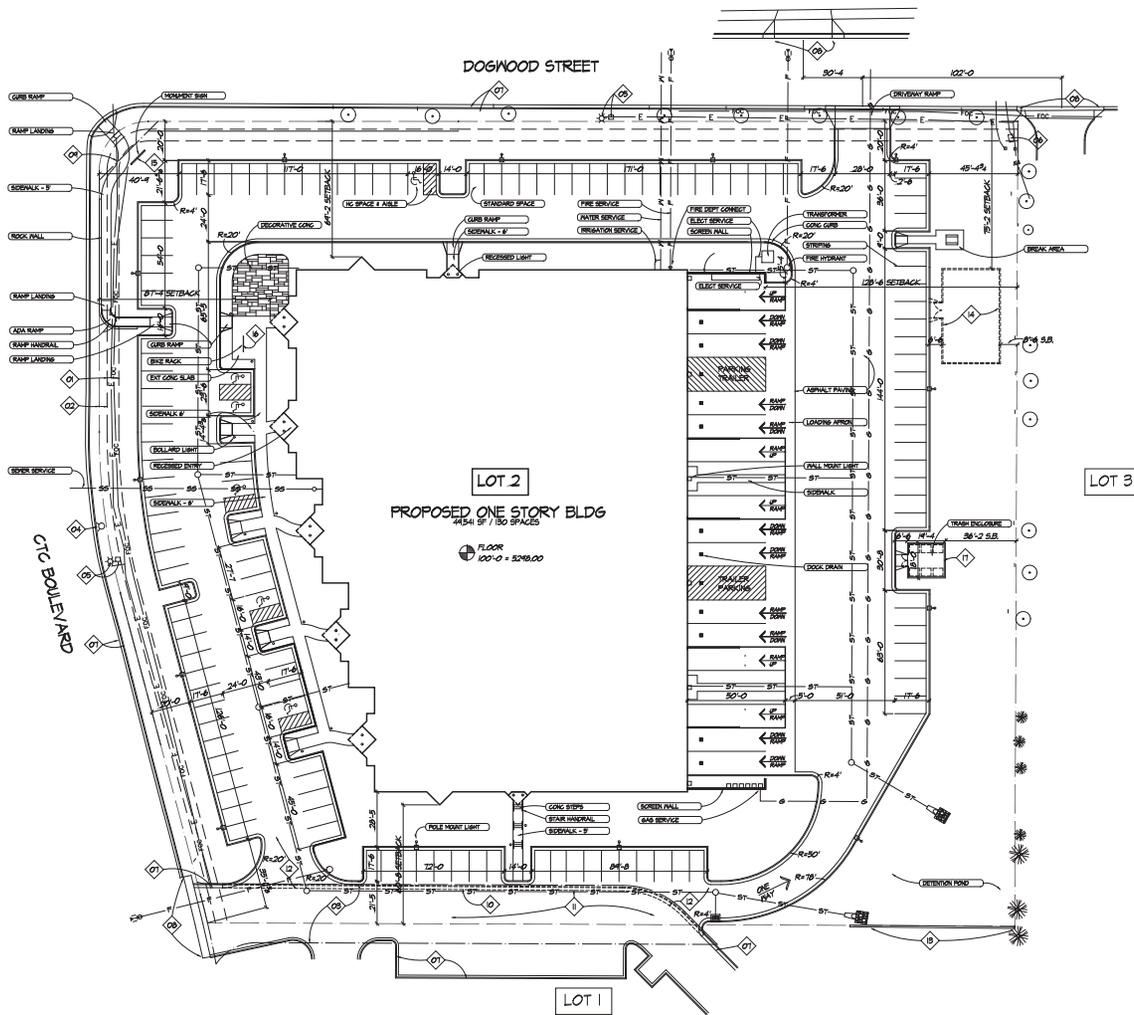
PLAN NOTES

- SEE SHEET 01/AG2 FOR BUILDING PLAN DIMENSIONS.
- SEE 02/AG1 FOR TYPICAL NEW CONSTRUCTION ASSEMBLIES NOTED THIS (TYPICAL ASSEMBLY)
- FUTURE TENANT MAY REQUIRE THE ADDITION OF AN EXTERIOR STORAGE ENCLOSURE WHICH SHALL BE FULLY SCREENED AND LOCATED IN THE REAR YARD OF THE LOT AT THE LOCATION SHOWN. THE AREA OF SUCH ENCLOSURES SHALL NOT EXCEED 10% OF THE PRINCIPAL BUILDING FLOOR AREA. SEE SHEET A04 FOR TYPICAL ELEVATIONS OF EXTERIOR STORAGE ENCLOSURE.
- CURB FACE RADII ARE 2'-0" UNLESS NOTED OTHERWISE.

01 PUD PLAN
A01 1" = 30'-0"

KEY NOTES

- (E) 10' UTILITY EASEMENT
- (E) 4' LANDSCAPE EASEMENT
- (S) SHARED DRIVEWAY EASEMENT BETWEEN LOTS 1 & 2 - SEE SURVEY
- (E) FIRE HYDRANT
- (E) STREET LIGHT AND ELECTRIC BOX
- (E) TELEPHONE PEDESTAL
- (E) CURB AND GUTTER
- (E) DRIVEWAY
- (I) INTERSECTION SIGHT LINE
- (E) CURB & GUTTER TO BE REMOVED
- (E) ASPHALT DRIVEWAY TO REMAIN
- (E) NEW ASPHALT PAVING MEETS EXISTING PAVING ALONG THIS LINE
- (E) CONG RETAINING WALL
- (E) FUTURE EXTERIOR STORAGE ENCLOSURE - SEE DWG 02/A04
- (E) MONUMENT SIGN - SEE DWG 03/A04
- (B) BICYCLE RACK - SEE DWG 04/A04
- (T) TRASH ENCLOSURE - SEE DWG 01/A04

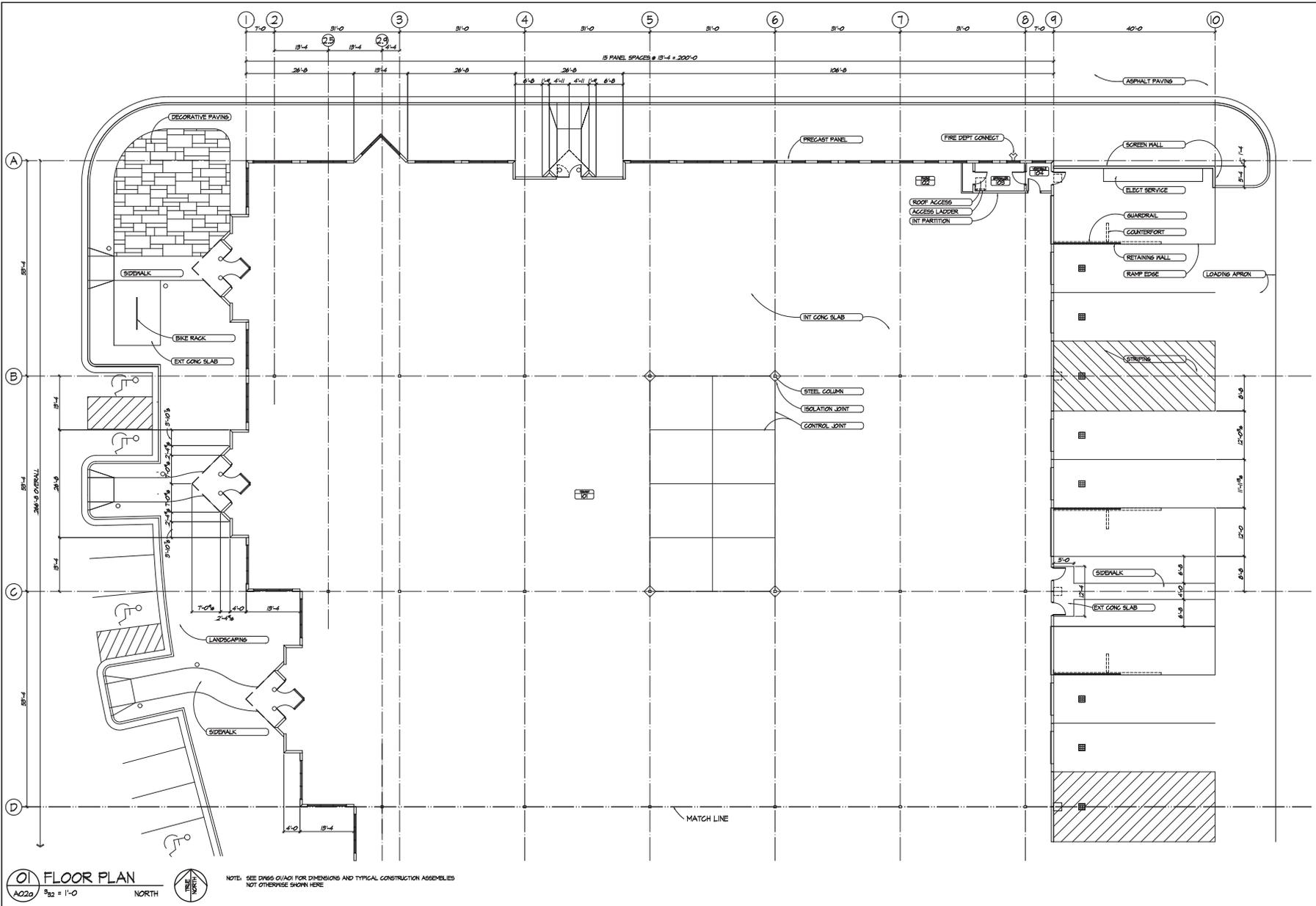


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Lot 2, Block 3, The Park at CTC
Louisville, Colorado

A01

08/04/16	APPLICATION
10/16/16	RESUBMITTAL #1



01 FLOOR PLAN
 A02a 1/32 = 1'-0"
 NORTH

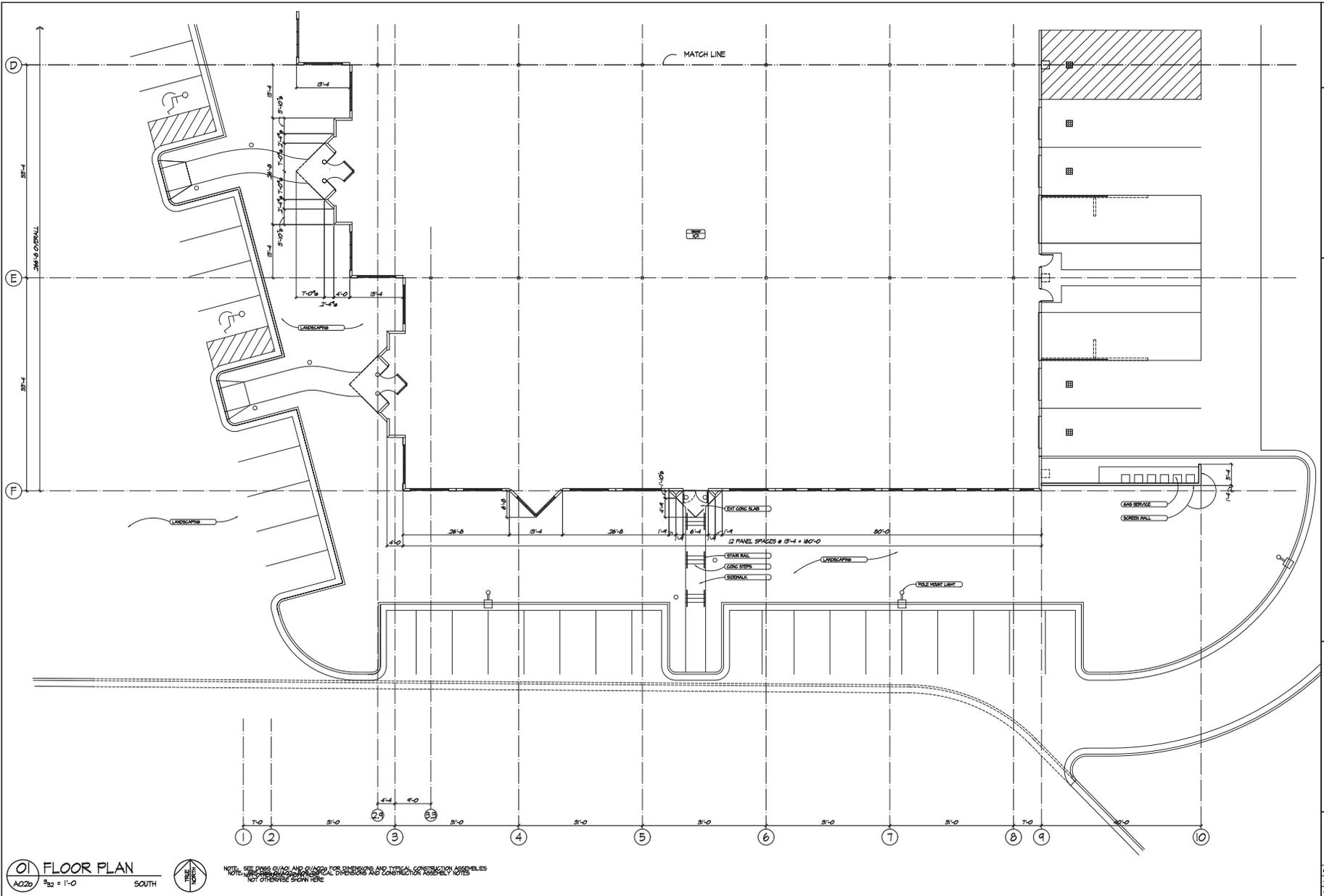
NOTE: SEE DWG 01/A01 FOR DIMENSIONS AND TYPICAL CONSTRUCTION ASSEMBLIES NOT OTHERWISE SHOWN HERE

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A02a

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08/04/16	




FLOOR PLAN
 A02b 1/32" = 1'-0" SOUTH

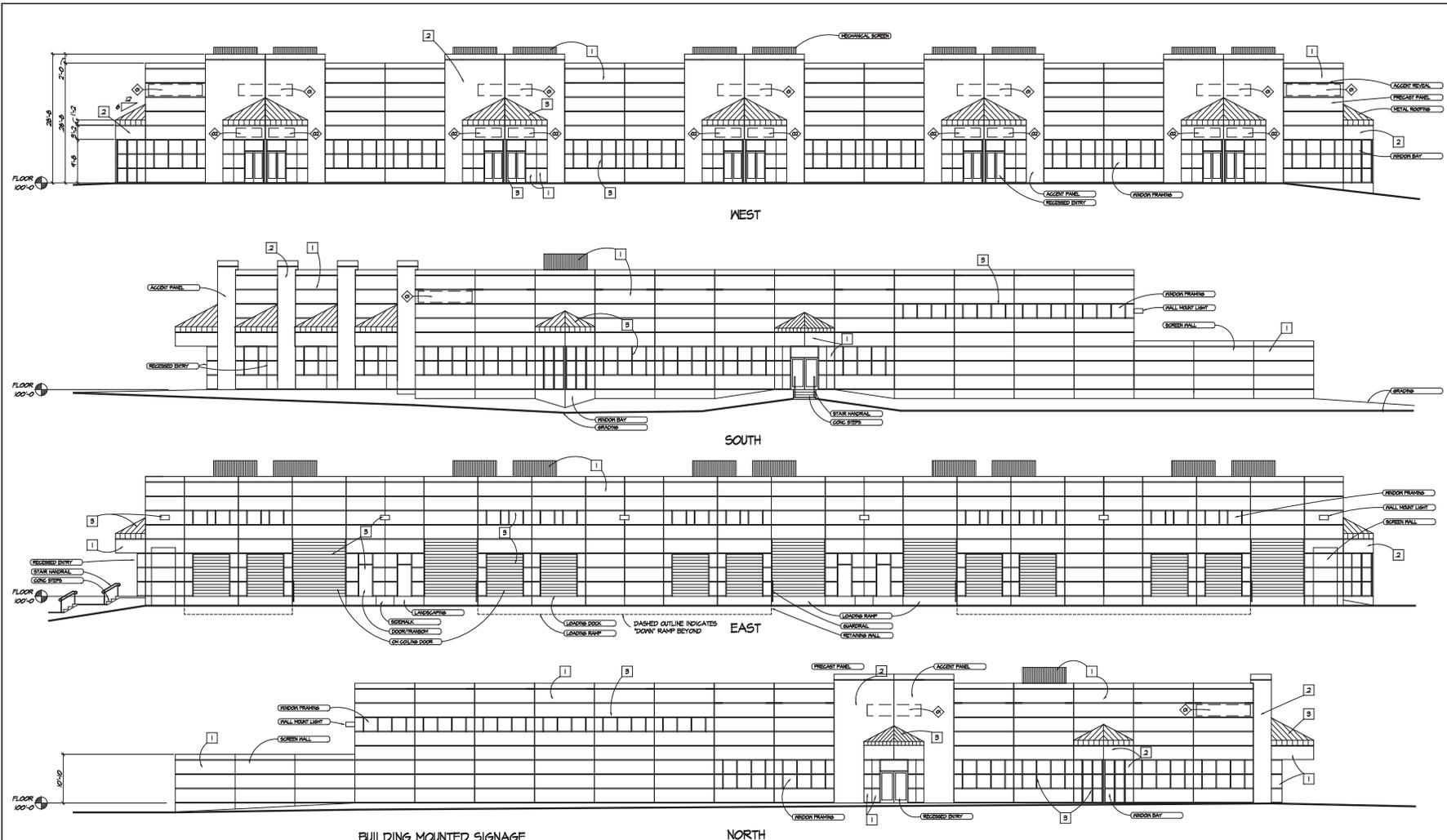
NOTE: SEE DWGS Q1/A01 AND Q1/A02 FOR DIMENSIONS AND TYPICAL CONSTRUCTION ASSEMBLIES
 NOTE: SEE DWGS Q1/A03 AND Q1/A04 FOR DIMENSIONS AND TYPICAL CONSTRUCTION ASSEMBLIES
 NOT OTHERWISE SHOWN HERE

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Final PUD
 Lot 2, Block 3, The Park at CTC
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A02b

DATE	APPLICATION



NOTES

- 1. SEE DWG 02/A01 FOR TYPICAL CONSTRUCTION ASSEMBLIES NOTED THIS TYPICAL ASSEMBLY

BUILDING MOUNTED SIGNAGE

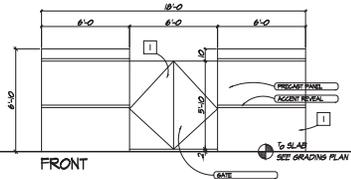
- ① TENANT BRANDING SIGNS:
 MAXIMUM NUMBER OF LOCATIONS: 4
 MAXIMUM LIMIT OF COMBINED GRAPHICS AND LETTERING (EACH SIGN): 3'-4" x 10'-0"
 NO BACKGROUND BASE ALLOWED BEHIND LETTERING OR GRAPHIC LOGO/TYPE
 MAXIMUM HEIGHT OF LETTERING: 10"
 MAXIMUM HEIGHT OF SIGNAGE ABOVE FIRST FLOOR: 22'-2"
 - ② TENANT IDENTIFICATION SIGNS:
 MAXIMUM NUMBER OF LOCATIONS: 8
 MAXIMUM LIMIT OF COMBINED GRAPHICS AND LETTERING (EACH SIGN): 1'-6" x 10'-0"
 MAXIMUM HEIGHT OF LETTERING: 10"
 MAXIMUM HEIGHT OF SIGNAGE ABOVE FIRST FLOOR: 12'-8"
 NOTE: WALL SURFACE IS ORIENTED AT 45 DEGREES TO PLANE OF ELEVATION AND WIDTH SHOWN IS GRAPHICALLY FORESHORTENED.
- NOTE: NO BOXED OR CANEED SURFACE MOUNTED SIGNS ARE PERMITTED. ALL SURFACE SIGNS SHALL BE NON-ILLUMINATED INDIVIDUALLY CUT LETTERS/LOGOS AND PLACED DIRECTLY ON THE BUILDING'S FACADE.

NORTH

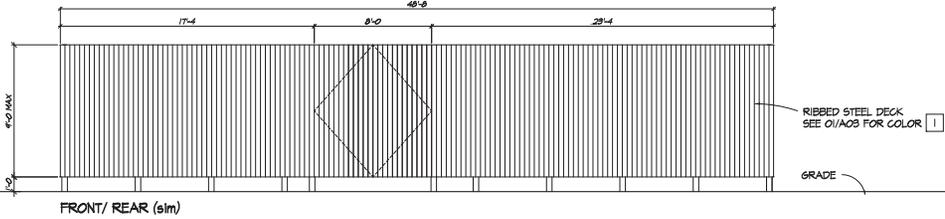
COLOR KEY

NOTE: FACTORY APPLIED FINISHES SHALL BE SELECTED TO REASONABLY MATCH CORRESPONDING PAINT COLOR

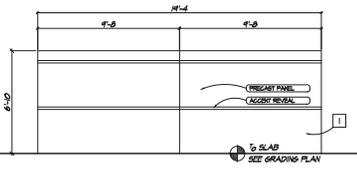
- 1 COLOR: 1: BENJAMIN MOORE PAINT R228 - EMERALD GREEN
 SCOPE: PRECAST CONG PANELS IN HORIZ REVEALS, MESH SCREENS (TYP UNLESS NOTED OTHERWISE)
- 2 COLOR: 2: BENJAMIN MOORE PAINT R224 - EVENING GROVE
 SCOPE: SMOOTH CONG PANELS FLANKING ENTRIES, TRIANGULAR BAY POPOUTS
- 3 COLOR: 3: K&NEER - DARK BRONZE DURANODIC ALUMINUM ON WINDOW FRAMING, HOLLOW METAL DOORS & FRAMES, OVERHEAD DOORS/FRAMES, RAILINGS, WALL AND POLE MOUNTED LIGHTS (TYP UNLESS NOTED OTHERWISE).



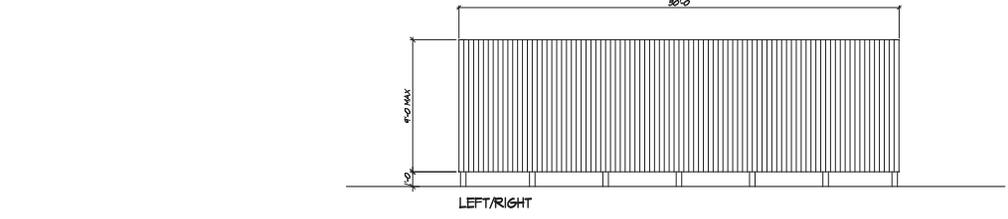
FRONT



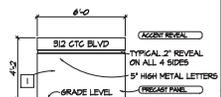
FRONT/ REAR (sim)



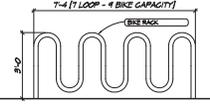
01 EXT ELEV
A04 1/4" = 1'-0" TRASH ENCLOSURE



02 EXT ELEV
A04 1/4" = 1'-0" 1/4" FT EXT ENCLOSURE



03 EXT ELEVATION
A04 1/4" = 1'-0" MONUMENT SIGN



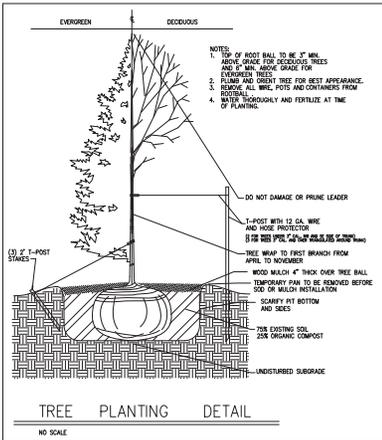
04 DETAIL ELEV
A04 3/8" = 1'-0" BIKE RACK

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A04

08/04/16	APPLICATION
10/14/16	RESUBMITTAL #



PLANT LIST				
note: plant quantities provided as a courtesy only. If discrepancy between plan and plant count exists, plan takes precedence.				
11	High water	18-20 gallons per 4.5 per season		
12	Medium water	10 gallons per 4.5 per season		
13	Low water	5-8 gallons per 4.5 per season		
14	No additional irrigation water needed after establishment			
#	KEY BOTANIC NAME	COMMON NAME	SIZE	planted water
SHRUB TREES:				
4	ALNUS SACCHARINUS 'LEAFY'	LEAFY WIGWAG MAPLE	2.5' Hx 3" M	
05	QUERCUS LAEVIS 'SEROTINA'	KENTUCKY COFFEE TREE	2.5' Hx 1" L 11-15'	50-60'
3	QUERCUS LAEVIS 'DURANDI'	HONEYLOCUST	2.5' Hx 1" L 10-15'	50-60'
6	QUERCUS LAEVIS 'DURANDI'	DWARF WHITE OAK	2.5' Hx 1" L 10-15'	40-60'
22	TOTAL SHRUB TREES			
ORNAAMENTAL TREES:				
3	CRATAEGUS CRISTATA 'GALLETI'	ROXBURGH DOGWOOD	2.5' Hx 1" L 10-15'	15-25'
10	MAELUS WAGRAUNT	KAWAHOE CRABAPPLE	2.5' Hx 1" L 10-15'	20-25'
15	TOTAL ORNAAMENTAL TREES			
EVERGREEN TREES:				
1	ABIES CONCOLOR	WHITE FIR	6" L 1" M 8"	40-60'
4	PINUS NIGRA	AMERICAN PINE	6" L 1" M 8"	40-60'
2	PINUS NIGRA	AMERICAN PINE	6" L 1" M 8"	40-60'
7	TOTAL EVERGREEN TREES:			
SHRUBS & VINES:				
3	AMELANCHIER 3 BRANCHED FORM	RED AUT. SHILL LEAFER	2.5' Hx 1" L 10-15'	15-25'
9	FRAXINUS VELUTINATA	AMERICAN TREE TOEAC	6" Hx 1" L 10-15'	15-25'
5	VERONICA LANCEATA	WAVE SPRING TREE	6" Hx 1" L 10-15'	15-25'
15	TOTAL SHRUBS & VINES:			
70	TOTAL TREES			
DECIDUOUS SHRUBS:				
24	ARONIA ALTA 'MINI MAGIC'	ALTUMN MAGIC CHOKERBERRY	#5	1.5' 3-4'
40	BT	BURBERRY THORNHEDGE	#5	MH 2' 3-5'
53	CAK	CALAMAGROSTIS ACUTIF. 'KARE FOUR'	#5	1.5' 3'
3	CTP	COTYLEDON ALBIFLORUS	#5	MH 2' 6-12'
4	CTC	CRATAEGUS COMARSHATA	#5	1.5' 4-12'
20	EPH	EUCLYPTA PARADOXA	#5	1.5' 2' 3-6'
21	EV	ERIGONUM VULGARIS 'LODENSE'	#5	M 2' 2-3'
6	MSF	MISCANTHUS SINENSIS 'PURPURESCENS'	#5	M 2' 3-4'
53	PAR	PEROVSKIA ATROPICIFOLIA	#5	1.2' 3-4'
13	POE	PHYSCALIPSUS 'OPULIFOLIUS D'	#5	1.2' 3-4'
3	RH	RHYNCHOSPORA	#5	MH 3' 3-4'
5	RUC	RUPESTRIS FLORE CARPET CORAL	#5	1.5' 6-12'
3	RH	RHYNCHOSPORA	#5	1.5' 8-12'
35	SA	SPHALMIA JAPONICA 'ANTHONY WATERER'	#5	MH 1' 2-3'
37	SM	SYRINGA MUYER	#5	MH 2-3' 3-4'
EVERGREEN SHRUBS:				
2	BMH	BURNING BUSH	#5	M 1.5' 3-4'
10	DKM	DWARF HYDRANGEA	#5	M 1.5' 2-6'
37	IXM	IRIS	#5	M 1.5' 2-6'
21	JCN	JUNIPERUS COMMUNIS 'SEA GREEN'	#5	1.2' 3-6'
23	JS	JUNIPERUS SABINA 'SCANDIA'	#5	1.5' 6-12'
15	JST	JUNIPERUS SABINA 'TAMARISCHOLIA'	#5	1.5' 4'
410	TOTAL SHRUBS			
PERENNIALS:				
15	CXS	COROPHIS GRANDIFLORA 'SINRAY'	#1	1.5' 2'-4"
15	CR	CENTAUREA RUBER	#1	M 8" 18"-24"
15	GN	GERANIUM SANGIFLUM	#1	1.5' 12"-15"
6	HE	HOSTA FORTUNEI 'FRANCE'	#1	1.5' 18"-24"
40	PAH	PANISIA FLORALOPETALOIDES	#1	M 12" 18"-24"
GROUND COVERS:				
30	SHS	SHRIMP BLUE SPRUCE	#1	1.5' 4'-6"
62	VCB	VERONICA CRISTATA RIVER	#1	1.5' 3'-4"
18	CT	CRISTATUM TOMENOSUM	#1	1.2' 8"-12"
166	RGB	RUPESTRIS GRACILIS	#1	1.5' 12"-15"

DROUGHT TOLERANT SEED MIX (TEMPORARILY IRRIG.) (or Arkansas Valley's Low Grow Mix)

SHARPS BUFFALOGRASS/BULDOCK DACTYLODES 6.5 LBS PLS/ACRE
 BUTTES SODDAS GRAMA (BOUTELOPA CURTISIANA) 3 LBS PLS/ACRE
 BUTTES MACHITA BLUE GRAMA (CHONDROGNUM GRACILE) 8 LBS PLS/ACRE
 BRANTON WESTERN WIGGRASS (PASCOPYRUM SHARPS) 4 LBS PLS/ACRE
 NATIVE SAND SPREED (SCOPHOBOLUS CRYPTANDRUS) 2LBS PLS/ACRE
 PURPLE PRARIECLOVER (DALEA PURPUREA) 3-6 OZ PLS/ACRE
 BLANKET FLOWER (GALERGA ANISTATA) 4-8 OZ PLS/ACRE
 BLUE FLAX (LINUM LEWIS) 2-4 OZ PLS/ACRE
 SCARLET GLOBEMALLOW (TOMENOSUM GRANDIFLORA) 1 OZ PLS/ACRE
 INDISTINGUISHABLE (TEMPORARILY IRRIGATED)

WOOLY SEDE (CAREX LAMINOIDA) 0.1 LBS PLS/ACRE
 NEBRASKA SEDE (CAREX NEBRASCENSIS) 0.1 LBS PLS/ACRE
 BALTIC RUSH (JUNCUS BALTICUS) 0.1 LBS PLS/ACRE
 BRANTON WESTERN WIGGRASS (PASCOPYRUM SHARPS) 4 LBS PLS/ACRE
 SWITCHGRASS (PANICUM VIRGATUM) 6 LBS PLS/ACRE
 WESTERN WIGGRASS (PASCOPYRUM SHARPS) 4 LBS PLS/ACRE
 ASTER (ASTER LAEVIS) 2 LBS PLS/ACRE
 NUTTALL'S SUNFLOWER (HELIANTHUS NUTTALLII) 1 LBS PLS/ACRE
 WILD BERGAMOT (MONARDA FISTULOSA) 3 LBS PLS/ACRE

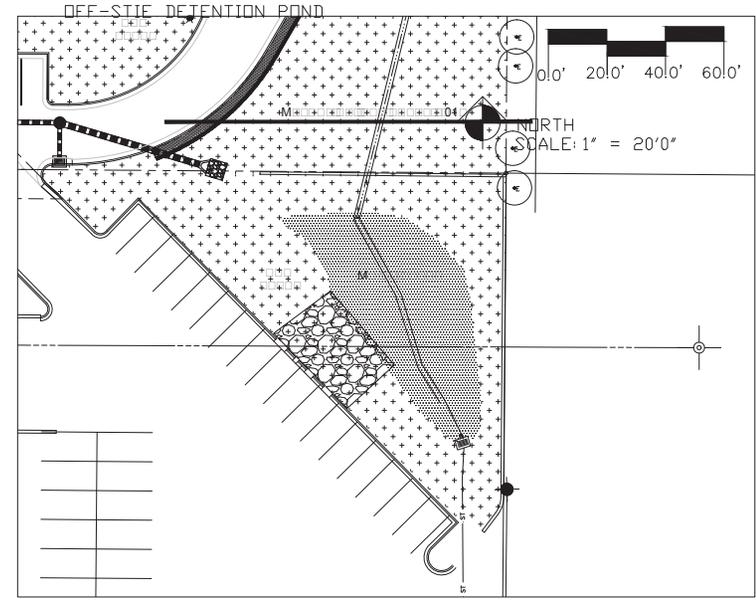
ALL SEEDED AREAS SHALL REMAIN WEED AND TRASH FREE. AFTER ESTABLISHMENT, WATERING AND MOWING SHALL BE ON AN AS-NEEDED BASIS TO COMPLY WITH CITY OF LOUISVILLE ORDINANCE(S).

LANDSCAPE NOTES

1. ALL LANDSCAPING SHALL CONFORM TO THE CITY OF LOUISVILLE STANDARDS. WHERE THE STANDARDS CONFLICT WITH THIS PLAN, THE STANDARDS SHALL TAKE PRECEDENCE.
2. THE PROPERTY OWNER SHALL REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIAL AS ORIGINALLY INSTALLED. AVOID REPLACING LANDSCAPE MATERIALS DURING THE DRY TWINTER MONTHS BETWEEN DECEMBER AND FEBRUARY AND IN MID-SUMMER. CONTACT THE PLANNING DIVISION AT THE CITY OF LOUISVILLE FOR SPECIFIC TIME REQUIREMENTS FOR LANDSCAPE MATERIAL REPLACEMENT.
3. LANDSCAPE MATERIALS LOCATED IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
4. ALL AREAS TO BE SEEDED SHALL RECEIVE 3-5 CUBIC YARDS OF ORGANIC COMPOST PER 1000 S.F. FILLED TO A DEPTH OF 6"-10". ALL AREAS TO BE SEEDED SHALL RECEIVE 3 CUBIC YARDS OF ORGANIC COMPOST PER 1000 S.F. FILLED TO A DEPTH OF 6"-8". ALL AREAS SHALL THEN BE GRADED TO A UNIFORMLY SMOOTH GRADE.
5. SOD SHALL BE THERMAL BLUE DROUGHT TOLERANT BLUEGRASS BLEND.
6. DRYLAND SEED SHALL BE A LOW-GROWING DROUGHT TOLERANT MIX, ARKANSAS VALLEY'S LOW-GROW, OR EQUIVALENT (SEE SPECIFICATIONS). MOST AREA SEED SHALL BE A MOISTURE TOLERANT MIX (SEE SPECIFICATION). SEED SHALL BE BROADCAST AND RAKED LIGHTLY INTO PREPARED SOIL. THE SEED AREA SHALL THEN BE TOP DRESSED WITH A THIN LAYER OF COMPOST.
7. ALL TREES AND SHRUBS SHALL BE PLANTED PER THE PLANTING DETAIL.
8. ALL PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
9. LANDSCAPE PLANTING BEDS AS SHOWN ON THE PLAN SHALL RECEIVE EITHER A 2" LAYER OF NATURAL COLOR SHREDDED CEDAR WOOD MULCH WITH NO FABRIC UNDERLAY, OR A 3" LAYER OF 1.5"-2.0" WHITE RIVER ROCK OVER LANDSCAPE FABRIC OR A LAYER TO COMPLETELY COVER OF BOX 4"-8" WHITE RIVER COBBLE AND 20% 1.5"-2" WHITE RIVER ROCK OVER LANDSCAPE FABRIC. SEE PLAN FOR LOCATIONS. ALL TREES PLANTED IN SEEDED OR SODDED AREAS SHALL RECEIVE A 2" LAYER OF NATURAL COLOR SHREDDED CEDAR WOOD MULCH OVER THE ROOTBALL ZONE WITH NO FABRIC UNDERLAY.
10. EDGING SHALL BE INSTALLED BETWEEN ALL SHRUB BEDS AND SOD OR SEED AREAS. EDGING SHALL BE JENSEN'S SALES 14 GAUGE GREEN PAINTED EDGING, ROLL TOP, 4"X10, OR EQUIVALENT.
11. ALL PERENNIAL AND GROUND COVER AREAS SHALL BE PREPARED BY TILLING 2-3" OF ORGANIC COMPOST AND SUPER PHOSPHATE TO A DEPTH OF 8-10". THE SURFACE SHALL THEN BE GRADED TO A UNIFORMLY SMOOTH GRADE.
12. ALL SURFACE LANDSCAPING DAMAGED AS A RESULT OF MAINTENANCE ACTIVITIES WITHIN A PUBLIC UTILITY EASEMENT SHALL BE THE OBLIGATION OF THE PROPERTY OWNER TO RESTORE AT THEIR EXPENSE.
13. AT-GRADE UTILITY CABINETS OR TRANSFORMERS SHALL BE SCREENED WITH APPROPRIATE PLANT MATERIAL ON THREE SIDES. WHERE FEASIBLE, PLANT MATERIAL ALREADY SHOWN SHALL BE SLIGHTLY RELOCATED TO ACCOMPLISH SCREENING. IF NECESSARY, SHRUB BEDS SHALL BE EXTENDED OR NEW BEDS CREATED TO INCLUDE TRANSFORMER LOCATIONS. PLANTS SHALL BE PLACED SO AS TO LEAVE A CLEARANCE OF 30" AT MATURITY OF THE PLANTS AROUND THREE SIDES OF THE TRANSFORMER(S) WITH THE FRONT SIDE OPEN FOR ACCESS.
14. NO DECIDUOUS TREE SHALL BE PLANTED WITHIN 5' OF A PUBLIC SIDEWALK OR UTILITY. NO EVERGREEN TREE SHALL BE PLANTED WITHIN 10' OF A PUBLIC SIDEWALK OR UTILITY.
15. THE USE OF ROOT BARRIERS IS REQUIRED FOR CANOPY TREES PLANTED IN PLANTING AREAS THAT ARE LESS THAN TEN (10') IN WIDTH.

IRRIGATION NOTES:

1. A COMPLETELY AUTOMATIC, DUAL PROGRAMMING, IRRIGATION SYSTEM COVERING ALL PLANTS AND SOD SHALL BE DESIGNED AND INSTALLED. SEEDED AREAS SHALL BE IRRIGATED AT OWNER'S DISCRETION.
2. LOW, MODERATE, AND HIGH WATER ZONES SHALL EACH BE ON SEPARATE VALVES.
3. SOD SHALL BE IRRIGATED WITH MP ROTORS AND/OR SPRAY HEADS.
4. PLANTS IN SHRUB BEDS SHALL BE DRIP IRRIGATED.
5. GROUND COVER AND PERENNIALS SHALL BE IRRIGATED WITH LOW PRESSURE POP-UP HEADS.



File: \\...\\Desktop\\Open Jobs\\NCTC Commercial III\\NCTC Commercial III\\... for invalid reference



LANDSCAPE PLAN

Final PUD
 Lot 2, Block 3 The Park at CTC
 Louisville, Colorado

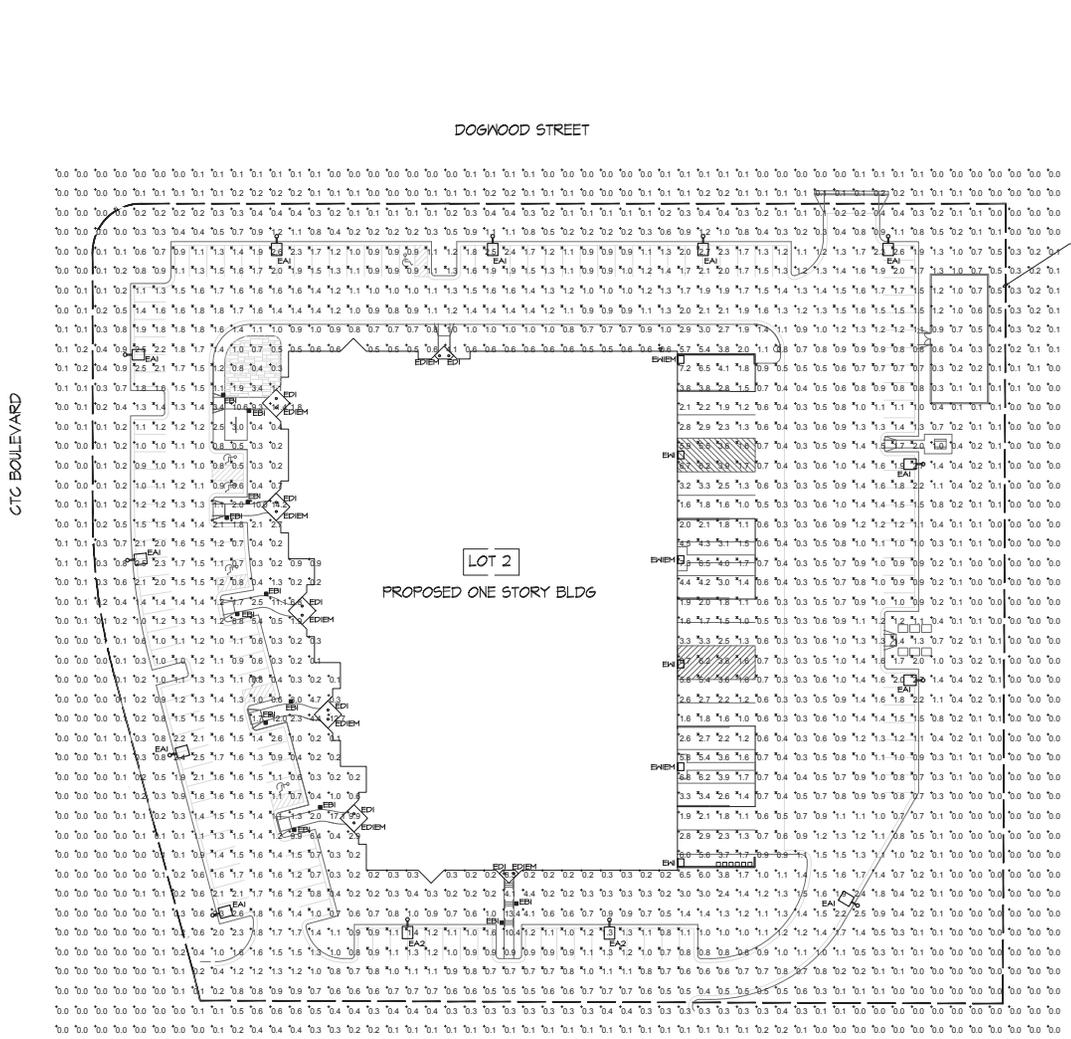


Plan Date:
 08/04/2016

Revisions:
 09/22/2016
 PERMIT
 10/14/2014
 10/28/2016

Sheet Number:

L-02
 LANDSCAPE DETAILS



DOGWOOD STREET

CTC BOULEVARD

LOT 2
PROPOSED ONE STORY BLDG

PROPERTY LINE

GENERAL NOTES

A. ALL ILLUMINANCE VALUES HERE CALCULATED AT GRACE, USING A LIGHT LOSS FACTOR OF 1.0.

B. ALL FIXTURES ARE FULL CUTOFF WITH SHIELDS TO PREVENT GLARE AND LIGHT TRESPASS.

POINT ILLUMINANCE SUMMARY

AREA	AVG. FC	MIN. FC	MAX. FC	UNIFORMITY	AVG. FC
OVERALL	2.8	0.1	0	N/A	N/A
ENTRANCE	8.4	8.2	8.2	4.1	2.61
PAVING AREAS	1.4	0.8	2.6	24.51	0.81
WALKWAYS	1.2	0.9	0.9	4.51	2.61
PARKING AREAS	1.3	0.4	0.4	8.51	0.81
LOADING AREAS	1.2	0.3	0.3	0.11	4.01
PROPERTY LINE	0.2	0.1	0.0	N/A	N/A

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	FOOT CANDLE	FOOT TYPE	MAX. HAZ. LOCATION	RELOCATION	NOTES
EA	POLE-MOUNTED AREA LIGHT, 40 LBS.	LITHONIA	SLP-LED-40C-700-40K-40-140V-LED-200W	120/277V	48	LED	48	POLE	24'-0"
EA2	POLE-MOUNTED AREA LIGHT, 30 LBS.	LITHONIA	SLP-LED-30C-700-40K-40-140V-LED-200W	120/277V	48	LED	48	POLE	24'-0"
EBA	ARCHITECTURAL BOLLARD	LITHONIA	REB-LED-12C-700-40K-40V-140V-LED-200W	120/277V	30	LED	30	GROUND	24'-0"
EBA1	RECESSED DOWNLIGHT, 300 LUMENS	LITHONIA	LRM-300S-L04AR-LED-ELR	120/277V	8.5	LED	8.5	RECESSED	4'-0"
EBA2	RECESSED DOWNLIGHT, 14" INTEGRAL 8W BATTERY	LITHONIA	LRM-140S-L04AR-LED-ELR	120/277V	8.5	LED	8.5	RECESSED	4'-0"
EBA3	ARCHITECTURAL WALL SCENE	LITHONIA	RFLED-PS-40C-V-140V-140V-LED-200W	120/277V	50	LED	50	SURFACE	4'-0"
EBA4	ARCHITECTURAL WALL SCENE IV INTEGRAL 8W BATTERY	LITHONIA	RFLED-PS-40C-V-140V-140V-LED-200W	120/277V	50	LED	50	SURFACE	4'-0"

ABBREVIATIONS: BPT - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT

GENERAL NOTES:

A. PROVIDE LUMINAIRES SHOWN AS SHADED WITH EMERGENCY BATTERY BALLASTS. EMERGENCY LUMINAIRES SHALL SENSE UN-SWITCHED POWER TO THE SPACE AND OPERATE AUTOMATICALLY UPON LOSS OF NORMAL POWER. ALL SHADED LUMINAIRES WITH OFF AND LEFT LAMPS SHALL HAVE ONE (1) 40 MINUTE RATED, TWO LAMP, 1400 LUMEN EMERGENCY BALLAST. ALL SHADED LUMINAIRES WITH COMPACT FLUORESCENT LAMPS SHALL HAVE A FACTORY INSTALLED 40 MINUTE EMERGENCY BALLAST. ALL EMERGENCY LUMINAIRES SHALL HAVE REMOTE TEST SWITCHES AND VISIBLE INDICATING LIGHTS. CORRECT THE EMERGENCY BATTERY BALLAST TO THE UN-SWITCHED LEG OF THE LIGHTING CIRCUIT INDICATED.

SPECIFIC NOTES:

1. COORDINATE FINISH WITH ARCHITECT/OWNER PRIOR TO ORDERING.

2. FIXTURE HAS AN ASYMMETRIC DISTRIBUTION AND SHALL BE AIMED TOWARD PARK.

ABBREVIATIONS AND SYMBOLS

- AFS ABOVE FINISHED GRADE
- AHJ AUTHORITY HAVING JURISDICTION
- (DNBS) DRAINAGES
- (E) EXISTING TO REMAIN
- (ER) EXISTING TO BE RELOCATED
- (R) EXISTING TO BE REMOVED
- GC GENERAL CONTRACTOR
- LIG LIGHTING
- NC NORMALLY CLOSED
- NL NIGHT LIGHT - SEE GENERAL NOTES
- OAE OR APPROVED EQUAL
- REL RELOCATED
- UNL UNLESS OTHERWISE NOTED
- ◇ DETAIL NOTE
- △ DELTA REVISION NOTE

LIGHTING FIXTURES

- MALL MOUNTED LUMINAIRE
- EXTERIOR AREA LIGHT
- BOLLARD
- DOWNLIGHT

1 SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

JM Associates, Inc.
Architecture / Planning
PO Box 18300
Boulder, Colorado 80508
(303) 440-3387

Final PUD
Lot 2, Block 3, The Park at CTC
Louisville, Colorado

AEDESIGN
Integrated Lighting and Electrical Solutions
1900 Weber Street #500 | Denver, CO 80202 | 303.756.3034
adesign@ae-inc.com Project # 2402-00

E1

DATE	APPLICATION
08/04/16	

KAD LED
LED Area Luminaire



Specifications

Introduction

EXAMPLE: KAD LED 100 WATT 4' X 2' X 12" (TYPE EA1 AND EA2)

Model	Power (W)	Beam Angle (°)	Height (ft)	Width (ft)	Depth (ft)	Weight (lb)	Material	Finish	Notes
KAD100-42-12	100	60	4	2	12	15	Aluminum	White	Standard luminaire
KAD100-42-12-1	100	60	4	2	12	15	Aluminum	White	Standard luminaire with 1' chamfer

1 | TYPE EA1 AND EA2
SCALE: NONE

KBR8 LED
LED Specimen Bulb



Specifications

Introduction

EXAMPLE: KBR8 LED 100 WATT 4' X 2' X 12" (TYPE EB1)

Model	Power (W)	Beam Angle (°)	Height (ft)	Width (ft)	Depth (ft)	Weight (lb)	Material	Finish	Notes
KBR8-100-42-12	100	60	4	2	12	15	Aluminum	White	Standard specimen bulb

2 | TYPE EB1
SCALE: NONE

LITHONIA LIGHTING

LDN4

FEATURES & SPECIFICATIONS



Specifications

Introduction

EXAMPLE: LDN4 LED 100 WATT 4' X 2' X 12" (TYPE ED1 AND ED1EM)

Model	Power (W)	Beam Angle (°)	Height (ft)	Width (ft)	Depth (ft)	Weight (lb)	Material	Finish	Notes
LDN4-100-42-12	100	60	4	2	12	15	Aluminum	White	Standard luminaire

3 | TYPE ED1 AND ED1EM
SCALE: NONE

W5T LED
LED Area Luminaire



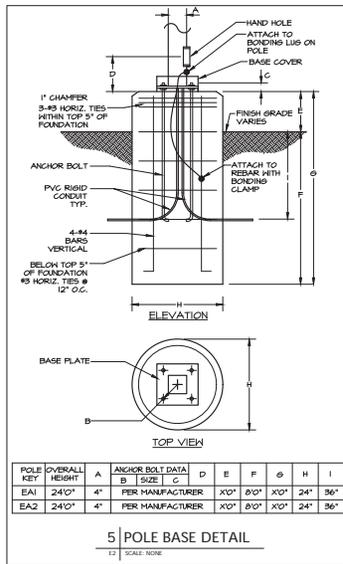
Specifications

Introduction

EXAMPLE: W5T LED 100 WATT 4' X 2' X 12" (TYPE EW1 AND EW1EM)

Model	Power (W)	Beam Angle (°)	Height (ft)	Width (ft)	Depth (ft)	Weight (lb)	Material	Finish	Notes
W5T-100-42-12	100	60	4	2	12	15	Aluminum	White	Standard luminaire

4 | TYPE EW1 AND EW1EM
SCALE: NONE



JM Associates, Inc.
Architecture / Planning

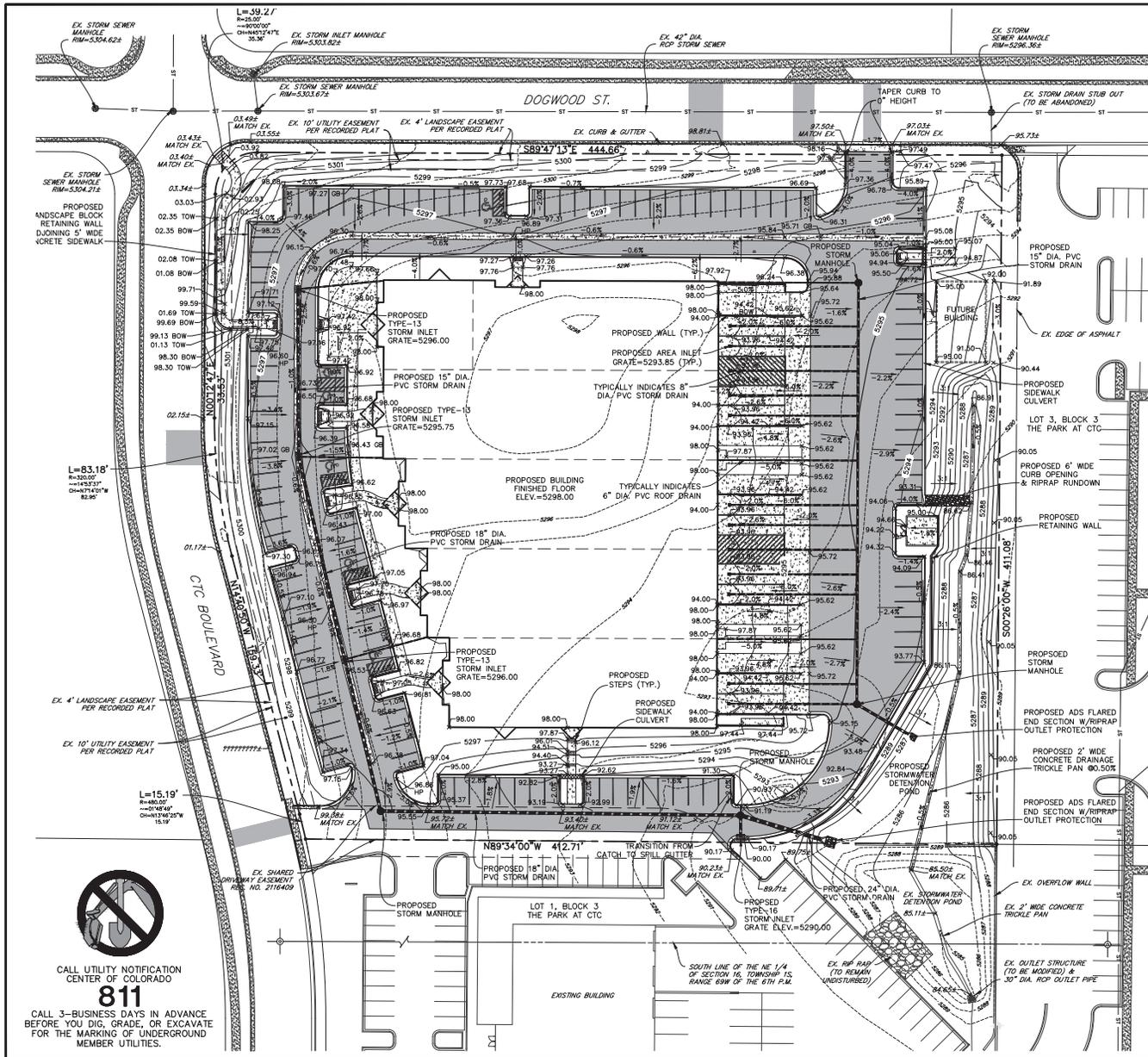
PO Box 18800
Boulder, Colorado 80508
(303) 440-3387

Final PUD
Lot 2 - Block 3, The Park at CTC
Louisville, Colorado

AE DESIGN
Integrated Lighting and Electrical Solutions
1900 Warden Street #300 | Denver, CO 80202 | 303.746.3034
aedesign@ae.com

E2

08/04/16 APPLICATION



GENERAL NOTES

1. THE CONTRACTOR SHALL REPAIR DAMAGED OR SETTLED CONCRETE CURBING ADJACENT TO THE SITE AS DEEMED NECESSARY BY THE CITY INSPECTOR PRIOR TO ISSUANCE OF CONSTRUCTION ACCEPTANCE AND/OR CERTIFICATE OF OCCUPANCY.
2. ABANDONMENT OF ALL STORM, WATER, AND SANITARY SEWER STUBS TO THE PROPERTY SHALL CONFORM TO THE CITY OF LOUISVILLE DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION DESIGN AND CONSTRUCTION STANDARDS.



LEGEND

- PROPERTY LINE
- EX. INTERMEDIATE CONTOUR
- EX. INDEX CONTOUR
- EX. SPOT ELEVATIONS
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED SPOT ELEVATION (ALL G&G ELEVATIONS ARE 1 UNLESS OTHERWISE NOTED)
- EX. STORM LINE
- PROPOSED STORM SEWER
- FLOWLINE OF DRAINAGE SWALE
- BACK OF WALK
- GRADE BREAK
- LIP OF GUTTER
- HIGH POINT
- FLOWLINE
- LOW POINT
- TOP BACK OF CURB
- FINISHED FLOOR
- BASE OF WALL
- TOP OF WALL
- EX. CONCRETE
- PROPOSED CONCRETE
- PROPOSED ASPHALT

BENCHMARK & HORIZONTAL CONTROL:
 NGS MONUMENT: TO 4157 P.D. - KK1556
 PUBLISHED ELEVATION: 5206.02' (BASED ON NAVD 88 DATUM)
 THE BASIS OF BEARINGS IS THE SOUTH LINE OF THE NE 1/4 OF SECTION 16, TOWNSHIP 15, RANGE 69W OF THE 6TH P.M.

CITY OF LOUISVILLE APPROVAL

THIS DOCUMENT WAS REVIEWED FOR CONFORMANCE WITH CITY OF LOUISVILLE DESIGN AND CONSTRUCTION STANDARDS. CITY APPROVAL DOES NOT RELIEVE OWNER, DESIGN ENGINEER OR CONTRACTOR OF RESPONSIBILITY TO CORRECT ERRORS OR OMISSIONS RELATING TO THIS DOCUMENT.

BY: _____
 DATE: _____
 DOCUMENT APPROVAL EXPIRES: _____

PREPARED BY:

DREXEL, BARRELL & CO.
 Engineers & Surveyors
 1500 18TH STREET
 BOULDER, COLORADO 80501
 CONTACT: CAMERON KNAPP, P.E.
 (970) 535-0664
 BOULDER & GREELY
 COLORADO SPRINGS

PREPARED FOR:

JM ASSOCIATES INC.
 ARCHITECTURE/PLANNING
 P.O. BOX 18300
 BOULDER, CO. 80508
 (303) 449-1887
 CONTACT: JERRY MOORE

CONSTRUCTION PLAN DOCUMENTS:
CTC COMMERCIAL III
LOT 2, BLOCK 3, THE PARK AT CTC
 312 CTC BOULEVARD
 LOUISVILLE, COLORADO

ISSUE	DATE
CITY SUBMITTAL	10/14/16

DESIGNED BY:	CWK
DRAWN BY:	MAB
CHECKED BY:	CWK
FILE NAME:	GR01

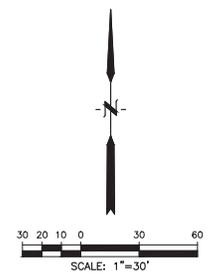
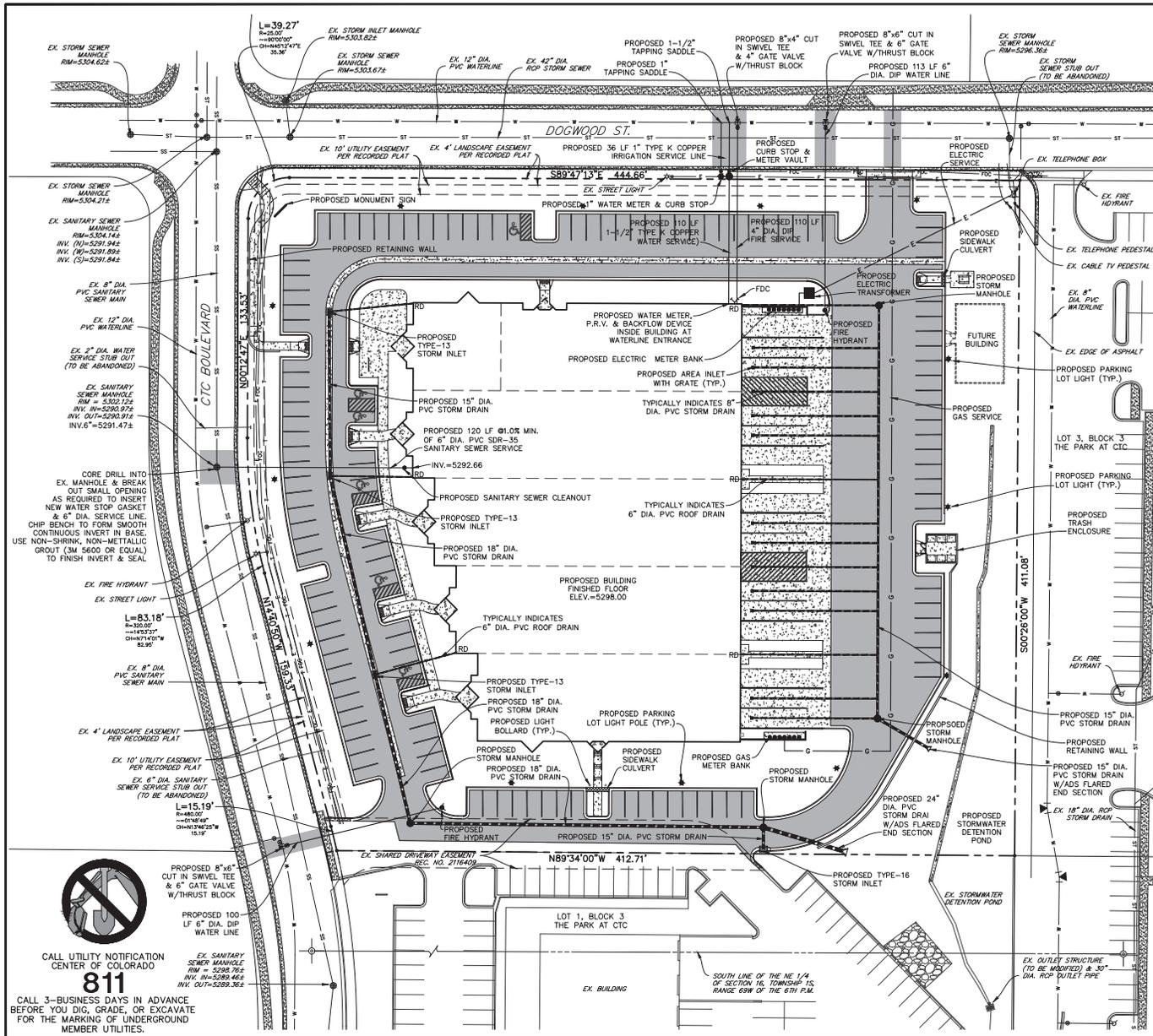
DRAWING SCALE:
 HORIZONTAL: 1" = 30'
 VERTICAL: NA/

GRADING PLAN

PROJECT NO. 20965-01BLCV

C1

CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
811
 CALL 3-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.



LEGEND

PROPERTY LINE	.....	.....
EX. SANITARY SEWER	.....	EX. 6" PVC SAN. SEWER
EX. WATER LINE	.....	EX. 8" WATER
EX. GAS LINE	.....	.....
EX. FIBER OPTIC CABLE	.....	.....
EX. BURIED ELECTRIC LINE	.....	.....
EX. STORM LINE	.....	EX. 18" RCP STORM
EX. FIRE HYDRANT	.....	.....
EX. WATER VALVE	.....	.....
EX. WATER METER	.....	.....
EX. MANHOLE	.....	.....
EX. LIGHT POLE	.....	.....
PROPOSED STORM SEWER	.....	PVC
PROPOSED SANITARY SEWER	.....	6" PVC
PROPOSED WATER LINE	.....	12" PVC
PROPOSED GAS LINE	.....	.....
PROPOSED BURIED ELECTRIC LINE	.....	.....
PROPOSED BURIED TELEPHONE LINE	.....	.....
PROPOSED CABLE TV LINE	.....	ctv
PROPOSED FIRE HYDRANT	.....	.....
PROPOSED WATER VALVE	.....	.....
PROPOSED TYPE 13 AREA INLET	.....	.....
PROPOSED 16" AREA INLET	.....	.....
PROPOSED MANHOLE	.....	.....
PROPOSED LIGHT POLE	.....	.....
PROPOSED LIGHT BOLLARD	.....	.....
PROPOSED ROOF DRAIN	.....	RD
EX. CONCRETE	.....	.....
PROPOSED CONCRETE	.....	.....
PROPOSED ASPHALT	.....	.....

**CITY OF LOUISVILLE
APPROVAL**

THIS DOCUMENT WAS REVIEWED FOR CONFORMANCE WITH CITY OF LOUISVILLE DESIGN AND CONSTRUCTION STANDARDS. CITY APPROVAL DOES NOT RELIEVE OWNER, DESIGN ENGINEER OR CONTRACTOR OF RESPONSIBILITY TO CORRECT ERRORS OR OMISSIONS RELATING TO THIS DOCUMENT.

BY: _____
DATE: _____
DOCUMENT APPROVAL EXPIRES: _____

PREPARED BY:

 DREXEL, BARRELL & CO.
 Engineers/Surveyors
 1800 38TH STREET
 BOULDER, COLORADO 80501
 CONTACT: CAMERON KNAPP, P.E.
 (970) 531-8644
 BOULDER & GREELY
 COLORADO SPRINGS

PREPARED FOR:
 JM ASSOCIATES INC.
 ARCHITECTURE/PLANNING
 P.O. BOX 18300
 BOULDER, CO. 80308
 (303) 449-1887
 CONTACT: JERRY MOORE

CONSTRUCTION PLAN DOCUMENTS:
CTC COMMERCIAL III
LOT 2, BLOCK 3, THE PARK AT CTC
 312 CTC BOULEVARD
 LOUISVILLE, COLORADO

ISSUE	DATE
CITY RESUBMITTAL	10/14/16
DESIGNED BY:	CMK
DRAWN BY:	MAB
CHECKED BY:	CMK
FILE NAME:	UT01

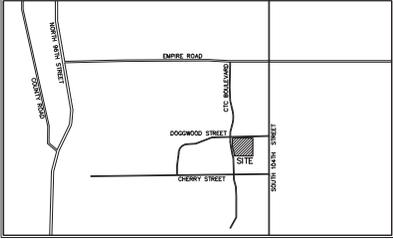
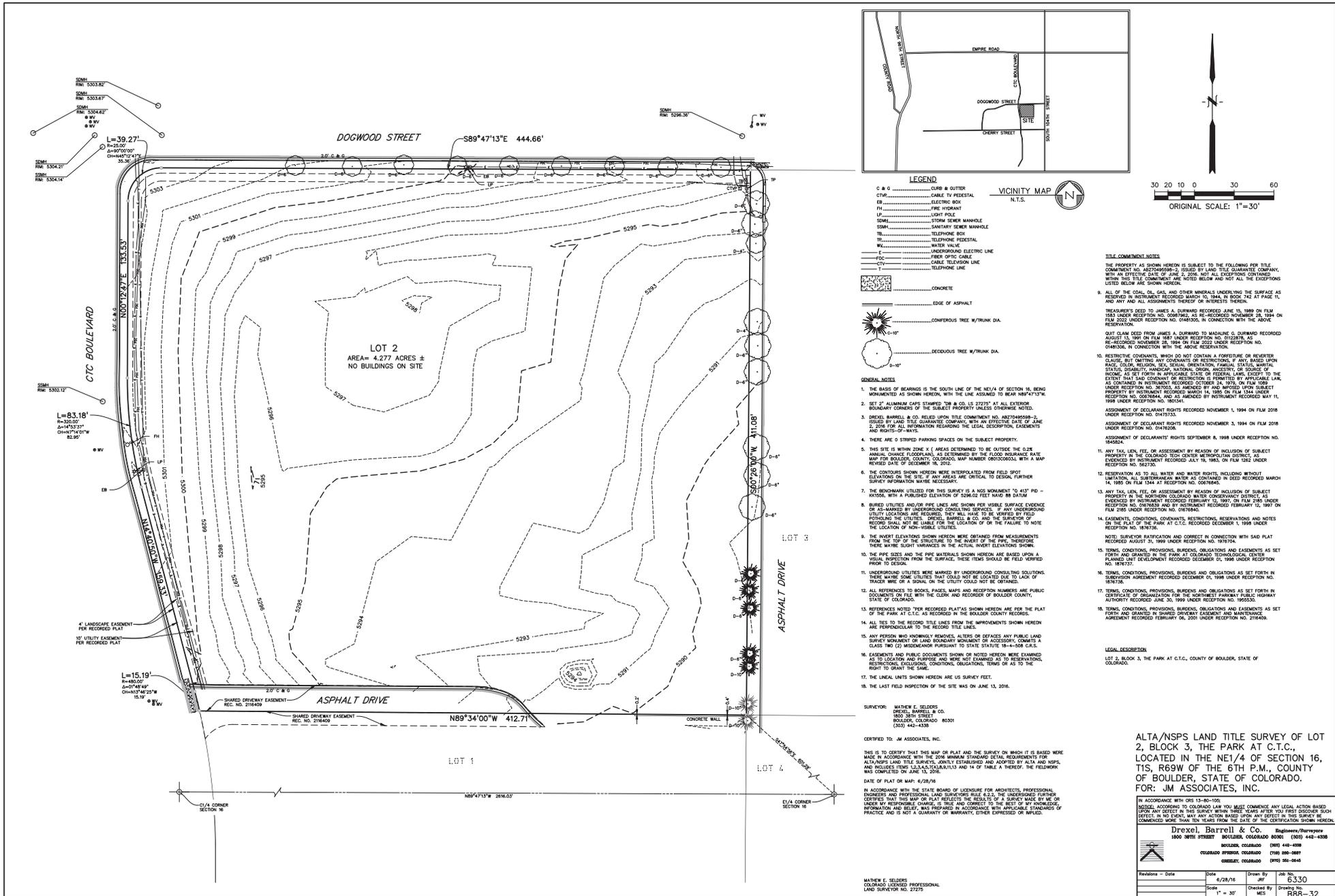
DRAWING SCALE:
 HORIZONTAL: 1" = 30'
 VERTICAL: N/A

UTILITY PLAN

PROJECT NO. 20965-01BLCV

C3

CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
811
 CALL 3-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.



- GENERAL NOTES**
- THE BASIS OF BEARINGS IS THE SOUTH LINE OF THE NE1/4 OF SECTION 16, BEING MONUMENTED AS SHOWN HEREON, WITH THE LINE ASSUMED TO BEAR N89°47'13"W.
 - SET 2" ALUMINUM CIPS STAMPED "708 & CO. LS 27225" AT ALL EXTERIOR BOUNDARY CORNERS OF THE SUBJECT PROPERTY UNLESS OTHERWISE NOTED.
 - DREXEL BARRELL & CO. RELEASER UPON TITLE COMMITMENT NO. APT248558-2, 2.026 FOR ALL INFORMATION REGARDING THE LEGAL DESCRIPTION, EASEMENTS AND RIGHTS-OF-WAYS.
 - THERE ARE 0 STIPPED PARKING SPACES ON THE SUBJECT PROPERTY.
 - THIS SITE IS WITHIN ZONE X-1 AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD ELEVATION, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP FOR BOULDER COUNTY, COLORADO, MAP NUMBER 08030000A, WITH A MAP REVISED DATE OF DECEMBER 18, 2012.
 - THE CONTOURS SHOWN HEREON WERE INTERPOLATED FROM FIELD SPOT ELEVATIONS ON THE SITE. IF ANY AREAS ARE CRITICAL TO DESIGN, FURTHER SURVEY INFORMATION MAY BE REQUIRED.
 - THE BENCHMARK UTILIZED FOR THIS SURVEY IS A NGS MONUMENT TO 431' PD - 1870, WITH A PARABOLIC ELEVATION OF 5206.02 FEET NAVD 83 DATUM.
 - BURIED UTILITIES AND/OR PIPE LINES ARE SHOWN FOR VISIBLE SURFACE EVIDENCE OR AS-MARKED BY UNDERGROUND CONSULTING SERVICES. IF ANY UNDERGROUND UTILITY LOCATIONS ARE REQUIRED, THEY WILL HAVE TO BE VERIFIED BY FIELD PORTALS THE UTILITIES, DREXEL BARRELL & CO. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-MARKED UTILITIES.
 - THE INVERT ELEVATIONS SHOWN HEREON WERE OBTAINED FROM MEASUREMENTS TAKEN AT THE TOP OF THE STRUCTURE TO THE INVERT OF THE PIPE. THEREFORE, THERE MAY BE SLIGHT VARIANCES IN THE ACTUAL INVERT ELEVATIONS SHOWN.
 - THE PIPE SIZES AND THE PIPE MATERIALS SHOWN HEREON ARE BASED UPON A VISUAL INSPECTION FROM THE SURFACE. THESE ITEMS SHOULD BE FIELD VERIFIED PRIOR TO DESIGN.
 - UNDERGROUND UTILITIES WERE MARKED BY UNDERGROUND CONSULTING SOLUTIONS. THESE MARKING UTILITY LOCATIONS THAT COULD NOT BE LOCATED DUE TO TRACER WIRE OR A SIGNAL ON THE UTILITY COULD NOT BE OBTAINED.
 - ALL REFERENCES TO BOOKS, PAGES, MAPS AND RECEPTION NUMBERS ARE PUBLIC DOCUMENTS ON FILE WITH THE CLERK AND RECORDER OF BOULDER COUNTY, STATE OF COLORADO.
 - REFERENCES NOTED THERE RECORDED PLATS SHOW HEREON ARE FOR THE PLAT OF THE PARK AT C.T.C. AS RECORDED IN THE BOULDER COUNTY RECORDS.
 - ALL TIES TO THE RECORD TITLE LINES FROM THE IMPROVEMENTS SHOWN HEREON ARE PERPENDICULAR TO THE RECORD TITLE LINES.
 - ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT MONUMENT OR ACCESSORY, COMBATS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-6-508 C.R.S.
 - EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, EXCLUSIONS, CONDITIONS, OBLIGATIONS, TERMS OR AS TO THE RIGHT TO GRANT THE SAME.
 - THE LINEAL UNITS SHOWN HEREON ARE US SURVEY FEET.
 - THE LAST FIELD INSPECTION OF THE SITE WAS ON JUNE 13, 2016.

SURVEYOR: MATHIE E. SELBOS
DREXEL BARRELL & CO.
1875 15th STREET
BOULDER, COLORADO 80501
(303) 440-4338

CERTIFIED TO: JM ASSOCIATES, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2006 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES THE 12-A, 12-B, 12-C, 12-D, 12-E, 12-F, 12-G, 12-H, 12-I, 12-J, 12-K, 12-L, 12-M, 12-N, 12-O, 12-P, 12-Q, 12-R, 12-S, 12-T, 12-U, 12-V, 12-W, 12-X, 12-Y, 12-Z, 12-AA, 12-AB, 12-AC, 12-AD, 12-AE, 12-AF, 12-AG, 12-AH, 12-AI, 12-AJ, 12-AL, 12-AM, 12-AN, 12-AO, 12-AP, 12-AQ, 12-AR, 12-AS, 12-AT, 12-AU, 12-AV, 12-AW, 12-AX, 12-AY, 12-AZ, 12-BA, 12-BB, 12-BC, 12-BD, 12-BE, 12-BF, 12-BG, 12-BH, 12-BI, 12-BJ, 12-BL, 12-BM, 12-BN, 12-BO, 12-BP, 12-BQ, 12-BR, 12-BS, 12-BT, 12-BU, 12-BV, 12-BW, 12-BX, 12-By, 12-BZ, 12-CA, 12-CB, 12-CC, 12-CD, 12-CE, 12-CF, 12-CG, 12-CH, 12-CI, 12-CJ, 12-CK, 12-CL, 12-CM, 12-CN, 12-CO, 12-CP, 12-CQ, 12-CR, 12-CS, 12-CT, 12-CU, 12-CV, 12-CW, 12-CX, 12-CY, 12-CZ, 12-DA, 12-DB, 12-DC, 12-DD, 12-DE, 12-DF, 12-DG, 12-DH, 12-DI, 12-DJ, 12-DL, 12-DM, 12-DN, 12-DO, 12-DP, 12-DQ, 12-DR, 12-DS, 12-DT, 12-DU, 12-DV, 12-DW, 12-DX, 12-DY, 12-DZ, 12-EA, 12-EB, 12-EC, 12-ED, 12-EE, 12-EF, 12-EG, 12-EH, 12-EI, 12-EJ, 12-EL, 12-EN, 12-EO, 12-EP, 12-EQ, 12-ER, 12-ES, 12-ET, 12-EU, 12-EV, 12-EW, 12-EX, 12-EY, 12-EZ, 12-FA, 12-FB, 12-FC, 12-FD, 12-FE, 12-FF, 12-FG, 12-FH, 12-FI, 12-FJ, 12-FL, 12-FM, 12-FN, 12-FO, 12-FP, 12-FQ, 12-FR, 12-FS, 12-FT, 12-FU, 12-FV, 12-FW, 12-FX, 12-FY, 12-FZ, 12-GA, 12-GB, 12-GC, 12-GD, 12-GE, 12-GF, 12-GG, 12-GH, 12-GI, 12-GJ, 12-GL, 12-GM, 12-GN, 12-GO, 12-GP, 12-GQ, 12-GR, 12-GS, 12-GT, 12-GU, 12-GV, 12-GW, 12-GX, 12-GY, 12-GZ, 12-HA, 12-HB, 12-HC, 12-HD, 12-HE, 12-HF, 12-HG, 12-HI, 12-HJ, 12-HL, 12-HM, 12-HN, 12-HO, 12-HP, 12-HQ, 12-HR, 12-HS, 12-HT, 12-HU, 12-HV, 12-HW, 12-HX, 12-HY, 12-HZ, 12-IA, 12-IB, 12-IC, 12-ID, 12-IE, 12-IF, 12-IG, 12-IH, 12-II, 12-IL, 12-IM, 12-IN, 12-IO, 12-IP, 12-IQ, 12-IR, 12-IS, 12-IT, 12-IU, 12-IV, 12-IW, 12-IX, 12-IY, 12-IZ, 12-JA, 12-JB, 12-JC, 12-JD, 12-JE, 12-JF, 12-JG, 12-JH, 12-JI, 12-JL, 12-JM, 12-JN, 12-JO, 12-JP, 12-JQ, 12-JR, 12-JS, 12-JT, 12-JU, 12-JV, 12-JW, 12-JX, 12-JY, 12-JZ, 12-KA, 12-KB, 12-KC, 12-KD, 12-KE, 12-KF, 12-KG, 12-KH, 12-KI, 12-KL, 12-KM, 12-KN, 12-KO, 12-KP, 12-KQ, 12-KR, 12-KS, 12-KT, 12-KU, 12-KV, 12-KW, 12-KX, 12-KY, 12-KZ, 12-LA, 12-LB, 12-LC, 12-LD, 12-LE, 12-LF, 12-LG, 12-LH, 12-LI, 12-LJ, 12-LK, 12-LM, 12-LN, 12-LO, 12-LP, 12-LQ, 12-LR, 12-LS, 12-LT, 12-LU, 12-LV, 12-LW, 12-LX, 12-LY, 12-LZ, 12-MA, 12-MB, 12-MC, 12-MD, 12-ME, 12-MF, 12-MG, 12-MH, 12-MI, 12-MJ, 12-ML, 12-MN, 12-MO, 12-MP, 12-MQ, 12-MR, 12-MS, 12-MT, 12-MU, 12-MV, 12-MW, 12-MX, 12-MY, 12-MZ, 12-NA, 12-NB, 12-NC, 12-ND, 12-NE, 12-NF, 12-NG, 12-NH, 12-NI, 12-NJ, 12-NK, 12-NL, 12-NO, 12-NP, 12-NQ, 12-NR, 12-NS, 12-NT, 12-NU, 12-NV, 12-NW, 12-NX, 12-NY, 12-NZ, 12-OA, 12-OB, 12-OC, 12-OD, 12-OE, 12-OF, 12-OG, 12-OH, 12-OI, 12-OJ, 12-OK, 12-OL, 12-OM, 12-ON, 12-OO, 12-OP, 12-OQ, 12-OR, 12-OS, 12-OT, 12-OU, 12-OV, 12-OW, 12-OX, 12-OY, 12-OZ, 12-PA, 12-PB, 12-PC, 12-PD, 12-PE, 12-PF, 12-PG, 12-PH, 12-PI, 12-PJ, 12-PL, 12-PM, 12-PN, 12-PO, 12-PP, 12-PQ, 12-PR, 12-PS, 12-PT, 12-PU, 12-PV, 12-PW, 12-PX, 12-PY, 12-PZ, 12-QA, 12-QB, 12-QC, 12-QD, 12-QE, 12-QF, 12-QG, 12-QH, 12-QI, 12-QJ, 12-QL, 12-QM, 12-QN, 12-QO, 12-QP, 12-QL, 12-QM, 12-QN, 12-QO, 12-QP, 12-QR, 12-QS, 12-QT, 12-QU, 12-QV, 12-QW, 12-QX, 12-QY, 12-QZ, 12-RA, 12-RB, 12-RC, 12-RD, 12-RE, 12-RF, 12-RG, 12-RH, 12-RI, 12-RJ, 12-RL, 12-RM, 12-RN, 12-RO, 12-RP, 12-RQ, 12-RR, 12-RS, 12-RT, 12-RU, 12-RV, 12-RW, 12-RX, 12-RY, 12-RZ, 12-SA, 12-SB, 12-SC, 12-SD, 12-SE, 12-SF, 12-SG, 12-SH, 12-SI, 12-SJ, 12-SL, 12-SM, 12-SN, 12-SO, 12-SP, 12-SQ, 12-SR, 12-SS, 12-ST, 12-SU, 12-SV, 12-SW, 12-SX, 12-SY, 12-SZ, 12-TA, 12-TB, 12-TC, 12-TD, 12-TE, 12-TF, 12-TG, 12-TH, 12-TI, 12-TJ, 12-TK, 12-TL, 12-TM, 12-TN, 12-TO, 12-TP, 12-TQ, 12-TR, 12-TS, 12-TT, 12-TU, 12-TV, 12-TW, 12-TX, 12-TY, 12-TZ, 12-UA, 12-UB, 12-UC, 12-UD, 12-UE, 12-UF, 12-UG, 12-UH, 12-UI, 12-UJ, 12-UK, 12-UL, 12-UM, 12-UN, 12-UO, 12-UP, 12-UQ, 12-UR, 12-US, 12-UT, 12-UU, 12-UV, 12-UW, 12-UX, 12-UY, 12-UZ, 12-VA, 12-VB, 12-VC, 12-VD, 12-VE, 12-VF, 12-VG, 12-VH, 12-VI, 12-VJ, 12-VK, 12-VL, 12-VM, 12-VN, 12-VO, 12-VP, 12-VQ, 12-VR, 12-VS, 12-VT, 12-VU, 12-VV, 12-VW, 12-VX, 12-VY, 12-VZ, 12-WA, 12-WB, 12-WC, 12-WD, 12-WE, 12-WF, 12-WG, 12-WH, 12-WI, 12-WJ, 12-WK, 12-WL, 12-WM, 12-WN, 12-WO, 12-WP, 12-WQ, 12-WR, 12-WS, 12-WT, 12-WU, 12-WV, 12-WW, 12-WX, 12-WY, 12-WZ, 12-XA, 12-XB, 12-XC, 12-XD, 12-XE, 12-XF, 12-XG, 12-XH, 12-XI, 12-XJ, 12-XK, 12-XL, 12-XM, 12-XN, 12-XO, 12-XP, 12-XQ, 12-XR, 12-XS, 12-XT, 12-XU, 12-XV, 12-XW, 12-XY, 12-XZ, 12-YA, 12-YB, 12-YC, 12-YD, 12-YE, 12-YF, 12-YG, 12-YH, 12-YI, 12-YJ, 12-YK, 12-YL, 12-YM, 12-YN, 12-YO, 12-YP, 12-YQ, 12-YR, 12-YS, 12-YT, 12-YU, 12-YV, 12-YW, 12-YY, 12-YZ, 12-ZA, 12-ZB, 12-ZC, 12-ZD, 12-ZE, 12-ZF, 12-ZG, 12-ZH, 12-ZI, 12-ZJ, 12-ZK, 12-ZL, 12-ZM, 12-ZN, 12-ZO, 12-ZP, 12-ZQ, 12-ZR, 12-ZS, 12-ZT, 12-ZU, 12-ZV, 12-ZW, 12-ZX, 12-ZY, 12-ZZ.

ALTA/NSPS LAND TITLE SURVEY OF LOT 2, BLOCK 3, THE PARK AT C.T.C., COUNTY OF BOULDER, STATE OF COLORADO.

IN ACCORDANCE WITH CRS 13-60-105, NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN SIX YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Drexel, Barrell & Co. Engineers/Surveyors
1800 38TH STREET BOULDER, COLORADO 80501 (303) 442-4338
BOULDER, COLORADO (303) 442-4338
COLORADO SPRING, COLORADO (719) 886-8887
CRENSHAW, COLORADO (970) 355-0646

Revisions - Date	Date	Drawn By	Job No.
	6/28/16	MEF	6330
	1" = 30'	Checked by	B88-32
		Drawn by	
		Checked by	

MATHIE E. SELBOS
COLORADO LICENSED PROFESSIONAL
LAND SURVEYOR NO. 27276

ITEM: Case #16-029-FP, Innovative Openings PUD

PLANNER: Kristin Dean, Principal Planner

APPLICANT: Rosenthal Associates, LLC
Bob Rosenthal
6400 Modena Ln.
Longmont, CO 80503

OWNER: PF Investments, LLC

REPRESENTATIVE: Bob Rosenthal

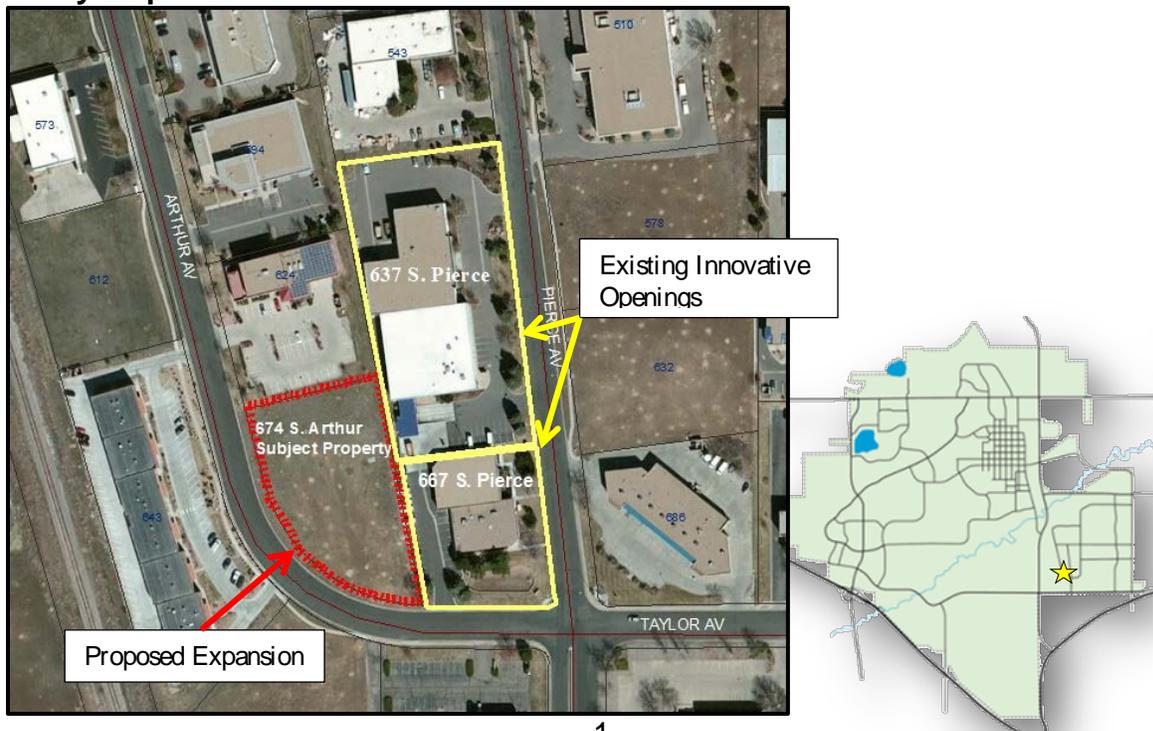
EXISTING ZONING: Planned Community Zone District – Industrial (PCZD-I)

LOCATION: Lot 1, Block 2 Colorado Technological Center, Filing No. 1 (674 S. Arthur)

TOTAL SITE AREA: 47,679 square feet (1.1 acres)

REQUEST: Approval of Resolution No. 28, Series 2016, a resolution recommending approval of a Final Planned Unit Development (PUD) to allow for a 15,101 square foot office, manufacturing, and warehouse facility and associated site improvements on Lot 1, Block 2, Colorado Technological Center, Filing No. 1.

Vicinity Map:



PROPOSAL:

Innovative Openings is a manufacturer of window coverings and Insolroll™ outdoor shades. Their headquarters and manufacturing facility has been at 637 Pierce in the Colorado Technological Center (CTC) since 1996. In 2011, they expanded their campus to include 667 Pierce. The company would like to expand its Insolroll operations and is therefore requesting a Final Planned Unit Development (PUD) to allow for a 15,101 square foot building on the subject property. The property is zoned Industrial (PCZD -I) and the proposed use is permitted in this zoning district. The property is located at Lot 1, Block 2, Colorado Technological Center (674 S. Arthur Ave.). The property is not subject to a General Development Plan but it is subject to the Industrial Development Design Standards and Guidelines (IDDSG).

COMPLIANCE WITH THE IDDSG:

Site Planning

The property is situated along a bend in Arthur Ave. as it curves to the east to meet S. Pierce Ave. The entire portion of the property adjacent to Arthur Ave. is considered to be the front. Due to the orientation of the buildings on the adjacent lot to the north (624 S. Arthur Ave.) and the adjacent lot to the east (667 Pierce Ave.), staff determined the east property line is the rear and the north property line is the side. The primary building, trash enclosure and the parking areas comply with the applicable setback requirements.

The IDDSG limits site coverage to 75% of the site. The property is 47,679 square feet. The building, walkway, and driveway coverage amount to 32,365 square feet (67.88%), and thus, proposed site coverage complies with the IDDSG. The remainder of the site is comprised of landscape and drainage areas.

The applicant has requested a waiver from IDDSG Standard 1.6.a which addresses the orientation of overhead doors. The loading dock is located on the south side of the building and faces Arthur Ave. The IDDSG requires that loading docks be located in areas of low visibility *such as* at the side or rear of buildings. Due to the fact that approximately one-third of the property is located adjacent to Arthur Ave. and due to the design objectives and access plan, the loading dock is located in a manner where the garage bay doors would be considered to be on the front façade. However, the building has been designed so that the garage bay doors are recessed 56-feet back from the front façade. Thus, the loading dock is not technically located on the street side of the building, but rather adjacent to the rear property line. The proposed landscaping along Arthur Ave. will also lend to reducing the visibility of the loading dock. Thus, staff finds that the location of the loading dock meets the standard that they be located in areas of *low visibility* and a waiver from this standard is not necessary.

Vehicular, Bicycle, and Pedestrian Circulation

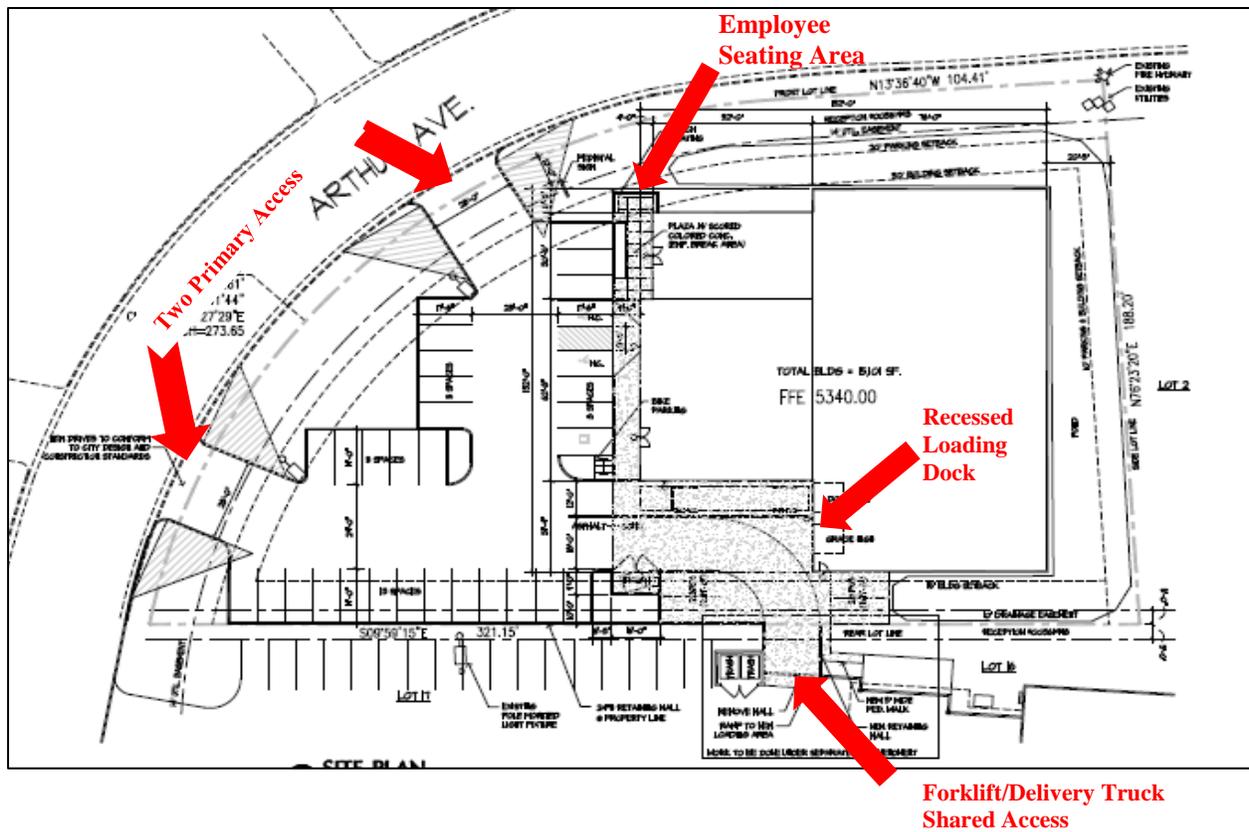
The proposal includes two access points off of Arthur Ave. to allow for a through-traffic pattern. A guideline set forth under IDDSG 2.1.1.d states that the number of driveways per street frontage to any building site is determined by the size of the building site. On properties less than two acres, the guideline allows for only one driveway. However, to re-iterate, this a guideline and not a standard.

In their application letter, the applicant requested a waiver from this standard based on the unique shape of the lot which does not allow for a truck to make a 3-point turn and exit the lot with only one driveway. Two driveways allow trucks to exit the loading area with more ease, and also allows a fire truck to exit the lot without having to back-up. The proposed driveways align with the driveways on the opposite side of the street. However, because the regulation is a guideline and not a standard, a waiver is not necessary. As demonstrated in the Emergency Access Plan, the access through the site meets the minimum turning radius for emergency vehicles.

Although the CTC Master Sidewalk and Bicycle Plan (“master plan”) calls for bike lanes on all of the roads within the CTC, to date, bike lanes have not been designated on these roads. This master plan requires sidewalks on the south and west side of Arthur Ave., but not on the side adjacent to the subject property. The sidewalk in this area has already been constructed.

The owners would like to allow for access between their two properties from the adjoining rear property lines. This access is being designed primarily to allow for forklifts and delivery vans to easily go between the two properties. This access has also been designed to include a designated pedestrian walkway to allow for employees to walk between the two sites. This access requires minor site work on the property at 667 Pierce, and that work will have to be reviewed through the PUD amendment process. A condition has been included which requires the PUD Amendment for 667 Pierce be approved prior to the issuance of a building permit for the subject property.

To enhance the pedestrian amenities of the site, the plans call for scored colored concrete for the sidewalk along the front entry. The proposal also includes a small landscaped plaza in front of the entry towards the west side of the building, a small landscaped island near the east entrance of the building, and an employee gathering space on the west side of the property, adjacent to the front entry. The employee gathering space includes bench seating and landscaping.



Parking

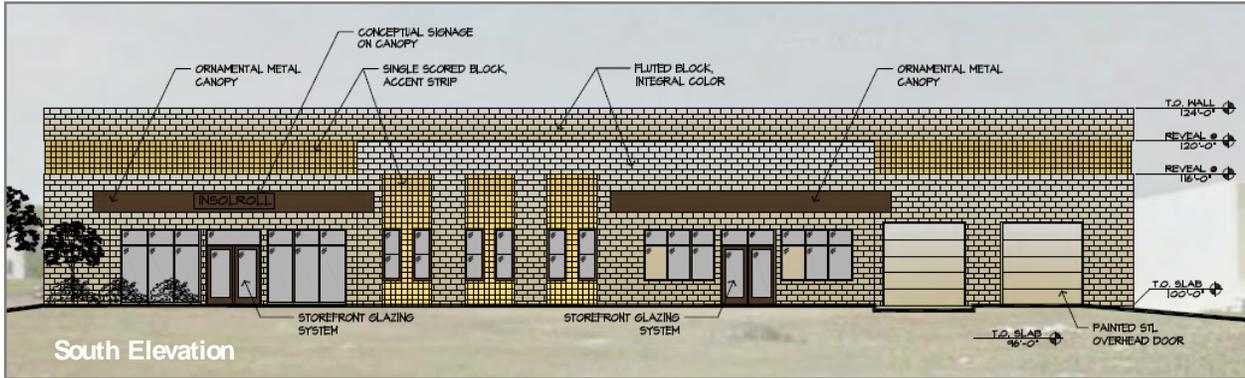
The IDDSG sets forth parking standards for the various types of uses that could be built in the industrial zone. The plans (Sheet A1) include a breakdown of the square footage for the uses intended in the building. A total of 35 parking spaces are proposed, which meets the minimum standards. However, four of these spaces are located along the east property line on either side of the shared access designed between the two adjacent sites. While these parking spaces meet the minimum dimensions, they may not be accessible if there is a truck parked in the western most bay of the loading dock. To solve this issue, the owners have agreed to execute an access easement that will allow cars ingress and egress to these parking spaces from the shared access drive. Staff recommends a condition that requires this easement to be executed prior to the issuance of a building permit.

As required by the IDDSG, the proposal includes landscape islands at the ends of each row of parking and a bike rack near the western building entrance. The bike parking meets the requirement that a minimum of three bike parking spaces be provided based on the size of the building.

Architecture

The design includes locating the façade with the main entrances within the public zone on the property. The proposed building incorporates some of the materials used in the two other buildings owned by Innovative Openings, but the proposed building is more unique than similar to the other buildings when evaluating overall architecture. The roofline varies to provide for articulation which ranges from a roof height of 20-feet along the front façade to 24-feet for the majority of the building, and is well within the 40-foot

height limit. Primarily, the building design incorporates fluted block, which is a light gray color. The design also includes a light beige single scored block accent strip along the top two-thirds of the structure. Numerous buildings throughout the CTC incorporate this feature including the Innovative Openings building at 667 Pierce and the Servpro building to the south of the subject property. The overhead doors at the loading dock will be painted a color which matches the color of the surrounding façade.



The building has two main entrances, both located on the front south-facing façade in the public zone. While the building entrances are designed to possibly allow two tenants in the future, only Insolroll operations will be housed in this building. Additional glazing and architectural accents further define the front façade. These south-facing windows will lend to increasing the solar gain for energy savings.

Landscape Design and Drainage

The original plat of the property (Colorado Technological Center, Filing No. 1 Reception No.361998) includes a drainage easement along the east property line. The applicant would like to vacate this easement and the City Engineer has determined that it is not necessary to keep it in place. The applicant intends to submit an application for the easement vacation request in the near future and understands that it must be vacated prior to the issuance of a building permit since parking is proposed in this location. Thus, Staff recommends a condition that the drainage easement be vacated prior to the issuance of a building permit.

The plans show the most intensive landscaping on the site along the entire roadway frontage, including a mix of deciduous trees, located at regular 40-foot intervals, sod, shrubs and perennial flowers. Each entrance includes perennial flower beds. The landscaping proposed will effectively screen the parking lot and the loading areas from public view. In addition, the plans call for landscape islands at the ends of each parking row, screening of the dumpster enclosure with a mix of coniferous and deciduous trees and small landscape beds framing the western most public entrance to the building. Bench seating for employees and the public is also located in this planting area.

The proposed detention pond wraps around the east, north, and west sides of the building. Landscaping for the pond includes dryland seed and three coniferous trees at the edge of the pond along the north side of the property to add aesthetic interest to this

requested.

STAFF RECOMMENDATION:

Staff finds that the proposal complies with the IDDSG and PUD approval criteria in LMC Section 17.28.120 and recommends Planning Commission recommend approval of Resolution No. 28, Series 2016, a resolution recommending approval of a Final Planned Unit Development (PUD) to allow for a 15,101 square foot office, manufacturing, and warehouse facility and associated site improvements on Lot 1, Block 2, Colorado Technological Center with the proposed conditions. The Planning Commission may recommend approval (with or without conditions) or denial of the applicant's request for Final Planned Unit Development approval, or it may continue the application.

Conditions

1. Prior to the issuance of a building permit, the applicant shall obtain approval of the PUD Amendment for the site work needed to create the shared access at 667 Pierce.
2. Prior to the issuance of a building permit, the applicant shall execute the access easement to allow for cars parked in the spaces adjacent to the east property line to have ingress and egress through 667 Pierce.
3. Prior to the issuance of a building permit, the applicant shall receive approval by the City to vacate the drainage easement along the eastern property line.

ATTACHMENT(S):

1. Planning Commission Resolution No. 28, Series 2016
2. Application documents
3. Final PUD Plans and Colored Elevations

**RESOLUTION NO. 28
SERIES 2016**

A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLANNED UNIT DEVELOPMENT (PUD) FOR INNOVATIVE OPENINGS TO ALLOW FOR A 15,101 SQUARE FOOT OFFICE, MANUFACTURING, AND WAREHOUSE FACILITY AND ASSOCIATED SITE IMPROVEMENTS ON LOT 1, BLOCK 2, COLORADO TECHNOLOGICAL CENTER, FILING NO. 1.

WHEREAS, there has been submitted to the Louisville Planning Commission an application for approval of a Final Planned Unit Development (PUD) to allow for a 15,101 square foot office, manufacturing, and warehouse facility and associated site improvements on Lot 1, Block 2, Colorado Technological Center, Filing No. 1; and

WHEREAS, the City Staff has reviewed the information submitted and found that, subject to conditions, the application complies with the Louisville zoning and subdivision regulations and other applicable sections of the Louisville Municipal Code; and;

WHEREAS, the Planning Commission has considered the application at a duly noticed public hearing on November 10, 2016, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated November 10, 2016.

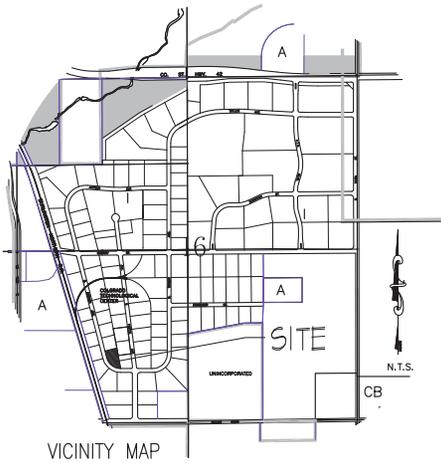
NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a 15,101 square foot office, manufacturing, and warehouse facility and associated site improvements on Lot 1, Block 2, Colorado Technological Center, Filing No. 1 with the following conditions:

1. Prior to the issuance of a Building Permit, the application shall obtain approval of the PUD Amendment for the site work needed to create the shared access at 667 Pierce.
2. Prior to the issuance of a building permit, the applicant shall execute the access easement to allow for cars parked in the spaces adjacent to the east property line to have ingress and egress through 667 Pierce.
3. Prior to the issuance of a building permit, the applicant shall receive approval by the City to vacate the drainage easement along the eastern property line.

PASSED AND ADOPTED this 10th day of November, 2016.

By: _____
Chris Pritchard, Chairman
Planning Commission

Attest: _____
Steve Brauneis, Secretary
Planning Commission



SITE SUMMARY

LEGAL DESCRIPTION
Know all men by these presents, that the undersigned being the owner of a tract of land SW 1/4 of Section 16, T1S, R69W, 6th principal meridian, City of Louisville, State of Colorado, and being more particularly described as follows:
LOT 1, BLOCK 2, COLORADO TECHNOLOGICAL CENTER, LOUISVILLE, COLORADO

TOTAL LOT AREA	47,679 S.F.	100.00%
TOTAL BUILDING COVERAGE	15,101 S.F.	31.67%
DRIVEWAY & OTHER HARD SURFACE AREA	17,264 S.F.	36.21%
LANDSCAPED AREA	15,314 S.F.	32.12%
ZONING CLASSIFICATION	I - INDUSTRIAL	
PROPOSED USE	OFFICE/WAREHOUSE/MANUFACTURING	

PARKING SUMMARY

PARKING SPACES	Office (4:1000)	Manufacturing (2:1000)	Warehouse (1:1000)	Total
Proposed uses	4,750 s.f.	5,000 s.f.	5,351 s.f.	15,101 s.f.
Total required	19 spaces	10 spaces	6 spaces	35 spaces
Proposed Provided				35 spaces

BUILDING SUMMARY

PROPOSED USE	OFFICE, MANUFACTURING AND WAREHOUSE
NUMBER OF STORIES	ONE
MAXIMUM HEIGHT OF BUILDING	24'-0"
ARCHITECTURAL MATERIALS	EXTERIOR WALLS - FLUTED BLOCK, WARM GREY ACCENT STRIP - SINGLE SCORED BLOCK, INTEGRAL COLOR
TRIM	METAL, PAINTED
ROOF	SINGLE PLY MEMBRANE - BALLASTED
DOORS AND WINDOWS	STEEL, ALUMINUM STOREFRONT

FINAL P.U.D. SUBMITTAL

CERTIFICATES

OWNERSHIP BLOCK

BY SIGNING THIS PUD, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH IN THIS PUD.

Witness our hands and seals this ____ day of _____, 200__.

OWNER _____ OWNER _____

NOTARY

PLANNING COMMISSION CERTIFICATE

APPROVED THIS ____ DAY OF _____, 200__, BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO, RESOLUTION _____, SERIES _____.

BY _____ CHAIRMAN _____

BY _____ SECRETARY _____

CITY COUNCIL CERTIFICATE

APPROVED THIS ____ DAY OF _____, 200__, BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO, RESOLUTION _____, SERIES _____.

BY _____ MAYOR _____

BY _____ CITY CLERK _____

CLERK & RECORDER CERTIFICATE COUNTY OF BOULDER STATE OF COLORADO

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT O'CLOCK ____ M. THIS ____ DAY OF _____, 200__, AND IS DULY RECORDED IN PLAN FILE _____, FEE _____, FUND _____, FILM NO. _____, RECEPTION NO. _____.

RECORDER _____

DEPUTY _____

BY SIGNING THIS PUD, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH IN THIS PUD.

Witness our hands and seals this ____ day of _____, 200__.

OWNER _____ OWNER _____

NOTARY

PROJECT DIRECTORY

OWNER: PF INVESTMENTS, LLC - RICK PEASE, DAVID FRIEDLANDER
637 S. PIERCE ST., LOUISVILLE, CO 80027
303 665-1305

CIVIL ENGINEER: PARK ENGINEERING CONSULTANTS - JOEL SEAMONS, P.E.
420 21ST AVE. STE 101, LONGMONT, CO 80501
303 651-6626

ELECTRICAL ENGINEER: KVA - JOHN TINSLEY, P.E.
10495 S. PROGRESS WAY, SUITE 202, PARKER, CO 80134
303 646-4770

LANDSCAPE ARCHITECT: NATURE'S DESIGN ASSOCIATES, LLC - BECKY MARTINEK
15674 INDIANA GULCH ROAD, JAMESTOWN, CO 80455
303 459-3333

SHEET INDEX

A1	Site plan
A2	Building elevations
C1	Existing Conditions Plan
C2	Grading and drainage plan
C3	Utility plan
C4	Fire truck access plan
L1	Landscaping plan
E1	Site lighting plan and photometric study

NOTICE: DUTY OF COOPERATION
Those of these plans contemplate further cooperation among the owner, his contractor and the architect. Change and additions are permitted. Although the architect and his consultants have exercised due care and skill, they cannot guarantee perfection. Construction is specific, and every contingency cannot be anticipated. Any change or discrepancy discovered by the owner must be made immediately to the architect. Failure to notify the architect constitutes misunderstanding and waives construction costs. A failure to cooperate by a single party to the architect will release the architect from responsibility for all consequences. Except that this plan without consent of the architect or contractor, and shall release the architect of responsibility for all consequences arising out of such changes.

A NEW BUILDING FOR:
Innovative Openings, Inc
Lot 1, Block 2, CTC (674 S. Arthur Ave), Louisville, CO

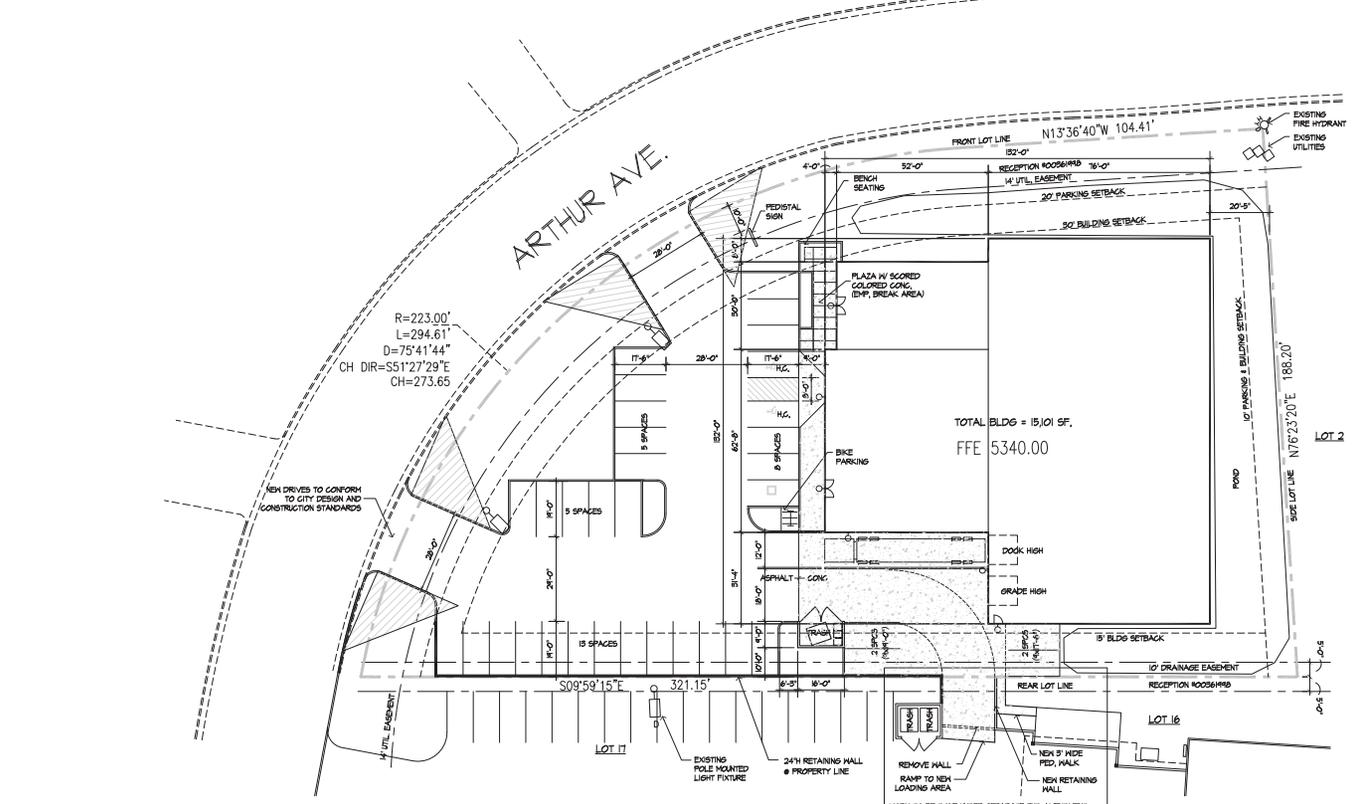


6400 Moderna Lane | Longmont, CO 80503
Phone: 303.604.2900
rosenthal@rosenthalassociates.com

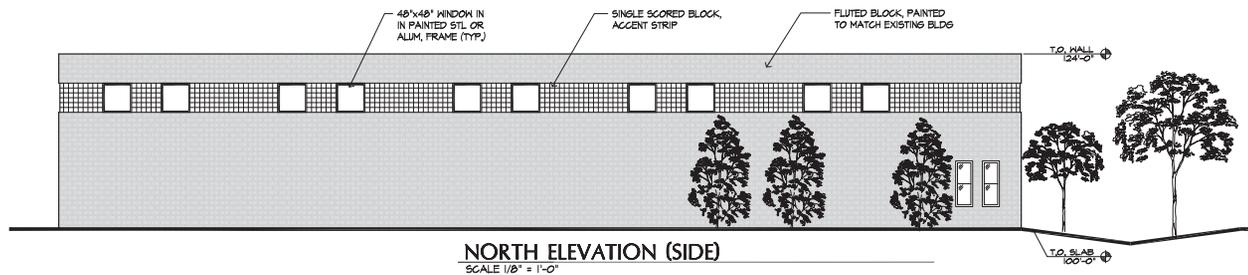
JOB NO:	0216
DRAWN:	br
CHECKED:	
DATE:	08-04-16
REVISED:	10-13-16

SHEET NO.
A1

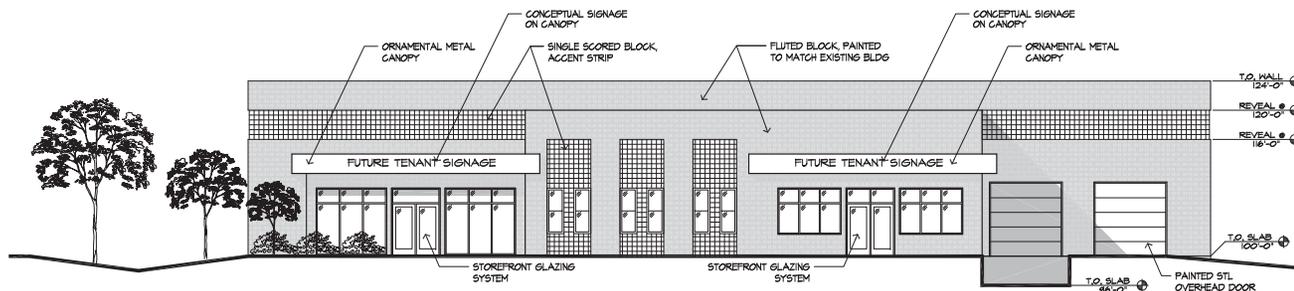
VICINITY MAP



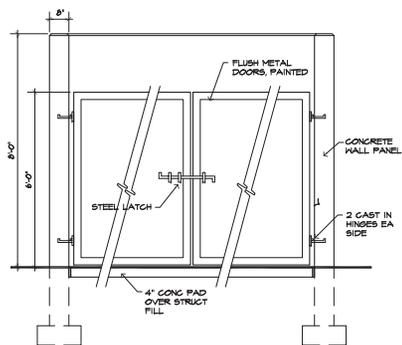
SITE PLAN
SCALE 1" = 20'-0"



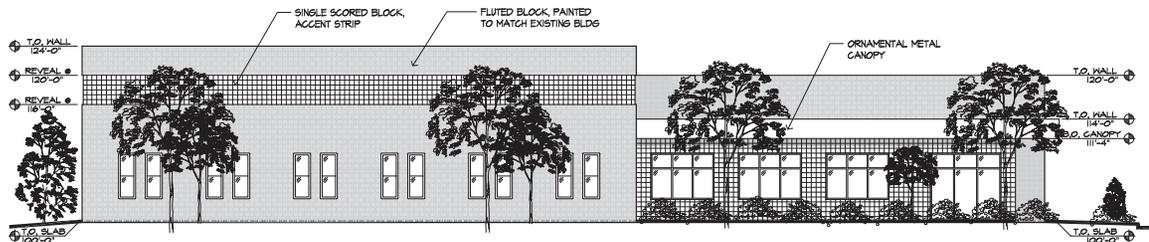
NORTH ELEVATION (SIDE)
SCALE 1/8" = 1'-0"



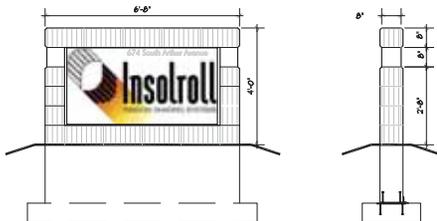
SOUTH ELEVATION (ARTHUR AVE)
SCALE 1/8" = 1'-0"



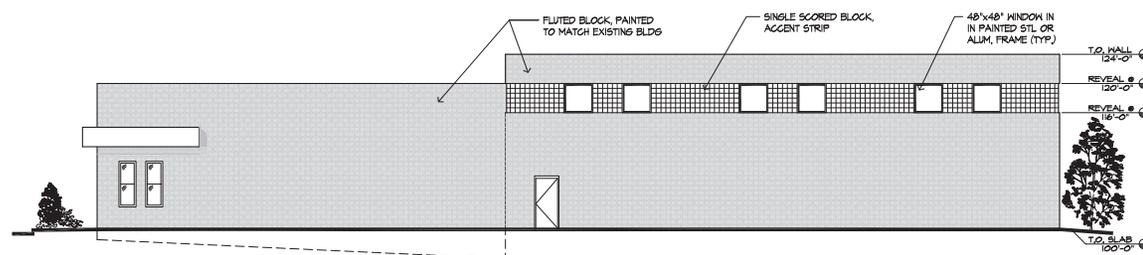
TRASH ENCLOSURE DETAIL
SCALE 1/2" = 1'-0"



WEST ELEVATION (FRONT)
SCALE 1/8" = 1'-0"



MONUMENT SIGN DETAIL
SCALE 1/2" = 1'-0"



EAST ELEVATION (REAR)
SCALE 1/8" = 1'-0"

NOTICE: DUTY OF COOPERATION
Those of these areas contribute further cooperation among the owner, his contractor and the architect, design and construction are required. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Construction is specific, and every contingency cannot be anticipated. Any change or discrepancy discovered by the time of final joint and is deemed irrevocable to the architect. Failure to notify the architect promptly, understanding and necessary cooperation is required. A failure to cooperate by a single party to the architect will release the architect from responsibility for all consequences. Except that this plan without consent of the architect or contractor, and shall release the architect of responsibility for all consequences arising out of such change.

A NEW BUILDING FOR:
Innovative Openings, Inc
Lot 1, Block 2, CTC (674 S. Arthur Ave), Louisville, CO



6400 Modena Lane |
Longmont, CO 80501
Phone: 303.604.2900
rosenthal@rosenthalassociates.net

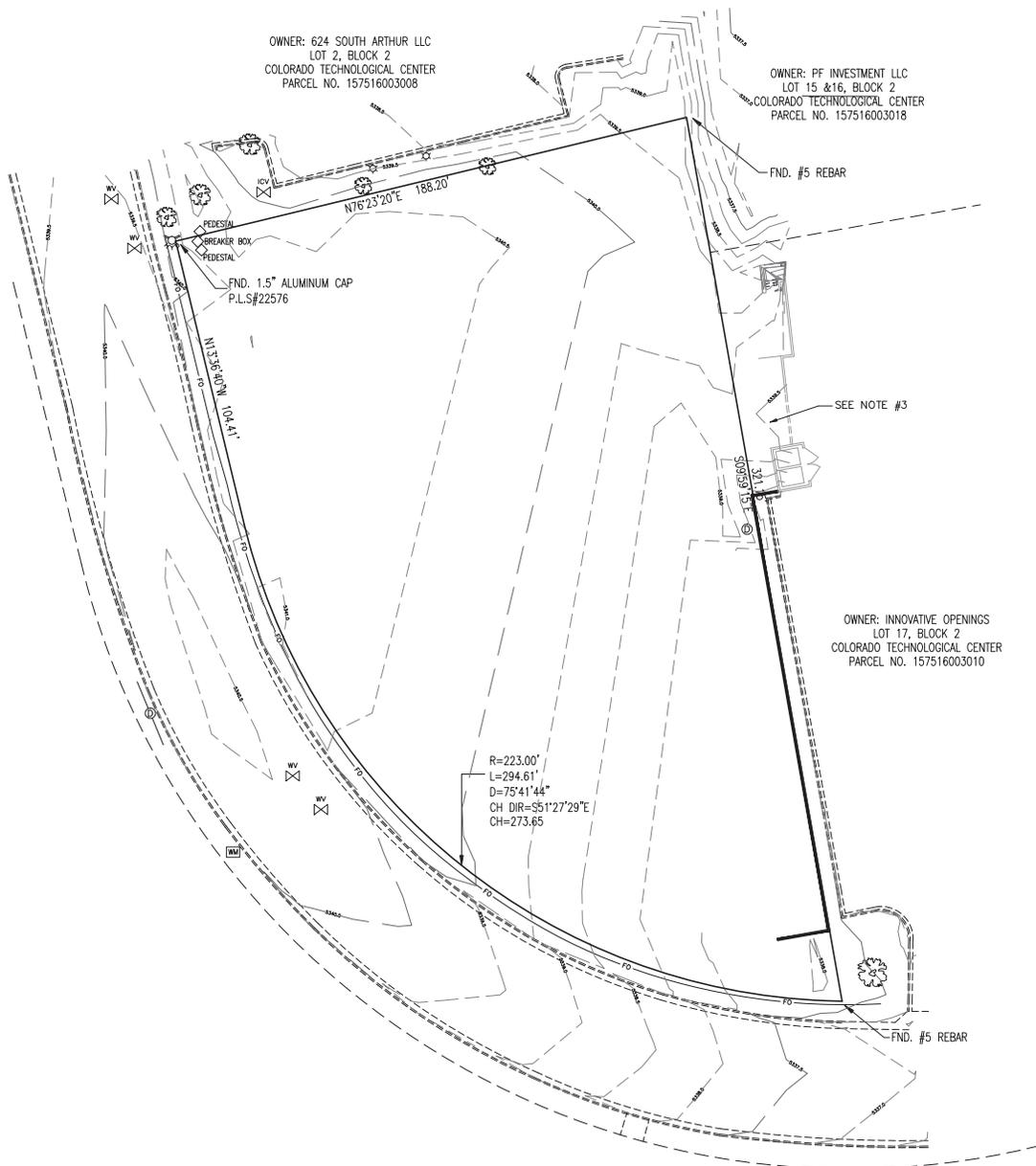
JOB NO:	0216
DRAWN:	br
CHECKED:	
DATE:	08-04-16
REVISED:	10-13-16

SHEET NO.
A2

OWNER: 624 SOUTH ARTHUR LLC
 LOT 2, BLOCK 2
 COLORADO TECHNOLOGICAL CENTER
 PARCEL NO. 157516003008

OWNER: PF INVESTMENT LLC
 LOT 15 & 16, BLOCK 2
 COLORADO TECHNOLOGICAL CENTER
 PARCEL NO. 157516003018

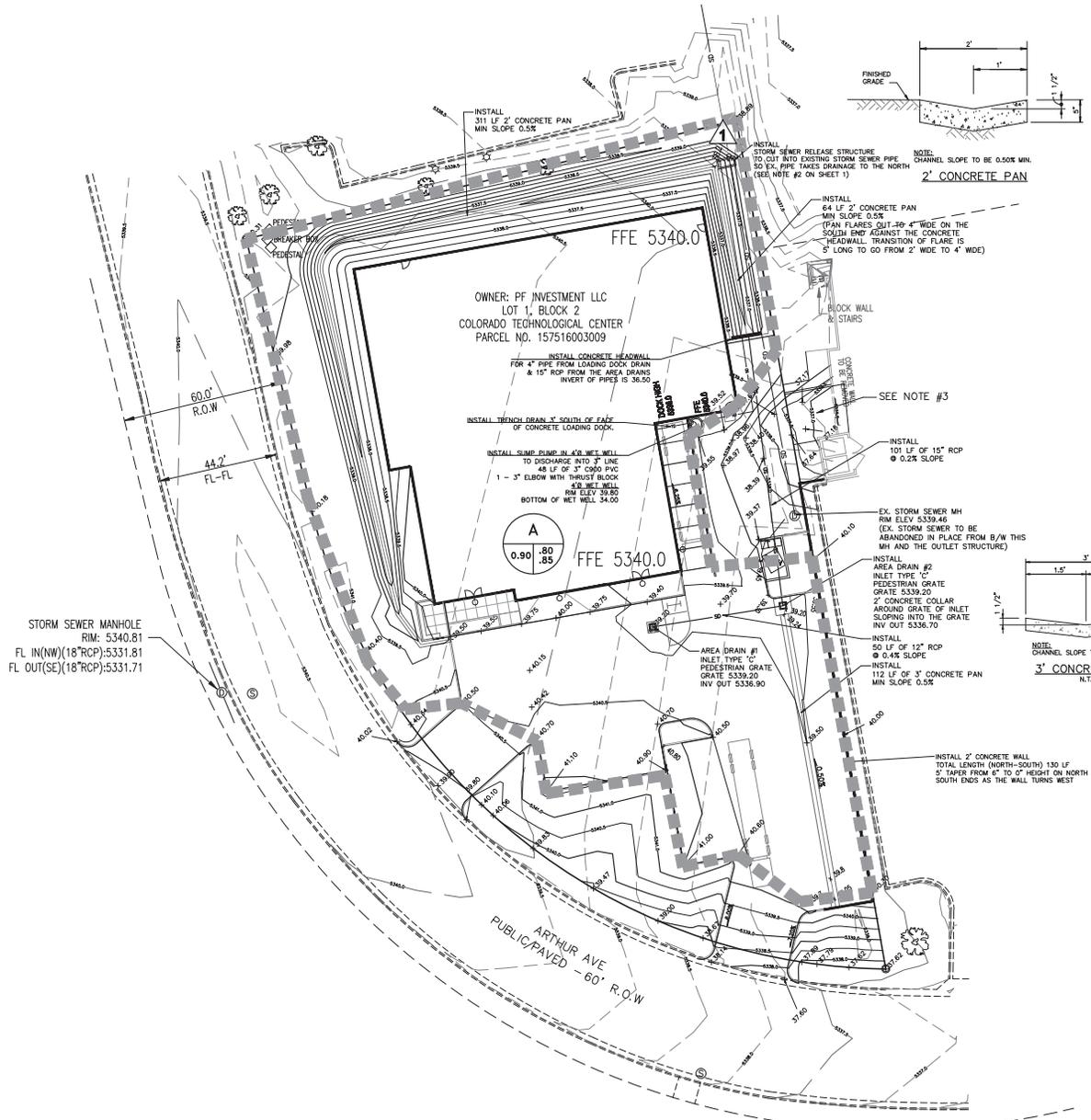
OWNER: INNOVATIVE OPENINGS
 LOT 17, BLOCK 2
 COLORADO TECHNOLOGICAL CENTER
 PARCEL NO. 157516003010



NOTES:
 1. THIS INFORMATION IS PER A SURVEY COMPLETED BY POWER SURVEYING IN JUNE 2016.



 PARK ENGINEERING CONSULTANTS 420 2151 AVENUE, SUITE 101 LONGMONT CO. 80501 (303)651-6626			
INNOVATIVE OPENINGS			
EXISTING CONDITIONS PLAN			
JOB NO. 341-3	DATE 10/13/16	CAD NO. 3413BASE	SHEET NO. C1 OF 2



NOTES:

1. BENCHMARK: DESIGNATION NAME "0413" A STEEL ROD WITHOUT SLEEVE, LOCATED AT THE INTERSECTION OF DILLON ROAD AND SOUTH 104TH STREET, 311.7 FEET NORTH OF THE CENTERLINE OF THE STREET, 1.6 METERS FROM FROM WITNESS POST AND FENCE, CITY OF LOUISVILLE, BOULDER COUNTY, STATE OF COLORADO.
2. UTILITIES SHOWN HEREON ARE PER ABOVE GROUND EVIDENCE ONLY. UNDERGROUND LOCATES WERE NOT INVESTIGATED.
3. THE PROPOSED SLOPE FOR THE FORKLIFT PATH IS 5.6% MEASURED FROM THE CENTER OF THE PATH (MAINLY WEST-EAST). THE PROPOSED SLOPE FOR THE CONCRETE TRUCK DOCK IS 6.25% (NORTH-SOUTH)
4. SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.

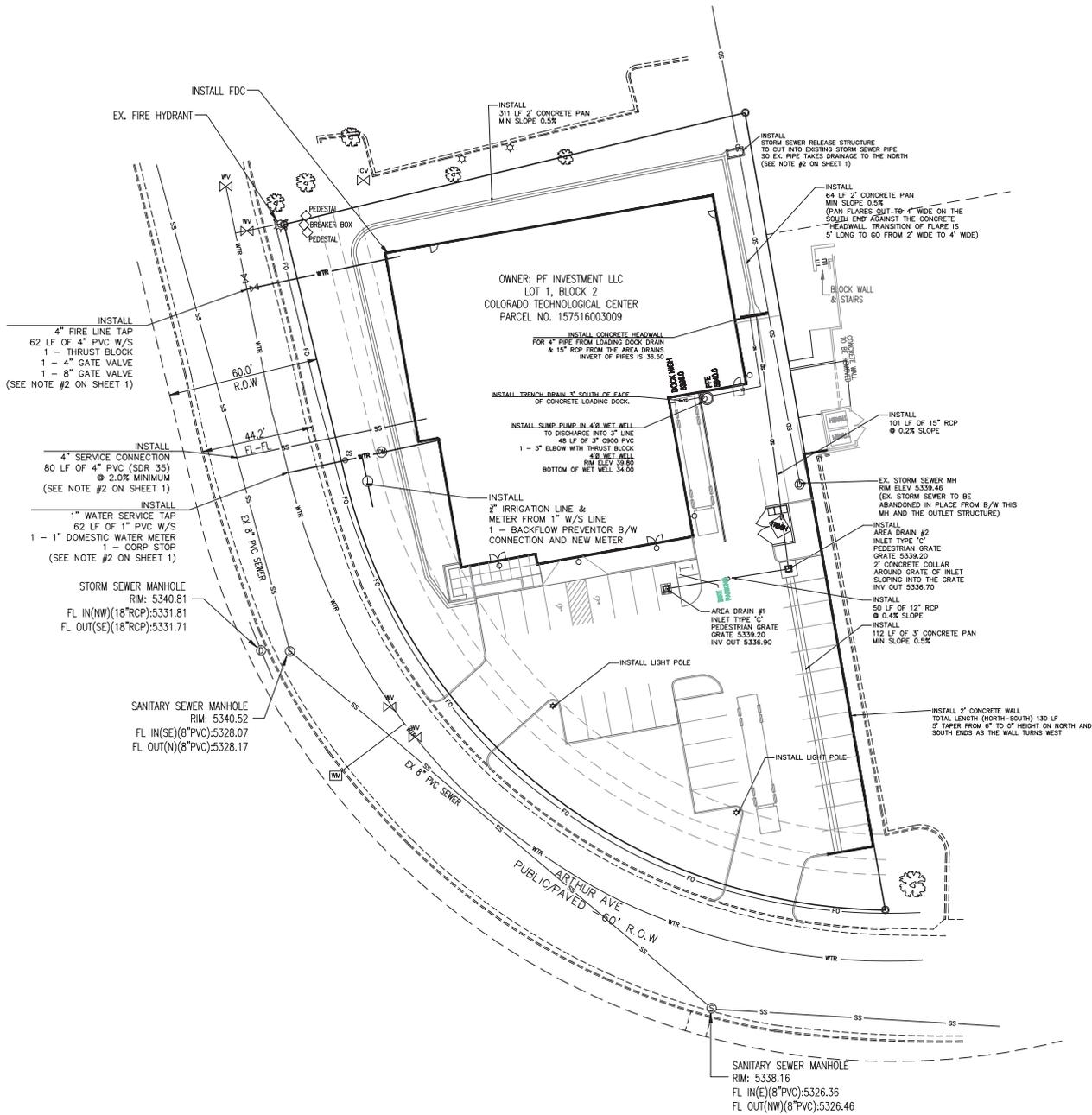
LEGEND

- FOUND MONUMENTATION (AS NOTED)
- FND FOUND
- R.O.W RIGHT-OF-WAY
- FL-FL FLOW LINE TO FLOW LINE
- ☆ LIGHT POLE
- IRRIGATION CONTROL VALVE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- Ⓧ STORM SEWER MANHOLE
- Ⓧ TREE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE

DRAINAGE LEGEND

- Ⓧ BASIN OR SUB-BASIN
- Ⓧ C VALUE 5-YR STORM
- Ⓧ C VALUE 100-YR STORM
- Ⓧ DESIGN POINT
- ▬ BASIN LIMIT
- 0.50% ↗ RUNOFF FLOW DIRECTION

PARK ENGINEERING CONSULTANTS 420 21ST AVENUE, SUITE 101 LONGMONT CO. 80501 (303)651-6626			
INNOVATIVE OPENINGS			
GRADING & DRAINAGE PLAN			
JOB NO 341-3	DATE 10/13/16	CAD NO 3413BASE	SHEET NO C2 OF 2

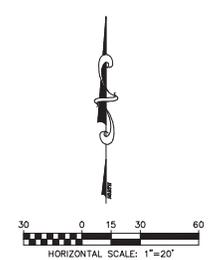
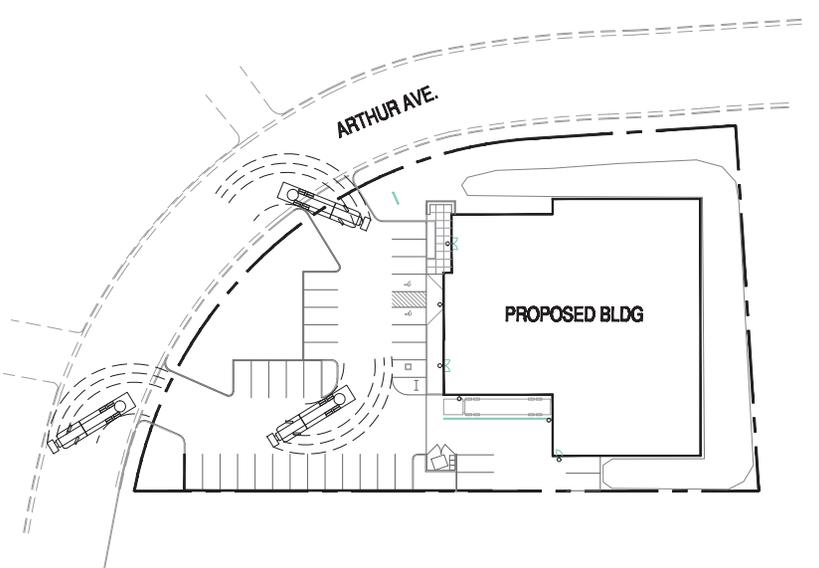
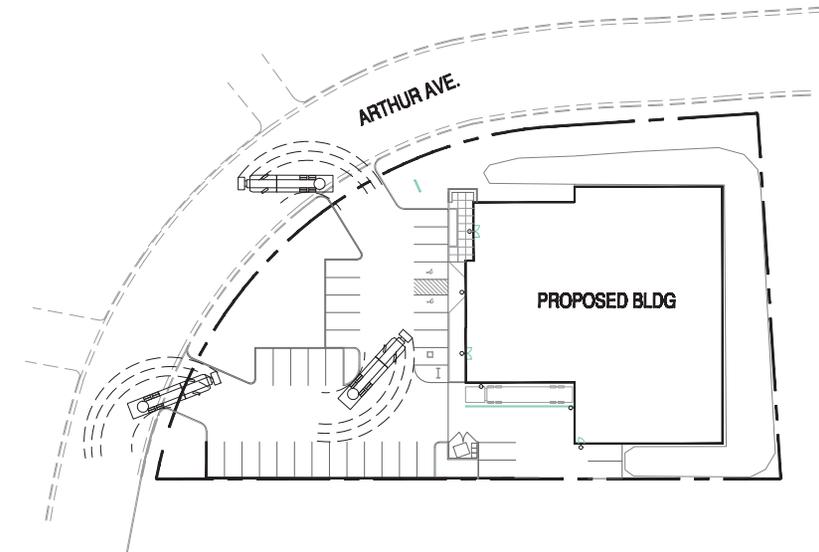


- LEGEND**
- FOUND MONUMENTATION (AS NOTED)
 - FND FOUND
 - R.O.W RIGHT-OF-WAY
 - FL-FL FLOW LINE TO FLOW LINE
 - ☆ LIGHT POLE
 - ⊗ IRRIGATION CONTROL VALVE
 - ⊗ WATER VALVE
 - ⊞ WATER METER
 - ⊗ FIRE HYDRANT
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ STORM SEWER MANHOLE
 - ⊙ TREE
 - SD— EXISTING STORM SEWER LINE
 - FO— PROPOSED STORM SEWER LINE
 - SS— UNDERGROUND FIBER LINE
 - SS— EXISTING SANITARY SEWER LINE
 - SS— EXISTING SANITARY SEWER LINE
 - WTR— EXISTING WATER SEWER LINE
 - WTR— PROPOSED WATER LINE

NOTES:

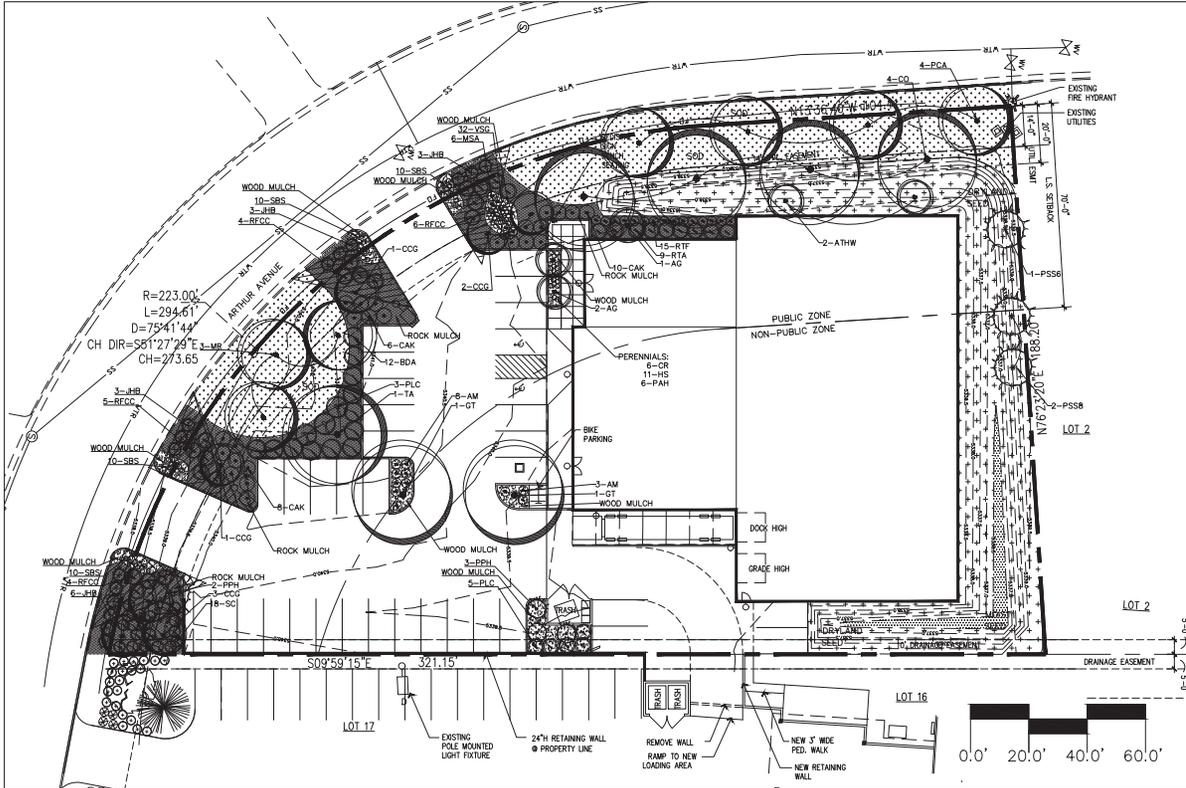
- XCEL CONTACT (GAS) IS PAGE (303) 245-2296.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXCAVATE, POT-HOLE, FIND, AND CONNECT TO THE EXISTING UTILITIES. THE LINENWORK SHOWN IN THESE DRAWINGS ARE TO THE BEST OF THE ENGINEER'S KNOWLEDGE. OWNER SHALL REPAIR DAMAGE OR SETTLED CONCRETE CURBS ADJACENT THE SITE PRIOR TO ISSUANCE OF CONSTRUCTION ACCEPTANCE AND/OR CERTIFICATE OF OCCUPANCY.
- WATER LINE SHOWN ON THIS PLAN IS PER THE LOCATE MARKINGS PROVIDED BY THE CITY. THE EXACT LOCATIONS OF BENDS ARE NOT KNOWN.

 PARK ENGINEERING CONSULTANTS 420 2151 AVENUE, SUITE 101 LONGMONT CO. 80501 (303)651-6626			
INNOVATIVE OPENINGS			
UTILITY PLAN			
JOB NO	DATE	CAD NO	SHEET NO
341-3	10/13/16	3413BASE	C3 OF 4

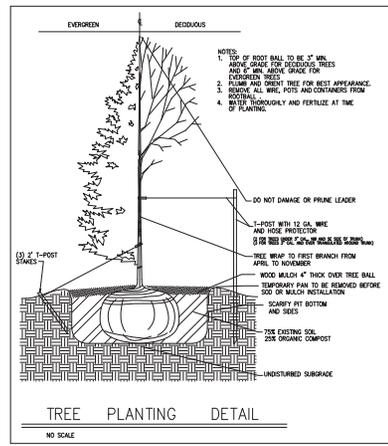


NOTES:
 1. FIRE ENGINE SWEEPS ARE SHOWN ABOVE ON THIS PLAN. THE TWO VIEWPORTS SHOW THE ENGINES GOING IN DIFFERENT DIRECTIONS.

 PARK ENGINEERING CONSULTANTS 420 21ST AVENUE, SUITE 101 LONGMONT CO. 80501 (303)651-6626			
INNOVATIVE OPENINGS			
EMERGENCY ACCESS PLAN			
JOB NO. 341-3	DATE 10/13/16	CAD NO. 3413BASE	SHEET NO. C4 OF 4



- LANDSCAPE NOTES**
- ALL LANDSCAPING SHALL CONFORM TO THE CITY OF LOUISVILLE STANDARDS. WHERE THE STANDARDS CONFLICT WITH THIS PLAN, THE STANDARDS SHALL TAKE PRECEDENCE.
 - THE PROPERTY OWNER SHALL REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIAL AS ORIGINALLY INSTALLED. AVOID REPLACING LANDSCAPE MATERIALS DURING THE DRY WATER MONTHS BETWEEN DECEMBER AND FEBRUARY AND IN MID-SUMMER. CONTACT THE PLANNING DIVISION AT THE CITY OF LOUISVILLE FOR SPECIFIC TIME REQUIREMENTS FOR LANDSCAPE MATERIAL REPLACEMENT. LANDSCAPE MATERIALS LOCATED IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
 - ALL AREAS TO BE SOODED SHALL RECEIVE 3-5 CUBIC YARDS OF ORGANIC COMPOST PER 1000 S.F. TILLED TO A DEPTH OF 6"-10". ALL AREAS TO BE SEEDED SHALL RECEIVE 3 CUBIC YARDS OF ORGANIC COMPOST PER 1000 S.F. TILLED TO A DEPTH OF 6"-8". ALL AREAS SHALL THEN BE GRADED TO A UNIFORMLY SMOOTH GRADE.
 - SOD SHALL BE THERMAL BLUE DROUGHT TOLERANT BLUEGRASS BLEND.
 - DRYLAND SEED SHALL BE A LOW-GROWING DROUGHT TOLERANT MIX, ARKANSAS VALLEY'S LOW-GROW, OR EQUIVALENT (SEE SPECIFICATIONS). MOIST AREA SEED SHALL BE A MOISTURE TOLERANT MIX (SEE SPECIFICATION). SEED SHALL BE BROADCAST AND RAKED LIGHTLY INTO PREPARED SOIL. THE SEED AREA SHALL THEN BE TOP DRESSED WITH A THIN LAYER OF COMPOST.
 - ALL TREES AND SHRUBS SHALL BE PLANTED PER THE PLANTING DETAIL.
 - ALL PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
 - LANDSCAPE PLANTING BEDS AS SHOWN ON THE PLAN SHALL RECEIVE EITHER A 2" LAYER OF NATURAL COLOR SHREDED CEDAR WOOD MULCH WITH NO FABRIC UNDERLAY, OR A 3" LAYER OF 3" MOUNTAIN GRANITE OVER LANDSCAPE FABRIC. SEE PLAN FOR LOCATIONS. ALL TREES PLANTED IN SEEDED OR SOODED AREAS SHALL RECEIVE A 2" LAYER OF NATURAL COLOR SHREDED CEDAR WOOD MULCH OVER THE ROOTBALL ZONE WITH NO FABRIC UNDERLAY.
 - EDGING SHALL BE INSTALLED BETWEEN ALL SHRUB BEDS AND SOD OR SEED AREAS. EDGING SHALL BE JENSEN'S SALES' 14 GAUGE GREEN PAINTED EDGING, ROLL TOP, 4"X10", OR EQUIVALENT.
 - ALL PERENNIAL AND GROUND COVER AREAS SHALL BE PREPARED BY TILLING 2-3" OF ORGANIC COMPOST AND SUPER PHOSPHATE TO A DEPTH OF 8-10". THE SURFACE SHALL THEN BE GRADED TO A UNIFORMLY SMOOTH GRADE.
 - ALL SURFACE LANDSCAPING DAMAGED AS A RESULT OF MAINTENANCE ACTIVITIES WITHIN A PUBLIC UTILITY EASEMENT SHALL BE THE OBLIGATION OF THE PROPERTY OWNER TO RESTORE AT THEIR EXPENSE.
 - AT-GRADE UTILITY CABINETS OR TRANSFORMERS SHALL BE SCREENED WITH APPROPRIATE PLANT MATERIAL ON THREE SIDES. WHERE FEASIBLE, PLANT MATERIAL ALREADY SHOWN SHALL BE SLIGHTLY RELOCATED TO ACCOMPLISH SCREENING. IF NECESSARY, SHRUB BEDS SHALL BE EXTENDED OR NEW BEDS CREATED TO INCLUDE TRANSFORMER LOCATIONS. PLANTS SHALL BE PLACED SO AS TO LEAVE A CLEARANCE OF 30" AT MATURITY OF THE PLANTS AROUND THREE SIDES OF THE TRANSFORMER(S) WITH THE FRONT SIDE OPEN FOR ACCESS.
 - NO DECIDUOUS TREE SHALL BE PLANTED WITHIN 5' OF A PUBLIC SIDEWALK, CURB, OR UTILITY. NO EVERGREEN TREE SHALL BE PLANTED WITHIN 10' OF A PUBLIC SIDEWALK OR UTILITY.
- IRRIGATION NOTES:**
- A COMPLETELY AUTOMATIC, DUAL PROGRAMMING, IRRIGATION SYSTEM COVERING ALL PLANTS AND SOD SHALL BE DESIGNED AND INSTALLED. SEEDED AREAS SHALL BE IRRIGATED AT OWNER'S DISCRETION.
 - LOW, MODERATE, AND HIGH WATER ZONES SHALL EACH BE ON SEPARATE VALVES.
 - SOD SHALL BE IRRIGATED WITH MP ROTATORS AND/OR SPRAY HEADS.
 - PLANTS IN SHRUB BEDS SHALL BE DRIP IRRIGATED.
 - GROUND COVER AND PERENNIALS SHALL BE IRRIGATED WITH LOW PRESSURE POP-UP HEADS.



LANDSCAPE KEY

- NEW 2.5" CAL. DECIDUOUS SHADE TREE
- NEW 2" CAL. DECIDUOUS ORNAMENTAL TREE
- NEW 8'-10" HT. DECIDUOUS ORNAMENTAL CLUMP TREE
- NEW 6'-8" HT. CONIFEROUS TREE (25% 8')
- NEW #5 DECIDUOUS SHRUB
- NEW #5 EVERGREEN SHRUB
- NEW #1 PERENNIALS

SOD
 DRYLAND SEED
 MOIST SEED
 WOOD MULCH
 3/4" MOUNTAIN GRANITE

ALL PLANTS AND TURF SHALL BE COVERED BY AN ALL AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

DESCRIPTION	REQUIRED	PROVIDED	NOTE
PERMETER ADJACENT TO ARTHUR AVE. (25% 8') 1 tree per 20 L.L. Including 1 tree max. per 40 L.L.	19	19	
PERMETER ADJACENT TO NORTH SIDE ABUTTING PROPERTY (24 L.L. PUBLIC ZONE) 1 tree per 30 L.L. in public zone	3	3	
PERMETER ADJACENT TO EAST SIDE ABUTTING PROPERTY (24 L.L. PUBLIC ZONE) 1 tree per 30 L.L. in public zone	5	5	
INTERIOR PARKING LOT (24 spaces) 1 tree per 16 spaces	2	2	
PERMETER ADJACENT TO BUILDING (24 L.L. PUBLIC ZONE) 1 tree per 30 L.L. in public zone In case of building perimeter in public zone	5	5	
TOTAL TREES	34	34	

- LANDSCAPING PLAN FOLLOWING THE REGULATIONS AND REQUIREMENTS OF CHAPTER 9 OF THE UDCS:**
- DROUGHT TOLERANT SEED MIX (TEMPORARILY IRRIG.) (or Arkansas Valley's Low Grow Mix)**
- SHARPS BUFFALOGRASS(BUCHLOE DACTYLOIDES) 6.5 LBS PLS/ACRE
 - BUTTES SEDGEO'S GRAMA (BOULTELLOU CURTISII) 3 LBS PLS/ACRE
 - BUTTES HACHITA BLUE GRAMA (CHONDROSUM GRACILE) 8 LBS PLS/ACRE
 - BARTON WESTERN WHEATGRASS (PASCOPYRUM SMITHI) 4 LBS PLS/ACRE
 - NATIVE SAND DROPSOED (SCOPYRIBOLUS CRYPTANDRUS) 2LBS PLS/ACRE
 - PURPLE PRAIRIECOVER (DALEA PURPUREA) 3-6 OZ PLS/ACRE
 - BLANKET FLOWER (GALBARIA ARISTATA) 4-8 OZ PLS/ACRE
 - BLUE FLAX (LINUM LEWIS) 2-4 OZ PLS/ACRE
 - SCARLET GLOBEWALL (TOWNSONIA GRANDIFLORA) 1 OZ PLS/ACRE
- MOIST AREA SEED MIX (TEMPORARILY IRRIGATED)**
- WOOLY SEDGE (CAREX LANGUOSA) 0.1 LBS PLS/ACRE
 - NEBRASKA SEDGE (CAREX NEBRASCENSIS) 0.1 LBS PLS/ACRE
 - BALTIC RUSH (LAIUS BALTICUS) 0.1 LBS PLS/ACRE
 - PRairie COCKGRASS (SPARTINA PECTINATA) 0.5 LBS PLS/ACRE
 - SWITCHGRASS (PANICUM VIRGATUM) 6 LBS PLS/ACRE
 - WESTERN WHEATGRASS (PASCOPYRUM SMITHI) 8 LBS PLS/ACRE
 - ASTER (ASTER LAEVIS) 2LBS PLS/ACRE
 - NUTTALL SUNFLOWER (HELIANTHUS NUTTALLI) 1 LBS PLS/ACRE
 - WILD BERGAMOT (MONARDA FISTULOSA) 3 LBS PLS/ACRE
- ALL SEEDED AREAS SHALL REMAIN WEED AND TRASH FREE. AFTER ESTABLISHMENT, WATERING AND MOWING SHALL BE ON AN AS-NEEDED BASIS TO COMPLY WITH CITY OF LOUISVILLE ORDINANCE(S).

PLANT LIST

Notes: plant quantities provided as a quantity only. If discrepancy between plan and plant count exists, plant takes precedence.

KEY	OFFICIAL NAME	COMMON NAME	NOTE	Height	Spread	Height
1	High water	30-50 gallons per 1.0 per acre				
2	Moderate water	10 gallons per 1.0 per acre				
3	Low water	0-2 gallons per 1.0 per acre				

KEY	OFFICIAL NAME	COMMON NAME	NOTE	Height	Spread	Height
1	SHRUB TREES:					
1.01	CESTRUM OLEANDRIFOLIUM	WAXY TREE	3" DB, 10' H, 10' SP	10'	10'	10'
1.02	ABUTILON THEOPHASTI	WINEY TREE	2" DB, 10' H, 10' SP	10'	10'	10'
1.03	STYLIA ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
2	ORNAMENTAL TREES:					
2.01	CAREX OXYSTACHYOIDES	TOOTH GRASS	2" DB, 10' H, 10' SP	10'	10'	10'
2.02	HELIANTHUS ANNUUS	SUNFLOWER	2" DB, 10' H, 10' SP	10'	10'	10'
2.03	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
3	EVERGREEN TREES:					
3.01	PRUNUS PENSILVANICA	CHERRY	2" DB, 10' H, 10' SP	10'	10'	10'
3.02	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
3.03	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4	PERENNIALS:					
4.01	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.02	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.03	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.04	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.05	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.06	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.07	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.08	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.09	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.10	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.11	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.12	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.13	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.14	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.15	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.16	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.17	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.18	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.19	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.20	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.21	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.22	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.23	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.24	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.25	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.26	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.27	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.28	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.29	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.30	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.31	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.32	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.33	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.34	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.35	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.36	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.37	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.38	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.39	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.40	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.41	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.42	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.43	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.44	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.45	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.46	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.47	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.48	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
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4.51	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.52	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.53	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.54	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.55	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.56	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.57	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.58	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.59	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.60	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
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4.62	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
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4.64	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
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4.66	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
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4.68	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.69	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.70	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.71	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.72	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.73	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.74	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.75	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.76	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.77	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.78	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.79	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.80	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.81	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.82	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.83	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.84	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.85	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.86	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.87	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
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4.89	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.90	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
4.91	PERNIX ALBIFLORA	AMERICAN LINDEN	2" DB, 10' H, 10' SP	10'	10'	10'
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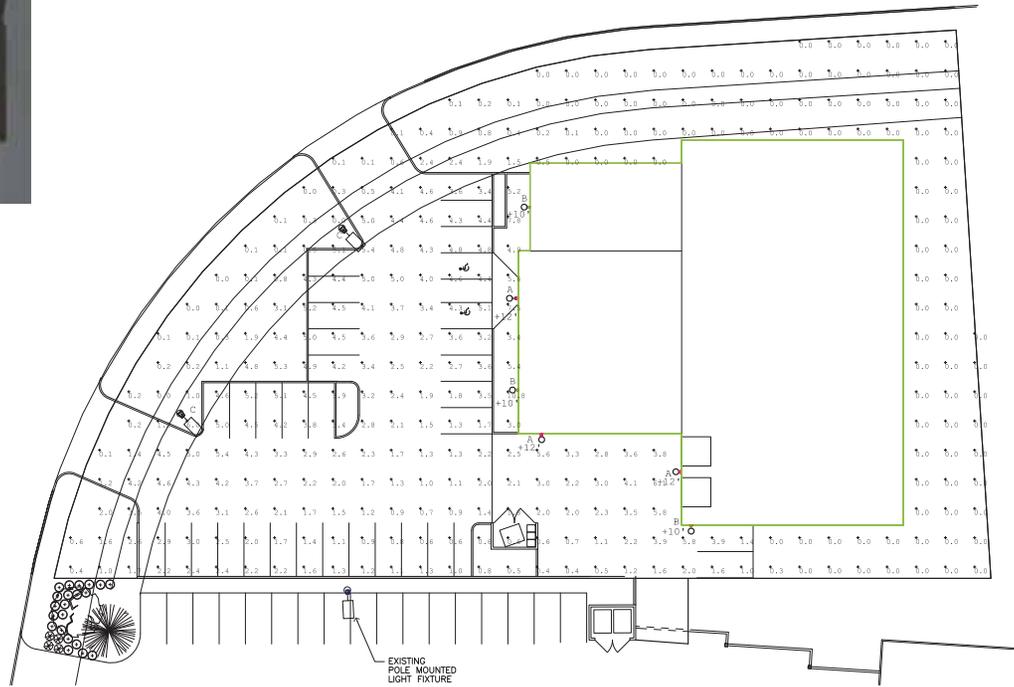
FIXTURE A



FIXTURE B



FIXTURE C



SITE PHOTOMETRIC PLAN
SCALE 1" = 20'-0"

NOTICE: DUTY OF COOPERATION
 Those of these area contractors further cooperation among the owner, his architect and his architect, design and construction are required. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Construction is specific, and every contingency cannot be anticipated. Any change or discrepancy discovered by the use of these plans and its related understanding and its own construction code. A failure to cooperate by a single entity to the architect and/or others is the architect's responsibility for all consequences. Except that this plan without consent of the architect or contractor, and shall release the architect of responsibility for all consequences arising out of such changes.

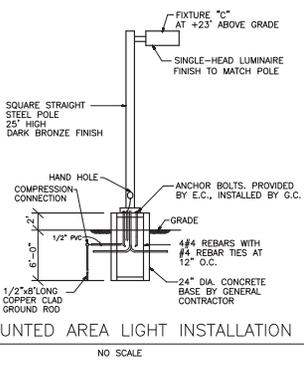
A NEW BUILDING FOR:
Innovative Openings, Inc
 Lot 1, Block 2, CTC (674 S. Arthur Ave), Louisville, CO



6400 Madson Lane |
 Longmont, CO 80501
 Phone: 303.604.2900
 rosenthal@rosenthalassociates.net

JOB NO: 0216
 DRAWN: br
 CHECKED:
 DATE: 08-04-16
 REVISED: 10-13-16

SHEET NO.
E1



POLE MOUNTED AREA LIGHT INSTALLATION DETAIL

NO SCALE

LIGHTING FIXTURE SCHEDULE						
ITEM	MANUFACTURER	TYPE	CAT. NO.	LAMPS	LUMENS	DESCRIPTION
A	MCGRAW-EDISON	IST	1ST-E02-LED-E1-BL4-BZ	LED	2,613	OUT-OFF TYPE TRAPEZOIDAL WALL LIGHT INSTALLED 12" ABOVE GROUND
B	LUMARK	XTOR	XTOR3A	LED	2,804	SURFACE WALL MOUNTED FIXTURE ABOVE ENTRANCE/EXIT DOORS
C	MCGRAW-EDISON	GALLEON	GLEON-AE-06-LED-E1-SL4-BZ-EA-HSS	LED	19,669	LOW PROFILE BOLLARD LIGHT

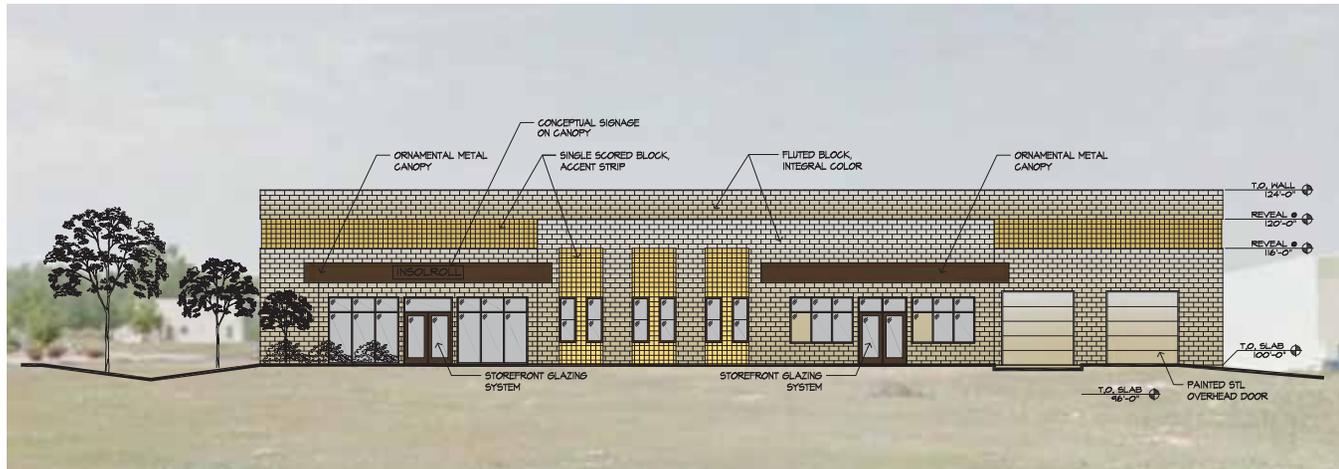
KVA - JOHN TINSLEY, P.E.
 10495 S. PROGRESS WAY, SUITE 202, PARKER, CO 80134
 303 646-4770

Innovative Openings

674 S. Arthur Ave. Louisville, CO



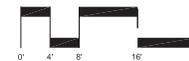
6400 Modena Lane |
Longmont, CO 80503
Phone: 303.604.2900
rosenthal@rosenthalassociates.net



SOUTH ELEVATION (ARTHUR AVE)
SCALE 1/8" = 1'-0"



WEST ELEVATION (FRONT)



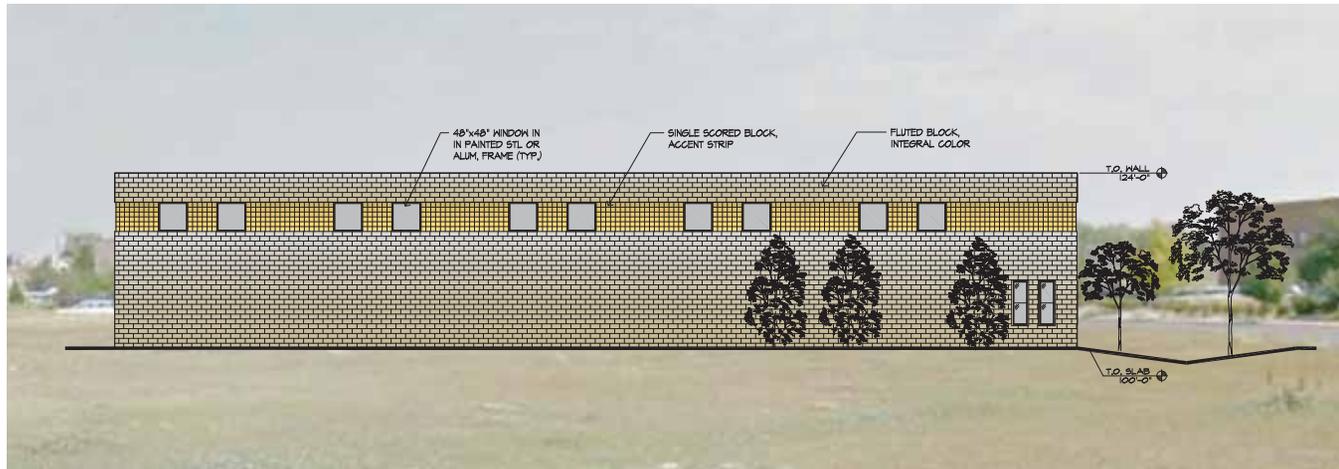
Colorado Tech Center
Louisville, CO
Elevations
11-01-16

Innovative Openings

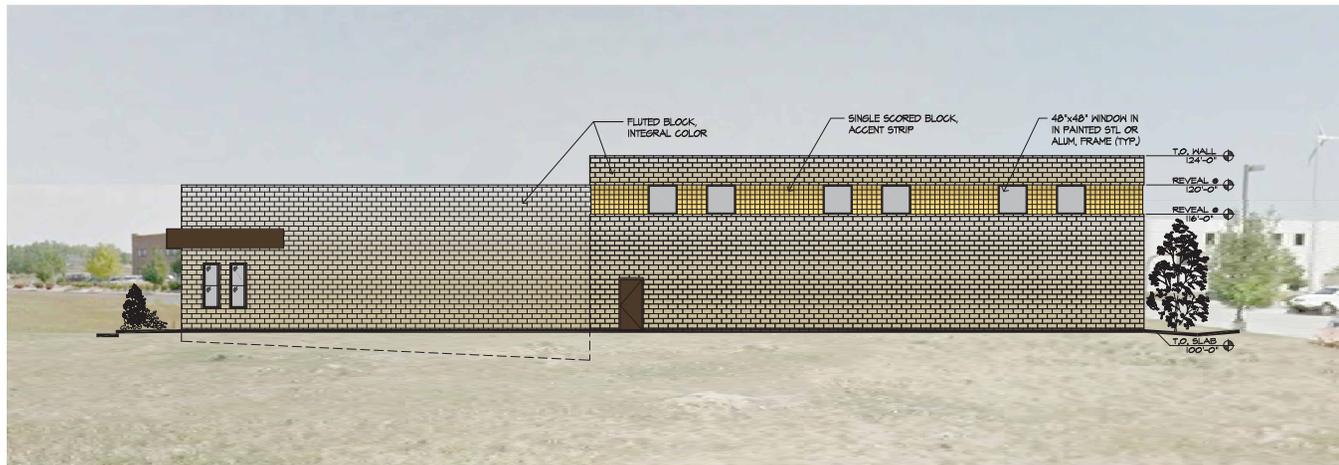
674 S. Arthur Ave. Louisville, CO



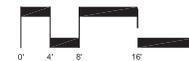
6400 Modena Lane |
Longmont, CO 80503
Phone: 303.604.2900
rosenthal@rosenthalassociates.net



NORTH ELEVATION (SIDE)
SCALE 1/8" = 1'-0"



EAST ELEVATION (REAR)
SCALE 1/8" = 1'-0"



Colorado Tech Center
Louisville, CO
Elevations
11-01-16

LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: Rosenthal Associates, LLC
 Contact: Robert Rosenthal
 Address: 6400 Modena Ln
Longmont, CO 80503
 Mailing Address: same
 Telephone: 303-604-2900
 Fax: _____
 Email: rosenthal@rosenthalassociates.net

OWNER INFORMATION

Firm: PF Investments, LLC
 Contact: Rick Pease / Dave Friedlander
 Address: 667 S. Pierce Ave.
Louisville, CO 80027
 Mailing Address: same
 Telephone: 303-665-1305
 Fax: _____
 Email: _____

REPRESENTATIVE INFORMATION

Firm: Same as Applicant
 Contact: _____
 Address: _____
 Mailing Address: _____
 Telephone: _____
 Fax: _____
 Email: _____

PROPERTY INFORMATION

Common Address: 674 S. Arthur Ave
 Legal Description: Lot 1 Blk 2
 Subdivision CTC
 Area: 47,679 Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: A 15,101 s.f. new office, manufacturing and warehouse facility for Innovative Openings and Insolroll, existing and adjacent companies located in the CTC. Innovative Openings sells energy-efficient blinds, shades, shutters, drapes & other window treatments in Denver, Boulder & surrounding areas. Insolroll is a quality manufacturer of solar screen and blackout window shades

Current zoning: Ind. Proposed zoning: Ind.

SIGNATURES & DATE

Applicant: _____
 Print: Robert Rosenthal
 Owner: _____
 Print: Rick Pease
 Representative: _____
 Print: _____

CITY STAFF USE ONLY

- Fee paid: _____
- Check number: _____
- Date Received: _____

August 03, 2016

City of Louisville - Planning Department
749 Main Street
Louisville, CO 80027



Re: Letter of Request
New Building for Innovative Openings
674 S. Arthur, Louisville, CO

Dear Planning Department:

David Friedlander and Rick Pease started Innovative Openings, a distributor and retailer of window covering products, in Boulder County in 1980. Since then, the company has grown to include retail outlets in Denver, Boulder, and Ft. Collins. They also have a manufacturing company, Insolroll, which fabricates screens and shades, and distributes them throughout the United States.

Their headquarters and manufacturing facility has been at 637 S. Pierce in the Colorado Technological Center since 1996. In 2011 they expanded their campus to include 667 S. Pierce. They foresee outgrowing the existing facility, and are exploring different options to accommodate future growth. This P.U. D. application proposes to increase the size of their present facility by developing the adjacent property to the west.

The functional programming requirements are to 1) provide additional office, high bay manufacturing and warehouse space to satisfy anticipated requirements, 2) provide grade and dock high level access for inbound and outbound van and truck deliveries, and 3) provide circulation for forklifts and delivery vans between the new warehouse and the existing campus.

The aesthetic program includes the use of materials, massing, and fenestration details that are compatible with the existing buildings, yet articulated to avoid a large, monolithic box-like shape. Exterior walls will be fluted concrete block with scored block accents, similar to the warehouse bldg. at 667 S. Pierce. Planting materials have been chosen to be harmonious with the existing campus landscaping.

The plan is consistent with the zoning requirements and design guidelines with the following exceptions:

1. *The overhead doors are facing the street (IDDSG 1.6.a).* The unique shape of the lot creates street frontage on two sides and reduces options to have a rear setback wide enough for truck maneuverability. We have created a deep recess for the loading area, and heavily landscaped the street frontage on the south side of the lot to soften the view of the overhead doors.
2. *The lot is less than two acres but has two driveways (IDDSG 2.1.1.d).* The unique shape of the lot does not allow for a truck to make a 3-point turn and exit the lot with only one driveway. Two driveways allow trucks easy exiting from the loading area, and allow a fire truck to exit the lot without having to back-up. The driveways have been aligned to be directly across from the driveways on the opposite side of the street.

Sincerely,

A handwritten signature in blue ink, appearing to read "RR", is written over a light blue grid background.

Robert Rosenthal, AIA

ITEM: Case #15-037-FS/FP/ZN, North End Market

PLANNER: Kristin Dean, Principal Planner

APPLICANT: North End Market LLC
5723 Arapahoe Ave #2B
Boulder, CO, 80303

OWNER: Ridgeline Development Corporation
5723 Arapahoe Ave #2B
Boulder, CO, 80303

REPRESENTATIVE: Chad Kipfer

EXISTING ZONING: Planned Community Zoned District – Commercial (PCZD-C)

LOCATION: The subject parcel is located at the northwest corner of South Boulder Road and Blue Star Lane

LEGAL DESCRIPTION: Block 11, North End Phase II

TOTAL SITE AREA: 4.55 acres

REQUEST: Resolution No 29, Series 2016: A request for a final plat, final planned unit development (PUD), and general development plan (GDP) amendment to construct a multi-use development consisting of 38 dwelling units and 40,000 square feet of commercial space at Block 11, North End Phase II.



SUMMARY:

The applicant, North End Market LLC, has submitted a request for a general development plan (GDP) amendment, final plat, and final planned unit development (PUD) to develop a 4.55 acre parcel in the North End subdivision. If approved, this development would allow up to 38 residential units and 40,000 square feet of retail and office space on the parcel.

Planning Commission originally considered this request on March 10, 2016. At that time, the request included 65 residential units and 40,000 square feet of retail and office space. Planning Commission recommended approval of the request, but before the application was heard by City Council, the City adopted the South Boulder Road Small Area Plan, which included a policy that no additional residential units should be permitted in the South Boulder Road area above what was currently allowed. The applicant decided to revise the proposal to include only the 38 units allowed under the adopted General Development Plan.

PROPOSAL:

GDP Amendment

The City approved the original North End General Development Plan on December 19, 2006 by Ordinance No. 1505, Series 2006, allowing 350 residential units and 65,650 SF of commercial space. The commercial use was all in Planning Area 1, roughly equivalent in size and location to the parcel in question. A first amendment to the General Development Plan was approved in May, 2010, reallocating some of the residential units, including putting 12 units in Planning Area 1. A second amendment was approved in July, 2011, redefining the boundaries of Planning Area 1 and allowing 21 residential units, along with the original 65,650 SF of commercial space.

Original GDP



Current/Proposed GDP



Planning Area 1

The applicant is requesting a third amendment to the GDP to reallocate residential units. Of the 350 residential units allowed by the existing GDP, 312 have been allocated to Planning Areas 2 through 5 and are either built, under construction, or have an approved PUD. There are 21 units designated for Planning Area 1, leaving 17 units unallocated to a Planning Area. The proposal is to allocate the 17 remaining units to Planning Area 1 increasing the total allowed to 38 units. The request does not increase the amount of residential development allowed in the North End subdivision, but instead clarifies the allowed locations for the residential units.

The proposal also decreases the amount of commercial space to 40,000 SF. The size, shape, and location of the Planning Area would not change under this request.

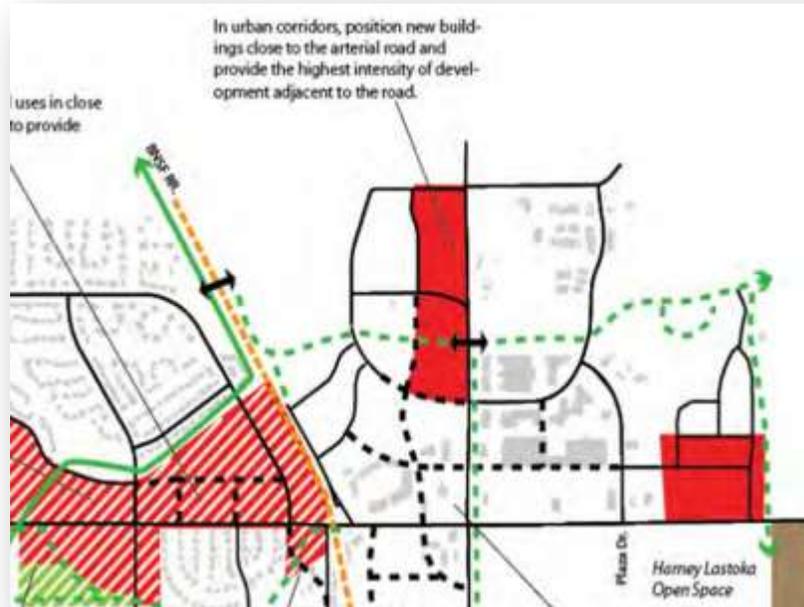
Adopted Plans

All GDP amendment requests are evaluated for their consistency with the Louisville Comprehensive Plan and applicable small area plans, in this case the South Boulder Road Small Area Plan.

The South Boulder Road Small Area Plan Urban Design Plan designates the subject parcel "Retail/Office/Residential." Page 21 of the Small Area Plan states "properties with previously approved residential special review uses would be allowed to redevelop at the same density." As stated above, the applicant is not requesting any additional residential units. Staff believes the proposal complies with the South Boulder Road Small Area Plan.



The 2013 Comprehensive Plan identifies this area as an "Urban Corridor" and states "This urban corridor focuses on commercial opportunities including office and neighborhood retail along with higher density housing in close proximity to the roadway." The comprehensive plan also states urban corridors must demonstrate a positive fiscal return and establishes a residential density allowance up to 25 units per acre.



This application is requesting a mix of commercial uses and neighborhood retail, with medium density residential. The proposed density is approximately 17 units per acre when calculating density for the residential portion of the property and about 8 units per acre when calculating for the whole parcel.

In the Neighborhood Housing chapter of the Comprehensive Plan, Principle NH-5 states *“There shall be a mix of housing types and prices to meet changing economic, social, and multi-generational needs of those who reside, and would like to reside, in Louisville.”* Policy NH-5 states *“housing should meet the needs of seniors, empty nesters, disabled, renters, first time home buyers and all others by ensuring a variety of housing types, price, and styles are created and maintained.”* This application is providing a range of housing types including single-family detached, townhomes, and apartment/condominiums, thereby providing a variety of housing types for varying family situations.

Staff modelled the fiscal impacts based on information provided by the applicant and standard information incorporated into the model. The following table summarizes the results:

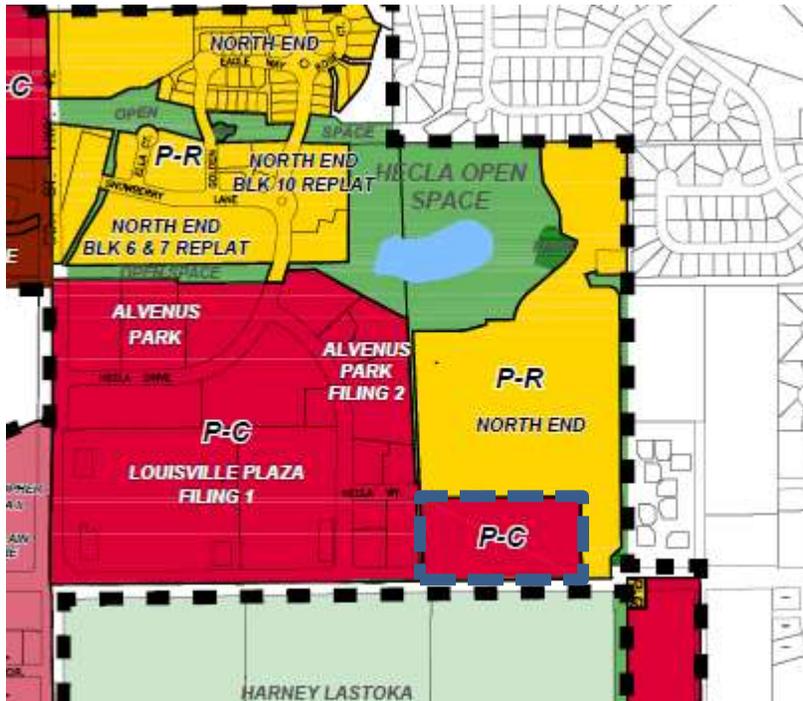
Cumulative Combined Funds Results (x\$1,000) - Scenario Comparisons (x\$1,000)

	SCENARIO	
	Proposed Gdp	%
Revenue by Fund		
General Fund	\$669	33%
Urban Revitalization District Fund	\$383	19%
Open Spaces & Parks Fund	\$179	9%
Lottery Fund	\$0	0%
Historic Preservation Fund	\$65	3%
Capital Projects Fund	\$741	36%
TOTAL REVENUE	\$2,036	100%
Expenditures by Fund		
General Fund	\$287	27%
Urban Revitalization District Fund	\$0	0%
Open Spaces & Parks Fund	\$12	1%
Lottery Fund	\$0	0%
Historic Preservation Fund	\$65	6%
Capital Projects Fund	\$710	66%
TOTAL EXPENDITURES	\$1,074	100%
NET FISCAL RESULT BY FUND		
General Fund	\$382	
Urban Revitalization District Fund	\$383	
Open Spaces & Parks Fund	\$167	
Lottery Fund	\$0	
Historic Preservation Fund	\$0	
Capital Projects Fund	\$30	
NET FISCAL IMPACT	\$963	

The model estimates a net positive fiscal impact of **+963,000** over a 20-year period, or **+\$48,150** per year. Staff believes the request complies with the framework of the 2013 Comprehensive Plan.

City of Louisville Zoning Map

The City of Louisville Zoning Map is reviewed to ensure GDP amendment requests are compatible with zoning and surrounding properties. The property is zoned Planned Community Zone District – Commercial (PCZD-C), which allows general retail and office uses as proposed, as well as “Other uses as established by the city council as found to be specifically compatible for commercial and office planning areas” (LMC §17.72.090(B)(19)). The residential previously approved for this property was approved under this section that allows “other uses.”



The current City of Louisville Zoning Map shows this property is adjacent to properties zoned PCZD-C (shown as P-C) to the west (Black Diamond Car Wash) and PCZD-R (P-R) to the north (North End). To the east is the North End detention pond, zoned PCZD-R, and an office development in the City of Lafayette. To the south, across South Boulder Road, is the Harney/Lastoka Open Space. Staff believes the proposed changes to the GDP would be compatible with the surrounding zoning.

Final Plat

The subject property was platted as one lot as part of the original North End plat. The applicant is requesting a replat to include necessary easements. The size, location, and number of lots is not changing. The easements are for utilities, and drainage.

Public Land Dedication

When the North End subdivision was originally platted, the developer dedicated 25.3 percent of the land as public land dedication (PLD). According to Chapter 16.12 of the Louisville Municipal Code (LMC), commercially zoned properties require a 12% PLD, while residentially zoned properties requires a 15% PLD. The applicant has already exceeded the PLD requirement, so no additional PLD is required with a change in allowed land uses.

Final PUD

Land Use

The applicant is requesting 38 residential units, 22,250 SF of retail/restaurant space, and 17,750 SF of office space in 14 buildings. The requested uses comply with the proposed amended GDP, which would control the allowed uses on the site.

The proposal includes pedestrian connections between the existing sidewalks on the perimeter of the development and the internal walks and buildings. A connection is also provided to the existing City trail on the west side of the development. The large drainage swale on the south side of the site, between the development and South Boulder Road, limits the possibility of connections to the sidewalk along South Boulder Road. However, two pedestrian connections are made to South Boulder Road on the east and west sides of the development.

Bulk and Dimension Standards

The applicant is not requesting any modifications to the yard and bulk standards previously approved in the GDP, as described below. The proposed development complies with the yard and bulk standards.

PUD DIMENSIONAL AND BULK STANDARDS

DIMENSIONAL / BULK STANDARD	GDP RESIDENTIAL STANDARD	PROVIDED	GDP COMMERCIAL STANDARD	PROVIDED
MINIMUM LOT AREA	1000	4.55 ACRES	5000	4.55 ACRES
MINIMUM LOT WIDTH	30'	670'-0"	—	
MAXIMUM LOT COVERAGE (% OF LOT AREA) TOTAL LOT	85% MAX.	18%	.25 FAR	.20
MINIMUM FRONT YARD SETBACK FOR PRINCIPLE USES: ALL CONDITIONS	6'-0"	6'-0"	0'	43'-0"
MINIMUM FRONT SETBACK TO PORCH/DECK UPPER	6'-0"	6'-0"	—	
MINIMUM SETBACK BETWEEN ALL BUILDINGS	10'-0"	45'-0"	10'-0"	45'-0"
MINIMUM SIDE YARD AND ACCESSORY USES SETBACK	5'-0"	10'-0"	0'	6'-0"
MINIMUM REAR YARD SETBACK	4'-0" TO ALLEY EASEMENT	10'-0"	0' OR 10' IF ABUTTING RESIDENTIAL ZONED USE	10'-0"
MAXIMUM BUILDING HEIGHT (PRINCIPLE BUILDING)	40'-0"		40'-0"	
MAXIMUM BUILDING HEIGHT (ACCESSORY BUILDING)	28'-0"		28'-0"	
STANDARD PARKING 9'X18'	1 BED: 1 SPACE 2 BED: 1.5 SPACES 3 BED: 2 SPACES	1 BED: 1 SPACE 2 BED: 1.5 SPACES 3 BED: N/A	OFFICE: 1/300 SQ.FT. RETAIL: 1/250 SQ.FT.	OFFICE: 1/198 SQ.FT. RETAIL: 1/234 SQ.FT.
COMPACT PARKING 7.5'X18' (10% ALLOWED)				
ROOF OVERHANG ENCROACHMENT WITHIN SETBACKS AND EASEMENTS	30"	6"	30"	18"

Height

The GDP allows a maximum building height of 40 feet for all buildings in the development. The residential buildings would be three stories and between 35 and 40 feet tall. The two-story office/retail buildings would be 30-33 feet tall, except building 3, which would have a small third story approximately 40 feet tall. The one-story restaurant/retail building would be 25 feet tall. The buildings heights would create a step-down effect from the 40 foot tall residential buildings on the north side of Hecla Way.

Architecture

The architectural design for the commercial component of this project is regulated by chapter 4 of the Commercial Development Design Standards and Guidelines (CDDSG). The City of Louisville does not have any residential design standards, so the residential design component of this project must comply with bulk and dimension standards established in the GDP.

Commercial

The three office/retail buildings would be two stories with a varied roof line consisting of flat and shed roofs, except building 3 which will have a small third story. The façade would be articulated with a variety of materials, including cementitious panels, lap siding, and stucco. There would also be a significant amount of glazing with multiple window patterns.



The restaurant/retail building would be one story with similar design elements. It would have more glazing, and include areas of metal siding. It would also have a patio area for outdoor seating.



Residential

The proposed residential structures come in three types and pull in design features of many of the other residential structures being built in North End. There would be two three-story, 12-unit buildings similar to the buildings on the north side of Hecla Way. They would have underground parking accessed from the internal drive aisle.



There would be two three-story fourplex townhome buildings fronting on Hecla Way. Parking would be provided in individual garages accessed from the internal drive aisle.



There would be six three-story single-family units with three facing Hecla Way and three facing into the development. Parking would be in individual garages accessed from an alley between the units.



For all residential buildings, the angled roof forms would echo the butterfly roofs on the residential structures under construction on the north side of Hecla Way. The materials would include cementitious panels, lap siding, stucco, and stone elements at the base and entrances. Balconies and varied window patterns also contribute to the visual interest of the buildings.

Parking

The GDP sets the following parking standards for the development:

Residential:

2 bedroom units – 1.5 spaces per unit

3 bedroom units – 2 space per unit

Commercial:

Office – 1 space per 300 square feet

Retail – 1 space per 250 square feet

Based on these standards, the development would be required to provide 64 residential parking spaces and 149 commercial parking spaces. The residential buildings would have parking in garages for each building totaling 86 spaces. The surface parking in the development would be for the commercial uses, and total 163 spaces. In addition, 46 on-street parking spaces would be available on Hecla Way and Blue Star Lane.

Landscaping

Chapter 5 of the CDDSG is the governing document for the proposed landscape plan. Staff reviewed the proposed landscaping plan for the development and believes it complies with the CDDSG. The landscaping will consist of areas of sod and low to moderate water use planting areas. Trees would be located through the interior of the

development and along the streets. A large drainage area is located along the south side of the development near South Boulder Road, with existing street trees between it and the road.

Urban Form

The overall design would provide a development compatible with its neighbors in architectural style, scale, and mass. The proposed development provides commercial visual interest along South Boulder Road, while the residential component provides an appropriate buffer for the existing adjacent housing in North End. The proposed design changes land uses mid-block, allowing residential to face residential.

Signs

The applicant is requesting three monument signs – one at each entrance to the development. Signage is regulated by Chapter 7 of the CDDSG, which allows one monument sign per entrance. The proposed signs would be 55 square feet, less than the 60 square feet allowed in the CDDSG. Wall signs are also proposed for individual tenants, which would also comply with the CDDSG.

Phasing

The development is designed so it could be developed in three phases, each consisting of commercial and residential buildings. Phase 1 would include buildings 3A, 3B, 6, and 7, totaling 24 residential units and 14,500 SF of commercial space. Phase 2 would include buildings 2A, 2B, and 5, totaling eight units and 15,500 SF. Phase 3 would include buildings 1A-1F and 4, with six units and 10,000 SF.

Traffic

The applicant has provided a traffic impact analysis. The analysis concludes the development would not have adverse impacts and the nearby intersections would continue to operate at acceptable levels of service for the foreseeable future.

Boulder Valley School District

The Boulder Valley School District was a referral on this project and provided a letter with the following statement based on the initial proposal *“The North End Market Final PUD application proposes to add 31 senior condominiums and 34 unrestricted condominium units with an anticipated student impact of 2 students on Louisville Elementary, 1 student on Louisville Middle, and 3 students on Monarch High School. When considering this and all other development activity in Louisville, and resident enrollment growth within the attendance areas of Louisville schools, Louisville Middle and Monarch High are able to accommodate projected growth. Louisville Elementary, however will likely reach its program capacity within 5 years should growth within the existing housing stock of central Louisville continue at the pace of recent years. Elementary capacity in Louisville as a whole, however, is ample to accommodate continued enrollment growth.”*

The letter continues to state *“recent enrollment growth at Louisville Elementary continues to be managed by restricting open enrollment thus reducing the proportion of enrollment from outside the school’s attendance area. As of the preliminary October 1 count,*

approximately 39 open enrolled students occupied the seats the school and continued restrictions will eventually make these seats available to new resident students.”

Because the revised proposal includes fewer residential units, impacts on the school system should be less than described above.

PUD Criteria

Section 17.28.120 of the Louisville Municipal Code lists 13 criteria for Planned Unit Developments (PUDs) that must be satisfied or found not applicable for the PUD to be approved. Staff finds that all applicable criteria are met. The proposal complies with the requirements of the GDP and the CDDSG. The proposed development complies with the spirit and intent of the 2013 Comprehensive Plan and South Boulder Road small area plan to provide a mixture of uses and housing types in a pedestrian friendly environment. It is compatible with the developments previously approved in North End and the other surrounding uses, including nearby residential neighborhoods. There is adequate pedestrian and vehicular access, as well as adequate open space within the site and nearby.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution 29, Series 2016, a resolution recommending approval of the requested GDP amendment, final Plat, and final PUD to allow for the development of The North End Market. The proposal would allow for the development of approximately 40,000 SF of retail/office and 38 residential units on a 4.55 acre site, with no conditions.

ATTACHMENTS:

1. Resolution No. 29, Series 2016
2. Application documents
3. North End GDP, 3rd Amendment
4. Final Plat
5. Final PUD
6. Traffic impact analysis

**RESOLUTION NO. 29
SERIES 2016**

A RESOLUTION RECOMMENDING APPROVAL OF A GENERAL DEVELOPMENT PLAN (GDP) AMENDMENT, FINAL PLAT AND FINAL PLANNED UNIT DEVELOPMENT (PUD) TO CONSTRUCT A MULTI-USE DEVELOPMENT CONSISTING OF 38 DWELLING UNITS AND 40,000 SQUARE FEET OF COMMERCIAL SPACE AT BLOCK 11, NORTH END PHASE II.

WHEREAS, there has been submitted to the Louisville Planning Commission an application for approval of a General Development Plan (GDP) amendment, final Plat and final Planned Unit Development (PUD) to construct a multi-use development consisting of 38 residential units and 40,000 square feet of commercial space at Block 11, North End Phase II; and

WHEREAS, the City Staff has reviewed the information submitted and found that, subject to conditions, the application complies with the Louisville zoning and subdivision regulations and other applicable sections of the Louisville Municipal Code; and;

WHEREAS, after a duly noticed public hearing on November 10, 2016, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated November 10, 2016, the Planning Commission finds the GDP amendment, plat, and PUD for North End Market should be approved with the no conditions.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a General Development Plan (GDP) amendment, final Plat and final Planned Unit Development (PUD) to construct a multi-use development consisting of 38 residential units and 40,000 square feet of commercial space at Block 11, North End Phase II, with no conditions.

PASSED AND ADOPTED this 10th day of November, 2016.

By: _____
Chris Pritchard, Chairman
Planning Commission

Attest: _____
Steve Brauneis, Secretary
Planning Commission

LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: North End Market LLC

Contact: Chad Kipfer

Address: 5723 Arapahoe Ave. #2B
Boulder, CO 80303

Mailing Address: same

Telephone: 303-449-8689

Fax: 303-444-2798

Email: chad@markelhomes.com

OWNER INFORMATION

Firm: Ridgeline Development Corporation

Contact: Chad Kipfer

Address: 5723 Arapahoe Ave. #2B
Boulder, CO 80303

Mailing Address: same

Telephone: 303-449-8689

Fax: 303-444-2798

Email: chad@markelhomes.com

REPRESENTATIVE INFORMATION

Firm: same

Contact: _____

Address: _____

Mailing Address: _____

Telephone: _____

Fax: _____

Email: _____

PROPERTY INFORMATION

Common Address: TBD

Legal Description: Lot _____ Blk 11
 Subdivision North End Phase 2

Area: 199,178 sqft Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: _____

Amended PUD for North End Block 11.
Mixed use development for 40,000 sqft of commercial and 65 dwelling units.
Updated GDP to reconcile North End revisions over time.

Current zoning: PCZD Proposed zoning: PCZD

SIGNATURES & DATE

Applicant: _____

Print: Chad Kipfer - Project Manager

Owner: _____

Print: Michael Markel - President

Representative: _____

Print: _____

CITY STAFF USE ONLY

Fee paid: 2475.00

Check number: 725

Date Received: 10/9





Markel Homes Construction Company
5723 Arapahoe Avenue, #2B
Boulder, CO 80303
303-449-8689 (office)
303-444-2798 (fax)

24 August 2016

Mr. Scott Robinson
Planner II
City of Louisville
749 Main Street
Louisville, CO 80027

Re: North End Phase 2 – Amended Block 11 PUD and GDP

Dear Scott,

The PUD application for Block 11 was adjusted to align with the Louisville Small Area Plan and Comprehensive Plan. The proposed number of residential units on Block 11 was reduced to the approved number of units at North End. Parking spaces on site were increased to better serve guest and commercial users.

The northern residential edge of Block 11 was designed for a diversity of architecture to create a friendly transition to the residential scale of the community and an interesting street scape on Hecla Way.

- 2 - 12plex buildings with 3 stories and below grade parking planned for the North East corner of Block 11. Each building has an elevator and provides for a large number of accessible units. The architecture of these buildings is similar to those constructed on Block 12.
- 2 – 4plex townhome style buildings with detached garages, enclosed courtyards, upper level decks and engaging architecture are planned for the middle of Block 11 along Hecla Way.
- 6 – Detached units are planned on the North West corner of Block 11. Architectural rhythm of form, texture and color anchor the western entry to North End.

The southern edge of Block 11 is unchanged from our previous design with four commercial buildings. The commercial buildings frame South Boulder Road for easy access, parking and visibility. A pedestrian streetscape and outdoor court is created where the commercial and residential uses meet. North End Market is designed to be a successful mixed use center that fits the scale of North End.

Block 11 Summary

10 residential buildings 38 DU

- Secure parking for all dwelling units within each building or unit.
 - o 12plex parking is located below the building.

- All other units have 2 parking spaces in their own garage.

4 commercial buildings 40,000 sqft

- Retail on the first floor – Buildings 4-7
- Office on the second floor – Building 4-6
- Ample parking within a pedestrian scaled area

Phasing

Block 11 will be constructed in phases with commercial and residential buildings built in each phase. Phase 1 includes an age restricted residential building and 2 commercial buildings.

PUD Standards

Block 11 is designed within the standard North End PUD bulk standards for height, setbacks and parking.

GDP Planning Area Correction

The North End development has been redesigned and improved over the years. Block 6, 7, 9 and 10 have amended PUD plans. It has come to our attention that the North End GDP planning areas were not accurately updated to reflect the unit changes approved with these PUD amendments. The correct GDP unit counts are listed below and reflect the currently approved PUD amendments over the entire subdivision.

GDP Planning Areas	GDP Planning Areas with PUD Amendment
PA 1 – 38 DU*	PA 1- 38 DU
PA 2 – 112 DU	PA 2 – 112 DU
PA 3 – 10 DU	PA 3 – 10 DU
PA 4 – 147 DU*	PA 4 – 147 DU
<u>PA 5 - 43 DU</u>	<u>PA 5 - 43 DU</u>
Total – 350 units	Total – 350 units

*These planning areas have corrected DU totals to align with amended PUD’s.

Ownership

Block 11 is owned by Ridgeline Development Corporation and will be plated in the name of North End Market LLC.

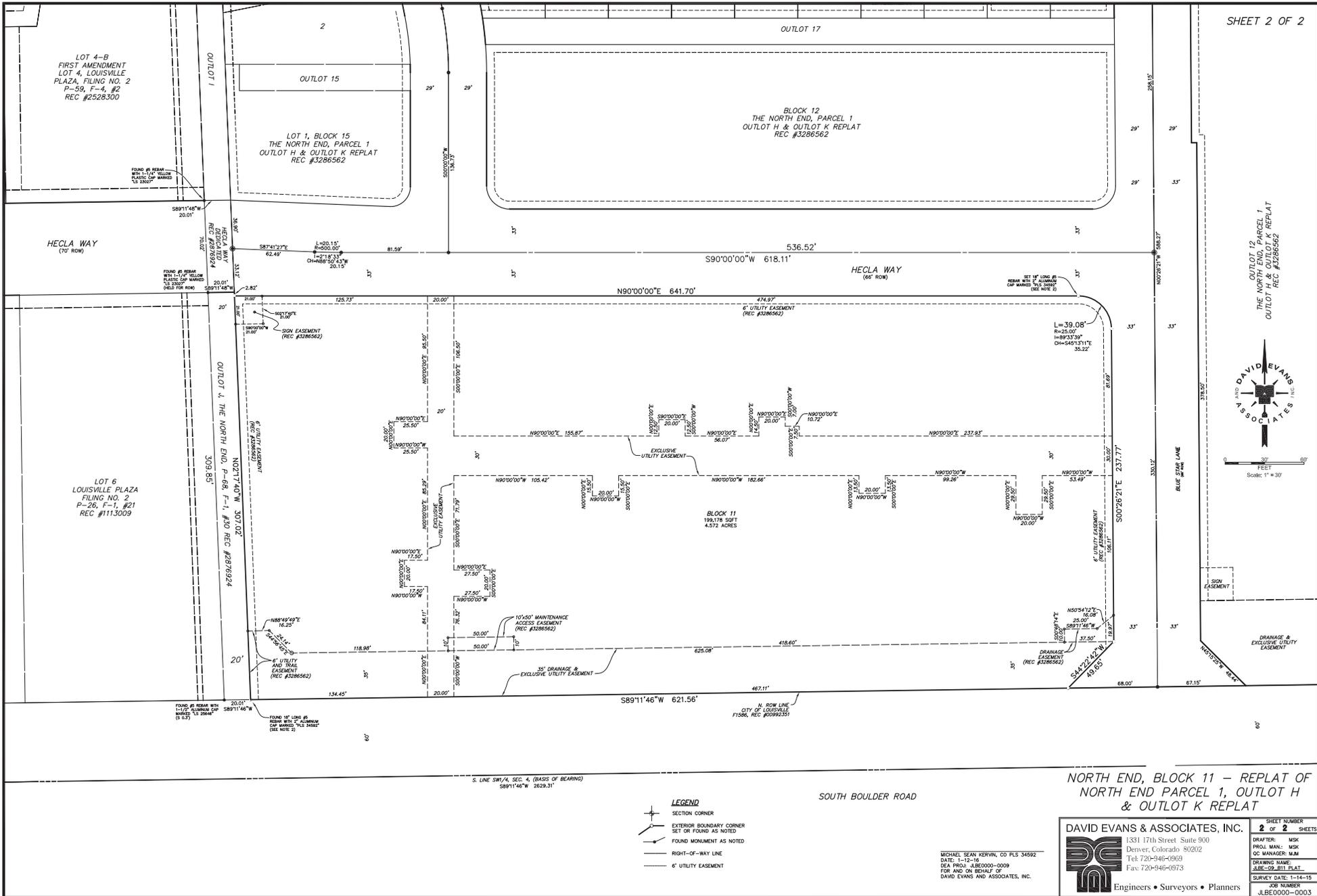
Mineral Notification CRS 24-65.5-103

No mineral notification is required. There are no mineral interest surface rights.

We look forward to presenting this project and gaining your approval. Feel free to contact me if you have any questions or need additional information.

Sincerely,

Chad Kipfer



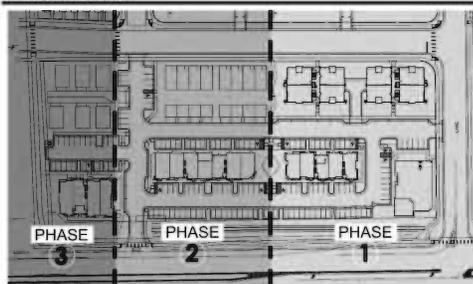
North End Market

1ST AMENDED BLOCK 11 PUD



South Boulder Road

PHASING PLAN



PHASE 3: BUILDINGS 1A-1F AND 4
RESIDENTIAL UNITS: 8 DU
COMMERCIAL SQ.FT.: 10,000 SQ.FT.

PHASE 2: BUILDINGS 2A, 2B AND 3
RESIDENTIAL UNITS: 8 DU
COMMERCIAL SQ.FT.: 15,500 SQ.FT.

PHASE 1: BUILDINGS 3A, 3B, 6, AND 7
RESIDENTIAL UNITS: 24 DU
COMMERCIAL SQ.FT.: 14,500 SQ.FT.

C.R.S. 9-5-103 ACCESSIBILITY: IMPLEMENTATION PLAN

38 TOTAL DWELLING UNITS
- 38 TYPE A UNITS
- 1 TYPE A UNIT (BUILT IN BUILDING 3A)

PROJECT REQUIRES 12 ACCESSIBILITY POINTS
38 TYPE A * 4 = 152 POINTS
1 TYPE A * 6 = 6 POINTS

NO ACCESSIBLE UNITS REQUIRED IN BUILDINGS 1A-1F AND 2A-2B
152 POINTS PROVIDED

RESIDENTIAL DENSITY

20 DWELLING UNITS PER ACRE

NOTE

ARCHITECTURAL DESIGN AND MINOR SITE CHANGES MAY BE ADJUSTED ADMINISTRATIVELY BY CITY STAFF FOR CONFORMANCE OF PUD BULK STANDARDS AND CONCEPTUAL PUD DESIGN. ARCHITECTURAL DESIGNS SHOWN ARE CONCEPTUAL IN INTENT AND ARE MEANT TO REFLECT THE HEIGHT, SCALE, MASS AND DIRECTION FOR THE PROJECT. CONSTRUCTION DOCUMENTS WILL BE SUBMITTED WITH EACH INDIVIDUAL BUILDING PERMIT AND MAY DIFFER FROM PUD ELEVATIONS, BUT WILL CAPTURE THE SPIRIT OF THE CONCEPTUAL DESIGN AND FOLLOW THE APPROVED BULK STANDARDS.

PARKING CALCULATIONS

BUILDING 1A-1F	RATIO	REQUIRED	PROVIDED (GARAGE)	ADDITIONAL
8 UNITS (3-BED UNITS)	2.00 SPACES / UNIT	12.0 SPACES	12	0.0
TOTAL 8		12.0 SPACES	12	0.0
BUILDING 2A-2B	RATIO	REQUIRED	PROVIDED (GARAGE)	ADDITIONAL
8 UNITS (3-BED UNITS)	2.00 SPACES / UNIT	16 SPACES	16	0
TOTAL 8		16 SPACES	16	0
BUILDING 3A-3B	RATIO	REQUIRED (UNDER BUILDING)	ADDITIONAL	
24 UNITS (2-BED UNITS)	1.50 SPACES / UNIT	36 SPACES	36	0
TOTAL 24		36 SPACES	36	0
RESIDENTIAL TOTAL	REQUIRED	PROVIDED	ADDITIONAL	
38 DWELLING UNITS	84.0 SPACES	64	18.0	

BUILDING 4	RATIO	REQUIRED	PROVIDED OFF-STREET	ADDITIONAL
8000 RETAIL (SF)	1.38 SPACES / 386 S.F.	20 SPACES	20	0
8000 OFFICE (SF)	1.38 SPACES / 386 S.F.	17 SPACES	17	0
TOTAL 16,000 SQ.FT.		37 SPACES	37	0
BUILDING 5	RATIO	REQUIRED	PROVIDED OFF-STREET	ADDITIONAL
7750 RETAIL (SF)	1.00 SPACES / 386 S.F.	31 SPACES	31	0
7750 OFFICE (SF)	1.00 SPACES / 386 S.F.	35 SPACES	35	0
TOTAL 15,500 SQ.FT.		67 SPACES	66	10
BUILDING 6	RATIO	REQUIRED	PROVIDED OFF-STREET	ADDITIONAL
8000 RETAIL (SF)	1.38 SPACES / 386 S.F.	20 SPACES	20	0
8000 OFFICE (SF)	1.38 SPACES / 386 S.F.	17 SPACES	17	0
TOTAL 16,000 SQ.FT.		37 SPACES	37	0
BUILDING 7	RATIO	REQUIRED	PROVIDED OFF-STREET	ADDITIONAL
4000 RETAIL	1.00 SPACES / 386 S.F.	10 SPACES	10	0
TOTAL 4,000 SQ.FT.		10 SPACES	10	0

COMMERCIAL TOTAL	REQUIRED	PROVIDED OFF-STREET*	ADDITIONAL
40,000 SQ.FT.	149 SPACES	163 (1245 SQ.FT. AVERAGE RATIO)	14

* ADDITIONAL 14 SPACES PROVIDED OFF-STREET FOR A TOTAL OF 163 SPACES (1220 SQ.FT. AVERAGE RATIO)

PROJECT DESCRIPTION

THIS PROJECT IS A MIXED USE NEIGHBORHOOD MARKET CONSISTING OF RESIDENTIAL, RETAIL AND OFFICE UNITS. THE RESIDENTIAL BUILDINGS WILL BE MARKET RATE. THE PROJECT IS DESIGNED WITH A MAIN STREET AND NEW URBAN CHARACTER.

SHEET INDEX

SHEET	CONTENTS
1 of 12	COVER
2 of 12	SITE PLAN
3 of 12	LANDSCAPE PLAN
4 of 12	PARKING PLAN
5 of 12	EM ACCESS PLAN
6 of 12	BUILDING 1
7 of 12	BUILDING 2
8 of 12	BUILDING 3
9 of 12	BUILDING 4
10 of 12	BUILDING 5
11 of 12	BUILDING 6
12 of 12	BUILDING 7
13 of 12	OVERLIT SPACING PLAN
14 of 12	OVERLIT UTILITY PLAN
15 of 12	PRELIMINARY PLAN

VICINITY MAP



COVERAGE AREA

	SQUARE FEET	% OF LOT
BUILDING COVERAGE	54928	29
LANDSCAPE COVERAGE	42819	22
HARDSCAPE COVERAGE	94550	49
TOTAL LOT AREA	192297	100.00

COMMERCIAL COVERAGE

	SQUARE FEET	% OF LOT
BUILDING + PARKING/DRIVE	67924	59%

PROPERTY DESCRIPTION & SIGNATURE BLOCK

OWNERSHIP SIGNATURE BLOCK

By signing this PUD, the owner acknowledges and accepts all the requirements and intent set forth in this PUD. Witness my/our hand(s) seal(s) this ___ day of ___, 20__.

Owner Name and Signature
Notary Name (print) (Notary Seal)

Notary Signature
My Commission Expires

PLANNING COMMISSION CERTIFICATE

Approved this ___ day of ___, 20__ by the Planning Commission of the City of Louisville, Colorado.
Resolution No. ___, Series ___

CLERK AND RECORDER CERTIFICATE

(COUNTY OF BOULDER, STATE OF COLORADO)
I hereby certify that this instrument was filed in my office at ___ o'clock, ___ M., this ___ day of ___, 20__, and is recorded in Plan File ___, Fee ___ paid, ___ Film No. ___ Reception.

Clerk & Recorder
Deputy

CITY COUNCIL CERTIFICATE

Approved this ___ day of ___, 20__ by the City Council of the City of Louisville, Colorado.
Resolution No. ___, Series ___
(City Seal)

Mayor Signature
City Clerk Signature

PUD DIMENSIONAL AND BULK STANDARDS

DIMENSIONAL / BULK STANDARD	DEP RESIDENTIAL STANDARD	PROVIDED	DEP COMMERCIAL STANDARD	PROVIDED
MINIMUM LOT AREA	1000 SF	4.55 ACRES	3000 SF	4.55 ACRES
MINIMUM LOT WIDTH	30'-0"	30'-0"	30'-0"	30'-0"
MINIMUM LOT COVERAGE (% OF LOT AREA) TOTAL LOT	30% MIN.	25% MIN.	25% MIN.	20% MIN.
MINIMUM FRONT YARD SETBACK FOR PRINCIPLE USE ALL CORNER TURNS	6'-0"	6'-0"	0'	43'-0"
MINIMUM FRONT SETBACK TO PORCH/DECK UPPER	6'-0"	6'-0"	0'	6'-0"
MINIMUM SETBACK BETWEEN ALL BUILDINGS	10'-0"	45'-0"	10'-0"	45'-0"
MINIMUM SIDE YARD AND ACCESSORY USES SETBACK	5'-0"	10'-0"	0'	6'-0"
MINIMUM REAR YARD SETBACK	4'-0" TO ALLEY EASEMENT	10'-0"	0' MIN 10' IF ADJUTING RESIDENTIAL ZONING USE	10'-0"
MAXIMUM BUILDING HEIGHT (PRINCIPLE BUILDING)	40'-0"	40'-0"	40'-0"	40'-0"
MAXIMUM BUILDING HEIGHT (ACCESSORY BUILDING)	28'-0"	28'-0"	28'-0"	28'-0"
STANDARD PARKING STRIP	1 BAY 1 SPACE 2 BAY 1.5 SPACES 3 BAY 2 SPACES	1 BAY 1 SPACE 2 BAY 1.5 SPACES 3 BAY 2 SPACES	OFFICE: 1/100 SQ.FT. RETAIL: 1/100 SQ.FT.	OFFICE: 1/198 SQ.FT. RETAIL: 1/100 SQ.FT.
COMPACT PARKING 7.5'X11' (10% ALLOWED)				
ROOF OVERHANG ENCROACHMENT WITHIN SETBACK AND EASEMENTS	3'-0"	6"	3'-0"	18"
BUILDING HEIGHT	40'	40'	40'	40'

NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO
PREPARED BY:



1190 Canyon Ave., Suite 200 Fort Collins, CO 80521
Phone 970.224.8888 Fax 970.224.8887

PLANNER / LANDSCAPE ARCHITECT

Stephanie Van Dyke, PLA
1190 Canyon Ave., Suite 200
Fort Collins, CO 80521
P: 970.224.8888
F: 970.224.8887

OWNER

NORTH END MARKET, LLC
1020 Arapahoe Ave., #100
Boulder, CO 80502
P: 303.440.8888

ENGINEER

J.B. ENGINEERING CONSULTANTS
Jim Blankenship, PE
143 West Court
Louisville, CO 80027
P: 303.440.1634

NO. 01

REVISIONS

NO.	DESCRIPTION	DATE

COVER

SEAL:

PROJECT No.: 19-007
DRAWN BY: SV
REVIEWED BY: SV
DRAWING NUMBER:

1 OF 12

NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO

PREPARED BY:



land planning • landscape architecture •
urban design • entitlement •

PLANNER / LANDSCAPE ARCHITECT

RIPLY DESIGN INC.
Blairstown Van Dyke, FLA
418 Canyon Ave. Suite 200
Fort Collins, CO 80521
p. 970.224.3829
f. 970.225.6657

OWNER

NORTH END MARKET, LLC
Michael Market
1723 Arapahoe Ave. #2B
Boulder, CO 80503
p. 303.448.8689

ENGINEER

A.B. ENGINEERING CONSULTANTS
Jan Blumenthal, P.E.
143 Near Court
Louisville, CO 80027
p. 303.804.1604



ORIGINAL SET 2/13/20
ISSUED

No.	DESCRIPTION	DATE
01	PUD	8/2/2018

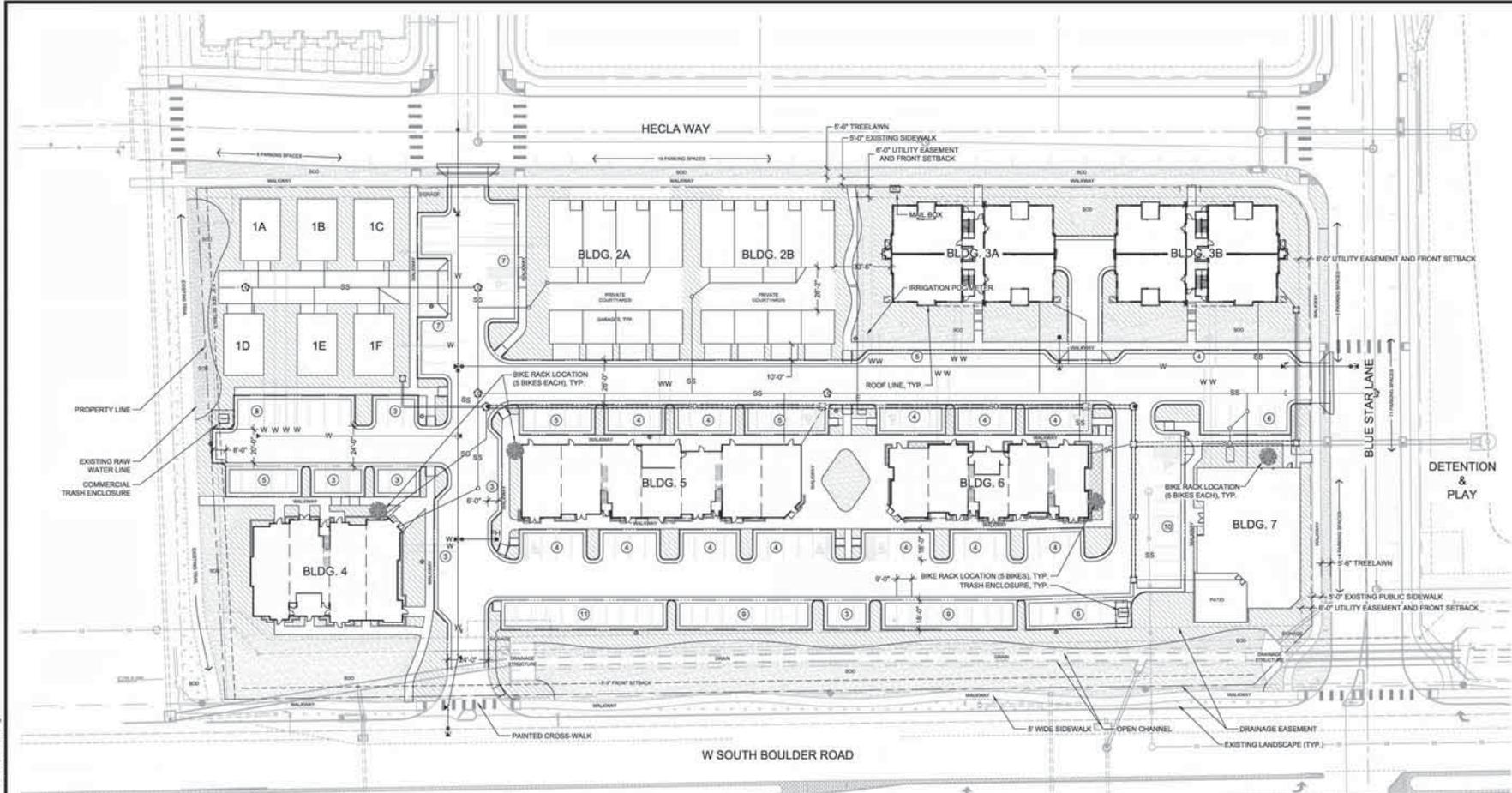
REVISIONS	No.	DESCRIPTION	DATE

SITE PLAN

SEAL

PROJECT NO.	B13-007
DRAWN BY	SV
REVIEWED BY	DM
DRAWING NUMBER	

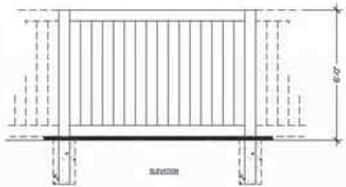
2 OF 12



LEGEND

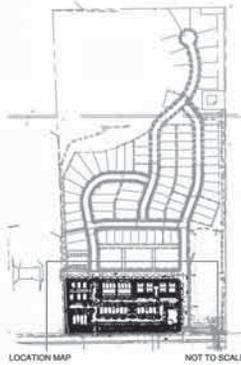
	SHRUB BEDS		CENTER LINE
	IRRIGATED TURF		LANDSCAPE EDGER LINE
	BIKE RACK		RIGHT-OF-WAY (LOT PROPERTY LINE)
	LIGHT POLE		EASEMENT LINE
ABBREVIATIONS:			BUILDING SETBACK LINE
FH	FIRE HYDRANT		SANITARY SEWER SERVICE LINE
HC	HANDICAP SPACE		STORM DRAIN LINE
R	RAMP		WATER SERVICE LINE
M	MAIL CENTER		CONDUIT / SLEEVE
S.Y.	SIDE YARD		WALK CHASE
T	TRASH ENCLOSURE		DRAIN PIPE
U.E.	UTILITY EASEMENT		DRAIN INLET
			MANHOLE
			WATER METER
			FIRE HYDRANT
			PARKING COUNT

- NOTES**
- REFER TO UTILITY PLANS FOR LOCATIONS OF STORM DRAINAGE STRUCTURES, UTILITY MARKS AND SERVICES.
 - REFER TO THE CIVIL ENGINEERING PLANS FOR DETAILED INFORMATION OF PROPOSED TOPOGRAPHY, UTILITY, AND STREET IMPROVEMENTS.
 - REFER TO THE PLAT FOR LOT AREAS, TRACT SIZES, EASEMENTS, LOT DIMENSIONS, UTILITY EASEMENTS, OTHER EASEMENTS, AND OTHER SHOWN INFORMATION.
 - ALL SIDEWALKS AND RAMPS WILL CONFORM TO CITY STANDARDS. ALL HANDICAP PARKING SPACES, AND RAMPS ARE TO BE VERIFIED WITH CIVIL ENGINEER FOR GRADING, DRAINAGE, AND ACCESSIBLE ROUTE CONSIDERATIONS. HANDICAP PARKING SPACES SHOULD SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES SHOULD SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND NO MORE THAN 1:48 CROSS SLOPE.
 - ACCESSIBLE RAMPS TO BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES.
 - PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY OF LOUISVILLE. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDING THE LOWEST BRANCH IS AT LEAST 8' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT SHALL BE NO MORE THAN 42" IN HEIGHT AND AT LEAST 80% OPEN.
 - FIRE ACCESS REMAINS AS APPROVED ON ORIGINAL FDP FOR PHASE I.
 - ARCHITECTURAL DESIGN AND MINOR SITE CHANGES MAY BE ADJUSTED ADMINISTRATIVELY BY CITY STAFF FOR CONFORMANCE OF PUD BULK STANDARDS AND CONCEPTUAL PUD DESIGNS. ARCHITECTURAL DESIGNS SHOWN ARE CONCEPTUAL IN INTENT AND ARE MEANT TO REFLECT THE HEIGHT, SCALE, MASS AND DIRECTION FOR THE PROJECT. CONSTRUCTION DOCUMENTS WILL BE SUBMITTED WITH EACH INDIVIDUAL BUILDING PERMIT AND MAY DIFFER FROM PUD ELEVATIONS, BUT WILL CAPTURE THE SPIRIT OF THE CONCEPTUAL DESIGNS AND FOLLOW THE APPROVED BULK STANDARDS.



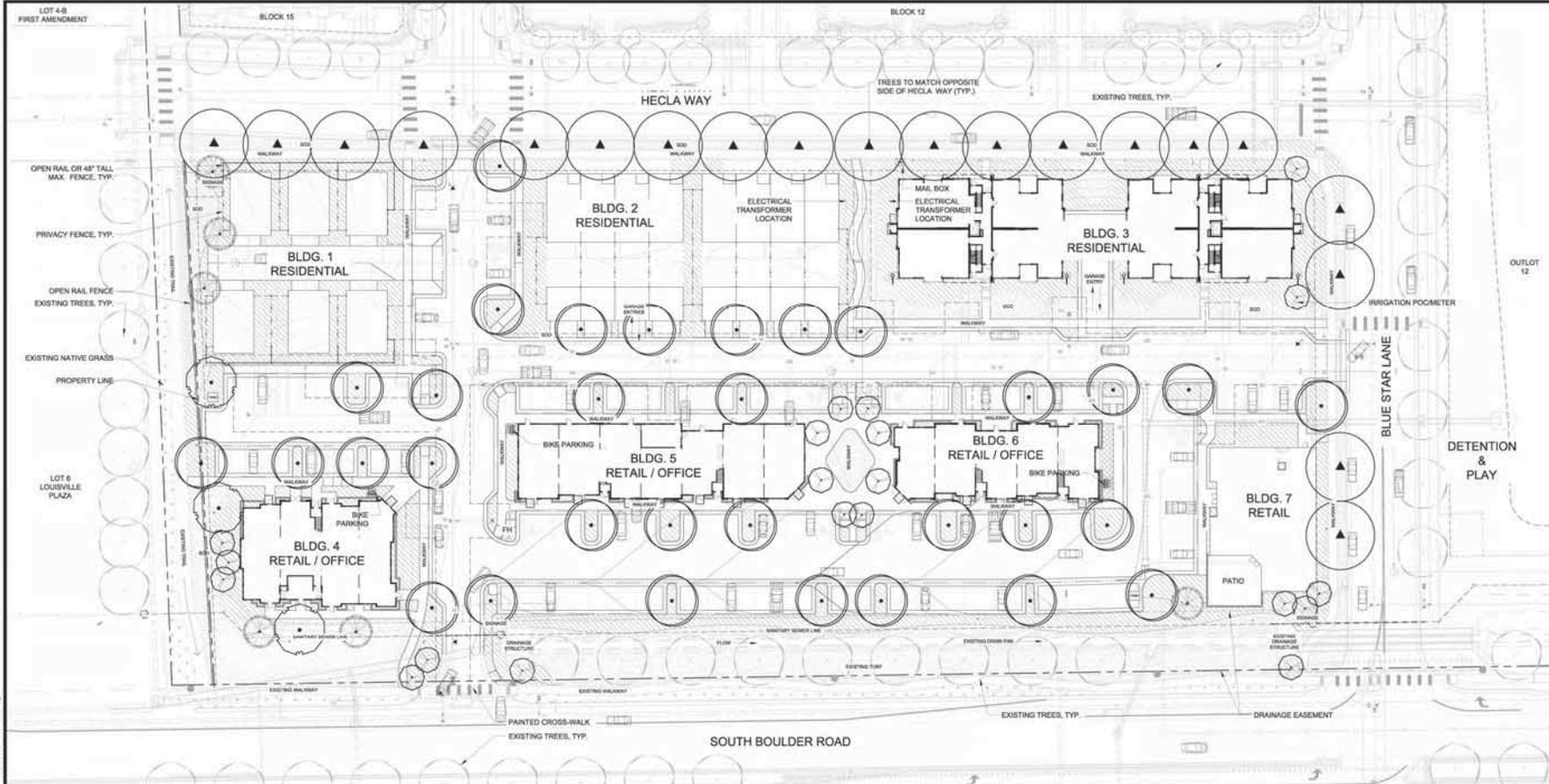
NOTES
STAIN TO BE KWAL SUPERDECK BRAND IN SHAGBARK BROWN COLOR.

FENCE AROUND TRASH COLLECTION



LOCATION MAP NOT TO SCALE

Plotted By: Kelly Thompson Layout: 2 of 12 SITE PLAN Prepared On: 10/17/2018 3:23 PM File Name: 2 of 4 SITE PLAN.dwg



NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO
 PREPARED BY:

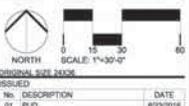


land planning • landscape architecture •
 urban design • entitlement

APPLICANT:
 RIPLEY DESIGN INC.
 Stephanie Van Dyke
 418 Canyon Ave, Suite 200
 Fort Collins, CO 80521
 p: 970.224.5829
 f: 970.225.6657

OWNER:
 NORTH END MARKET, LLC
 Michael Markel
 8722 Arapahoe Ave, #202
 Boulder, CO 80503
 p: 303.443.8889

ENGINEER:
 A.B. ENGINEERING CONSULTANTS
 Jim Blanton/John, PE
 143 River Court
 Louisville, CO 80027
 p: 303.604.1634



NO.	DESCRIPTION	DATE
01	PUD	8/23/2018

LANDSCAPE PLAN

NO.	DESCRIPTION	DATE

PROJECT No.: 875-087
 DRAWN BY: SV
 REVIEWED BY: DH
 DRAWING NUMBER:

CONCEPT PLANT SCHEDULE

- STREET TREES**
 STREET TREES HELP PROVIDE SHADE FOR THE ROADWAY AND ADJACENT SIDEWALK WHILE ALSO BEAUTIFYING THE OVERALL VEHICULAR EXPERIENCE OF THE NEIGHBORHOOD.
 POSSIBLE CHOICES:
 CELTIS OCCIDENTALIS / WESTERN HACKBERRY
 QNYMFOCALOUS DIOICA 'ESPRESSO' / SEEDLESS KENTUCKY COFFEETREE
 ULMUS 'FRONTIER' / FRONTIER ELM
- SHADE TREE**
 SHADE TREES ARE THE BASIC STRUCTURE IN AN EFFECTIVE LANDSCAPE PLAN, WHILE SELECTING YOUR TREE WE KEPT THE FOLLOWING CRITICAL FACTORS IN MIND: AVAILABLE SPACE FOR THE TREE'S MATURE SIZE, SOIL CONDITIONS, PROXIMITY TO IRRIGATION AND UTILITY LINES, AND WATER REQUIREMENTS.
 POSSIBLE CHOICES:
 ACER PLATANOIDES 'DEBORAH' / DEBORAH NORWAY MAPLE
 CATALPA SPECIOSA / WESTERN CATALPA
 QLEGTIBIA TRICANTHOS 'NINEBARK' / THORNLESS IMPERIAL HONEYLOCUST
- EVERGREEN TREE**
 MOST EVERGREEN TREES PREFER FULL SUN, THOUGH SOME WILL TOLERATE PARTIAL SHADE. EVERGREENS VARY IN SOIL MOISTURE PREFERENCES, AND MOST REQUIRE SOME AMOUNT OF WINTER IRRIGATION. THEY DO NOT RETAIN THEIR NEEDLES INDEFINITELY, THE ANNUAL BROWNING AND DROPPING OF OLDER, INTERIOR NEEDLES EACH FALL IS A NATURAL PROCESS.
- ORNAMENTAL TREE**
 GENERALLY SMALLER THAN SHADE TREES, ORNAMENTAL TREES ADD VARIETY AND INTEREST TO THE LANDSCAPE BY PROVIDING FLOWERS AND A VARIETY OF FALL COLORS. THEY WORK WELL IN SMALL SPACES AND ARE PARTICULARLY ATTRACTIVE AS A FOCAL POINT IN SHRUB AND FLOWER BEDS.

- MATCH TREE**
 TREE TO MATCH ADJACENT TREE ACROSS STREET FOR UNIFORMITY.
- LOW WATER USE PLANTINGS**
 THE PLANT GROUPING PROPOSED IN THESE AREAS WILL REQUIRE A "LOW" (20 GAL/SF) AMOUNT OF WATER. FINAL PLANTINGS TO BE DETERMINED.
 SCOTILELOA GRACILIS 'BLONDS AMBITION' / BLUE GRAMA
 MAHONIA AQUILIFOLIA 'COMPACTA' / COMPACT OREGON GRAPE
 PRUNUS BESSEYI 'PAWNEE BUTTES' / BARD CHERRY
- MODERATE WATER USE PLANTINGS**
 THE PLANT GROUPING PROPOSED IN THESE AREAS WILL REQUIRE A "MODERATE" (100 GAL/SF) AMOUNT OF WATER. FINAL PLANTINGS TO BE DETERMINED.
 BERBERIS THUNBERGII 'ORIONSON FLYWAY' / ORIONSON POMOY BARBERRY
 LIGUSTRUM VICARYI / GOLDEN PRIVET
 SYRINGA PATULA 'MISS KIM' / MISS KIM LILAC
- HIGH WATER USE PLANTINGS**
 THE PLANTS, TYPICALLY SOO, PROPOSED IN THESE AREAS WILL REQUIRE A "HIGH" (180 GAL/SF) AMOUNT OF WATER. FINAL PLANTINGS TO BE DETERMINED.
 POA PRATENSIS / KENTUCKY BLUEGRASS
- EXISTING LANDSCAPE**

NOTE
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HYDROZONE	AREA (SQ. FT)
HIGH	27,326
MODERATE	11,369
LOW	25,145
TOTAL	64,040

NOTE: REFER TO IRRIGATION DRAWINGS FOR WATER BUDGET TABLE

FENCE LEGEND

- OPEN RAIL FENCE
- OPEN RAIL FENCE OR 48" LOW FENCE
- PRIVACY FENCE

1. ALL LANDSCAPE IMPROVEMENTS AREA TO BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH CITY OF LOUISVILLE STANDARDS. REVISE TREE SPACING AND/OR RELOCATE TREES AS NEEDED TO AVOID CONFLICT WITH SITE DISTANCE TRIANGLES
2. ALL CITY STREET SIGNS SHALL BE PLACED IN THE TREE LAWNS
3. TREES TO BE PLANTED AT TIME OF ADJACENT CONSTRUCTION
4. NATIVE SEED MIX PER CITY OPEN SPACE REQUIREMENTS
5. ALL DISTURBED AREAS ON PREVIOUSLY DEDICATED OPEN SPACE SHALL BE NATIVE SEEDING AND LANDSCAPED.
6. STREET TREES SHALL BE CENTERED WITHIN THE TREE LAWN, IF AREAS WHERE STREET TREES ARE PLACED IN A TREE LAWN LESS THAN 10' WIDE, ROOT BARRIER SHALL BE PROVIDED AT THE BACK-OF-CURB AND ALONG THE SIDEWALK. IRRIGATION IN THE TREE LAWNS SHALL BE SUBSURFACE IN ALL AREAS. IRRIGATION IN THE TREE LAWNS SHALL BE ON A CENTRAL SYSTEM CONTROLLED BY THE HOA.
7. INDIVIDUAL TREE SPECIES SHALL COMPRISE NO MORE THAN 10% OF THE OVERALL PLANTING QUANTITY, OR AS APPROVED ON FINAL PLAN.
8. CITY RESERVES THE RIGHT TO RELOCATE LANDSCAPING ON FINAL PLAN THAT IS IN CONFLICT WITH THE CITY WET UTILITIES.
9. ALL PLANT MATERIAL SHALL BE AT LEAST 5 FEET AWAY FROM BUILDING FOUNDATIONS UNLESS IN RAISED PLANT BEDS.
10. ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAH) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT.
11. ALL TURF AREAS TO BE PLANTED WITH TEXAS BLUEGRASS 'REVELL' TURF MIX OR EQUIVALENT UNLESS INDICATED ON PLAN AS NATIVE GRASS AREA.
12. ALL SHRUB BEDS EXCEPT THOSE NOTED SHALL BE MULCHED WITH A MINIMUM 4" DEPTH WOOD MULCH OVER WATER PERMEABLE GEO-TEXTILE FABRIC MESH WEED BARRIER.
13. EDGING BETWEEN SOO AND SHRUB BEDS SHALL BE 14 GA. X 4" GALVANIZED STEEL SET LEVEL WITH TOP OF SOO.
14. NO TREES, SHRUBS, FENCES, BERMS, OR OTHER MATERIAL CONSTITUTING VISUAL OBSTRUCTION SHALL BE PLANTED WITHIN ANY SITE DISTANCE TRIANGLE.
15. MINIMUM REQUIREMENTS FOR SOIL PREPARATION SHALL INCLUDE 3 CUBIC YARDS OF ORGANIC MATERIAL PER 1000 SF OF EXISTING SOIL FILLED TO A MINIMUM DEPTH OF 8 INCHES. TREE AND SHRUB PITS SHALL BE BACKFILLED USING A MIXTURE OF ONE THIRD EXISTING SOIL, SOIL, AND ONE THIRD TOPSOIL, AND ONE THIRD ORGANIC MATTER.
16. MAINTENANCE OF THE WALK AND LANDSCAPING WITHIN THE RIGHT OF WAY SHALL BE THE OBLIGATION OF THE PROPERTY OWNER.
17. LANDSCAPING TO BE INSTALLED WITH ADJACENT LOT OR BUILDING CONSTRUCTION.

Prepared By: Gaby Thompson Layout: 3 of 12 LANDSCAPE PLAN Printed On: 10/17/2018 3:24 PM File Name: LANDSCAPE PLAN.dwg

Printed By: Gaby Thompson Layout: 4 OF 12 PARKING PLAN Printed On: 10/17/2016 3:24 PM File Name: PARKING PLAN.dwg



NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO
PREPARED BY:



• land planning • landscape architecture •
• urban design • entitlement •
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ORIGINAL SIZE 200%

ISSUED	NO.	DESCRIPTION	DATE
01	PUD		8/23/2016

REVISIONS

NO.	DESCRIPTION	DATE

PARKING PLAN

SCALE:

PARKING CALCULATIONS - RESIDENTIAL

BUILDING 1A-1F	RATIO	REQUIRED	PROVIDED (GARAGE)	ADDITIONAL
6 UNITS (3-BED UNITS)	2.00 SPACES / UNIT	12.0 SPACES		
TOTAL 6		12	12	0.0
BUILDING 2A-2B	RATIO	REQUIRED	PROVIDED (GARAGE)	ADDITIONAL
8 UNITS (3-BED UNITS)	2.00 SPACES / UNIT	16 SPACES		
TOTAL 8		16	16	0
BUILDING 3A-3B	RATIO	REQUIRED	PROVIDED (UNDER BUILDING)	ADDITIONAL
24 UNITS (2-BED UNITS)	1.50 SPACES / UNIT	36 SPACES		
TOTAL 24		36	36	0
RESIDENTIAL TOTAL	REQUIRED	PROVIDED	ADDITIONAL	
38 DWELLING UNITS	64.0 SPACES	64	0.0	

NOTE

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PARKING CALCULATIONS - COMMERCIAL

BUILDING 4	RATIO	REQUIRED	PROVIDED OFF-STREET	ADDITIONAL
3000 RETAIL	1.00 SPACES / 250 S.F.	20 SPACES		
5000 OFFICE	1.00 SPACES / 300 S.F.	17 SPACES		
TOTAL 10,000 SQ.FT.		37	37	0
BUILDING 5	RATIO	REQUIRED	PROVIDED OFF-STREET	ADDITIONAL
7750 RETAIL	1.00 SPACES / 260 S.F.	30 SPACES		
7750 OFFICE	1.00 SPACES / 300 S.F.	26 SPACES		
TOTAL 15,500 SQ.FT.		57	57	0
BUILDING 6	RATIO	REQUIRED	PROVIDED OFF-STREET	ADDITIONAL
3000 RETAIL	1.00 SPACES / 250 S.F.	20 SPACES		
5000 OFFICE	1.00 SPACES / 300 S.F.	17 SPACES		
TOTAL 10,000 SQ.FT.		37	37	0
BUILDING 7	RATIO	REQUIRED	PROVIDED OFF-STREET	ADDITIONAL
4500 RETAIL	1.00 SPACES / 250 S.F.	18 SPACES		
TOTAL 4,500 SQ.FT.		18	18	0
COMMERCIAL TOTAL	REQUIRED	PROVIDED OFF-STREET*	ADDITIONAL	
40,000 SQ.FT.	149 SPACES	183 (1245 SQ.FT. AVERAGE RATIO)	34	

PARKING CALCULATIONS - ON STREET

ON STREET	RATIO	REQUIRED	PROVIDED ON-STREET	DIFFERENCE
HECLA WAY	NA	NA SPACES	25	
BLUE STAR LANE	NA	NA SPACES	18	
TOTAL		0	43	43

PARKING CALCULATIONS - OVERALL

BUILDING TYPE	REQUIRED	PROVIDED	DIFFERENCE
OFFICE / RETAIL (40,000 SQ.FT.)	149 SPACES	183 SPACES	
ON STREET	0 SPACES	43 SPACES	
TOTAL	149	226	57

ACCESSIBLE PARKING SPACES

OFF-STREET	RATIO	REQUIRED	PROVIDED	DIFFERENCE
183 COMMERCIAL	1.00 SPACES / 25 SPACES	7 SPACES	9 (4 VAN ACCESSIBLE)	
64 RESIDENTIAL	1.00 SPACES / 25 S.F.	3 SPACES	3 (2 UNDER BUILDINGS)	
TOTAL		9	12	3

Printed By: Kelly Thompson - Legend 5 of 12 EM - ACCESS PLAN - Printed On: 10/17/2016 3:27 PM - File Name: EM - ACCESS PLAN.rvt



LEGEND

-  TRUCK OVERPAD
-  WHEEL PATH
-  CENTER LINE

NORTH END MARKET

PUD AMMENDMENT

Louisville, CO
PREPARED BY:



• land planning • landscape architecture •
• urban design • environment •

PLANNER / LANDSCAPE ARCHITECT
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REVISIONS	
NO.	DESCRIPTION

EM. ACCESS PLAN

NO.	DESCRIPTION	DATE

PROJECT No. 171-030
DRAWN BY: SV
REVIEWED BY: JCR
DRAWING NUMBER:



BUILDING GROUP 1

MATERIALS

- ASPHALT SHINGLE ROOF & EPDM FLAT ROOF ELEMENTS
- LAP SIDING
- VINYL WINDOWS
- ARCHITECTURAL PANEL & LAP SIDING/STUCCO
- SPLIT FACE CONCRETE MASONRY UNIT
- STEEL GARAGE DOORS WITH WINDOWS

ELEVATIONS



SOUTH



WEST



NORTH AT ALLEY



EAST



South Boulder Road

NOTE

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NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO

PREPARED BY:



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• urban design & architecture •
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REVISIONS

NO.	DESCRIPTION	DATE
1	PUD	8/20/24

BUILDING 1

SEAL:

PROJECT NO.: 475-007
DRAWING BY: SP
REVIEWED BY: SP

DRAWING NUMBER:

6 OF 12



BUILDING GROUP 2

RESIDENTIAL BUILDINGS WITH GARAGE PARKING.



South Boulder Road

NOTE

ARCHITECTURAL DESIGN AND MINOR SITE CHANGES MAY BE ADJUSTED ADMINISTRATIVELY BY CITY STAFF FOR CONFORMANCE OF PUD BLUE STANDARDS AND CONCEPTUAL PUD DESIGNS AND STRUCTURAL DESIGNS SHOWN ARE CONCEPTUAL IN NATURE AND ARE MEANT TO REFLECT THE HEIGHT, SCALE, MASS AND FUNCTION FOR THE PROJECT. CONSTRUCTION DOCUMENTS WILL BE SUBMITTED WITH EACH INDIVIDUAL BUILDING PERMIT AND MAY DIFFER FROM PUD ELEVATIONS, BUT WILL CAPTURE THE SPIRIT OF THE CONCEPTUAL DESIGNS AND FOLLOW THE APPROPRIATE BLUE STANDARDS.

MATERIALS

- ASPHALT SHINGLE ROOF & EPDM FLAT ROOF
- STUCCO SIDING
- VINYL WINDOWS
- ARCHITECTURAL PANEL & LAP SIDING
- STEEL GARAGE DOORS WITH WINDOWS

ELEVATIONS



SOUTH



WEST



NORTH



EAST

40' MAX. HEIGHT

NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO

PREPARED BY:



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• Urban design & environment •
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REVISIONS		
NO.	DESCRIPTION	DATE

REVISIONS		
NO.	DESCRIPTION	DATE

BUILDING 2

SCALE:

PROJECT NO. 418-007
DRAWN BY: JF
REVIEWED BY: JF
DRAWING NUMBER



BUILDING GROUP 3

PERSPECTIVE

RESIDENTIAL BUILDING WITH PARKING BELOW. PROMINENT ENTRY, OUTDOOR LIVING, ELEVATOR, ACCESSIBLE PEDESTRIAN LANE TO COMMERCIAL AND MAIN STREET EDGE TO HECLA WAY.



South Boulder Road

PEDESTRIAN ENTRY
 PARKING ENTRY
 PEDESTRIAN ENTRY

MATERIALS

- ASPHALT SHINGLE ROOF & EPDM FLAT ROOF
- STUCCO SIDING
- VINYL WINDOWS
- ARCHITECTURAL PANEL & LAP SIDING
- SPLIT FACE CONCRETE MASONRY UNIT

ELEVATIONS



SOUTH



WEST



NORTH



EAST

NOTE

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NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO

PREPARED BY:



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REVISIONS

NO.	DESCRIPTION	DATE	REVISION

BUILDING 3

SEAL

PROJECT NO.: 818187
 DRAWN BY: JF
 APPROVED BY: JF

DRAWING NUMBER:



BUILDING 4

COMMERCIAL BUILDING WITH 1ST FLOOR RETAIL AND 2ND FLOOR OFFICE.

MATERIALS

- ARCHITECTURAL CEMENTIOUS PANEL & LAP SIDING & STUCCO
- METAL SIDING AND LARGE STOREFRONT GLASS

ELEVATIONS



SOUTH



WEST



NORTH



EAST



BUILDING 4 FRAMES THE WESTERN EDGE OF THE COMMERCIAL ZONE

NOTE

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NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO

PREPARED BY:



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• interior design • construction •
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DESIGNED BY

J&B ENGINEERING CONSULTANTS
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REVISIONS

NO.	DESCRIPTION	DATE

BUILDING 4

SCALE:

PROJECT NO.: 819-002
DRAWN BY: MS
REVIEWED BY: SK
DRAWING NUMBER:



MATERIALS

- ANGLED & FLAT ROOF ELEMENTS
- STUCCO SIDING
- ARCHITECTURAL PANEL, METAL & LAP SIDING

BUILDING 5

COMMERCIAL BUILDING WITH 1ST FLOOR RETAIL AND 2ND FLOOR OFFICE.



SOUTH FACING COURTYARD

MAIN ENTRY ON SOUTH WITH PARKING

South Boulder Road

ELEVATIONS



SOUTH



WEST

40' MAX HEIGHT



NORTH



EAST

NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO

PREPARED BY:



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• interior design • architecture •
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REVISION	NO.	DESCRIPTION	DATE

BUILDING 5

SCALE:

PROJECT NO.: 10172016.3.25
DRAWN BY: KTY
REVIEWED BY: JTB

DRAWING NUMBER:

10 OF 12

NOTE

ARCHITECTURAL DESIGN AND MINOR SITE CHANGES MAY BE ADJUSTED ADMINISTRATIVELY BY CITY STAFF FOR CONFORMANCE OF PUD BULK STANDARDS AND CONCEPTUAL PUD DESIGNS. ARCHITECTURAL DESIGNS SHOWN ARE CONCEPTUAL IN INTENT AND ARE MEANT TO REFLECT THE HEIGHT, SCALE, MASS, AND ORIENTATION FOR THE PROJECT. CONSTRUCTION DOCUMENTS WILL BE SUBMITTED WITH EACH INDIVIDUAL BUILDING PERMIT AND MAY DIFFER FROM PUD ELEVATIONS, BUT WILL CAPTURE THE SPIRIT OF THE CONCEPTUAL DESIGNS AND FOLLOW THE APPROVED BULK STANDARDS.



MATERIALS

- STUCCO SIDING
- ARCHITECTURAL PANEL, METAL & LAP SIDING
- COURTYARD FRAMED BETWEEN BUILDINGS 5 & 8

ELEVATIONS



SOUTH



WEST



NORTH



EAST

NOTE

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BUILDING 6

COMMERCIAL BUILDING WITH 1ST FLOOR RETAIL AND 2ND FLOOR OFFICE AND 3RD FLOOR DECK/MEZZANINE



SOUTH FACING COURTYARD

MAIN ENTRY ON SOUTH WITH PARKING

VISIBLE COMMERCIAL ZONE FROM S. BOULDER RD.

South Boulder Road

NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO

PREPARED BY:



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ORIGINAL SHEET TITLE

NO.	DESCRIPTION	DATE
1	PLD	8/20/2018

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

BUILDING 6

SCALE:

PROJECT NO.: 80487

DRAWN BY: PJ

REVIEWED BY: CH

DRAWING NUMBER:



MATERIALS

- ANGLES AND FLAT ROOFED ELEMENTS WITH LARGE WINDOWS
- METAL SIDING, STUCCO
- OUTDOOR COURTYARD

ELEVATIONS



SOUTH



WEST



NORTH



EAST

BUILDING 7

COMMERCIAL BUILDING WITH 1ST FLOOR RETAIL USE. ONE STORY DISTINCTIVE ARCHITECTURE AT ENTRY TO NORTH END.



South Boulder Road

NOTE

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NORTH END MARKET

PUD AMMENDMENT

LOUISVILLE, CO
PREPARED BY:



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PLANNER / LANDSCAPE ARCHITECT

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ENGINEER

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REVISIONS		
NO.	DESCRIPTION	DATE

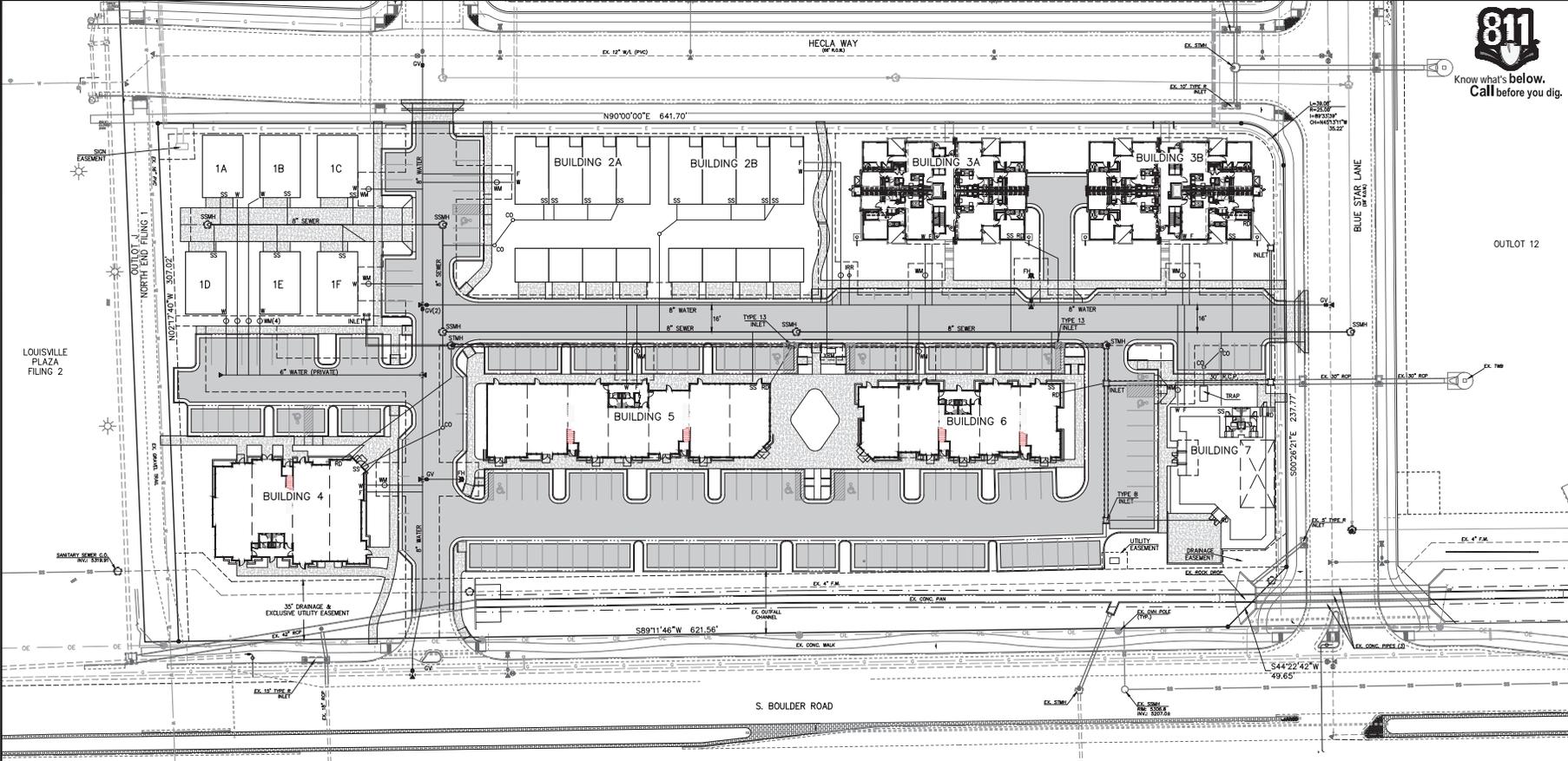
BUILDING 7

SCALE:

PROJECT NO.: 110-007
DRAWN BY: JY
REVIEWED BY: JY
DRAWING NUMBER:



PUBLIC IMPROVEMENTS, UTILITY EXTENSIONS AND ACCESS IMPROVEMENTS - PHASE 1
OVERALL UTILITY PLAN
 LOCATED IN THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 1 NORTH, RANGE 69 WEST CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



LEGEND OF SYMBOLS

ITEM	EXISTING	PROPOSED
WATER SERVICE	○	○
SANITARY SEWER SERVICE	○	○
UTILITY METER	○	○
OWN LIGHT POLE	⊗	⊗
FIRE HYDRANT	⊗	⊗
UTILITY MANHOLE	⊗	⊗
FENCE-CHAIN LINK	—	—
WATER MAIN	—	—
SEWER MAIN	—	—
ELECTRIC - OVERHEAD	—	—
ELECTRIC - UG	—	—
FIBER OPTICS	—	—
GAS - NATURAL	—	—
STORM DRAIN	—	—
UNDER DRAIN	—	—

EASEMENT ABBREVIATIONS

UTILITY	U.E.
GENERAL ACCESS	A.E.
EMERGENCY ACCESS	E.A.E.
DRAINAGE	D.E.

SERVICE LINE ABBREVIATIONS

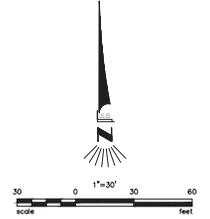
WATER SERVICE	W
SANITARY SERVICE	SS
ROOF DRAIN	RD
CLEANOUT	C.O.
THRUST BLOCK	T.B.

BUILDING SERVICE CONNECTIONS

- VERIFY SIZE, TYPE, LOCATION AND CONDITION OF ALL EXISTING SERVICES.
- FOR FIRE SPRINKLER LINES, REMOVE EXISTING PLUG AND THRUST BLOCK, CONNECT TO EXISTING. RESTRAIN ALL JOINTS WITH MEGA LUGS. ALL ELBOWS, INCLUDE THRUST BLOCK.
- FOR DOMESTIC LINES, SWEAT ON CONNECTION, BEND PIPE ONLY USING LONG RADIUS.
- FOR SEWER, VERIFY EXISTING CONNECTION POINT IS INTACT, REMOVE CAP AND RUN NEW LINE AT 2%.
- COORDINATE ALL BUILDING CONNECTIONS PRIOR TO EXTERIOR UNDERGROUND PIPING.

UTILITY PLAN NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LOUISVILLE, PUBLIC IMPROVEMENTS, DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- ALL WATER MAINS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY STANDARDS.
- ALL SANITARY SEWER MAINS AND SERVICES SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL INCLUDE THE APPROPRIATE CONNECTION DEVICE, INCLUDING WATER MAIN TAPS OR OUTLET IN TEES. MANHOLE BASES SHALL BE REMOVED FOR ACCEPTANCE OF INCOMING SANITARY SEWER MAINS AND STAINS RELOCATED IF INTERFERING WITH NEW CONNECTION POINTS.
- SERVICE DISRUPTIONS TO EXISTING USERS SHALL BE KEPT TO A MINIMUM AT ALL TIMES. APPROPRIATE OUTAGE POSTINGS SHALL BE PREPARED AND DELIVERED TO AFFECTED PROPERTY OWNERS PRIOR TO ENGAGING AND OUTAGE FOR CONNECTIONS.
- ALL NEW UTILITIES SHALL BE UNDERGROUND AND IN EASEMENTS OR PUBLIC RIGHTS OF WAY.
- POTABLE WATER, SANITARY SEWER, STORM SEWER ARE PROVIDED BY THE CITY OF LOUISVILLE.
- GAS AND ELECTRIC SERVICE IS PROVIDED BY XCEL ENERGY.
- CABLE TELEVISION IS PROVIDED BY COMCAST.
- TELEPHONE SERVICE IS PROVIDED BY CENTURY LINK OR COMCAST.
- WATER METER PITS, CURB STOPS AND CORPORATION STOPS SHALL BE LOCATED PER THE CITY STANDARD DETAILS UNLESS OTHERWISE SPECIFICALLY DETAILED ON THE PLAN AND PROFILE SHEETS.
- SUPPLEMENTAL EASEMENTS MAY BE REQUIRED FOR INDIVIDUAL SITES UPON SUCH TIME THOSE SITES ARE PROPOSED FOR DEVELOPMENT IMPROVEMENTS.
- PROPOSED STORM SEWER AND APPURTENANCES ARE PRIVATE AND MAINTAINED BY HOA.
- CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE STORM SEWER. THE HOA IS RESPONSIBLE FOR MAINTENANCE OF STORM SYSTEMS.
- CONTRACTOR TO COORDINATE FINAL UTILITY CONNECTION LOCATIONS WITH THE MEP AND FIRE SPRINKLER PLANS. ADJUSTMENTS TO LOCATIONS SHOWN MAY BE NECESSARY AND SHOULD BE REVIEWED BY THE ENGINEER.
- IRRIGATION SYSTEMS SHALL BE PROVIDED WITH A CITY APPROVED BACK FLOW AND REDUCED PRESSURE DEVICE.
- SEWER SERVICE DATA IS BASED ON PLAN ELEVATIONS FROM NORTH END FLING 2. CONTRACTOR TO POTHOLE SEWER SERVICES AND VERIFY ELEVATIONS AND PIPE CONDITION AT THE TIE IN. IF ELEVATIONS DIFFER BY MORE THAN 0.5' FROM THAT SHOWN ON THE PLAN, REPORT TO THE ENGINEER.



DATE	BY	REVISION/ISSUE

Design	JLB	Draw	SSS
Checked	JLB	Checked	JLB
Date	JULY 15, 2016		
Job No.	1425		
D-	1425.1		
SHEET			
UP			
2 of 2 SHEETS			

North End Filing 2, Block 11 Transportation Impact Study

Louisville, Colorado



October 2, 2015
Revised January 18, 2016

PREPARED FOR:
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Project Number: M1185

Statement of Engineering Qualifications

Kari J. McDowell Schroeder, PE, PTOE is a Transportation and Traffic Engineer for McDowell Engineering, LLC. Ms. McDowell Schroeder has over nineteen years of extensive traffic and transportation engineering experience. She has completed numerous transportation studies and roadway design projects throughout the State of Colorado. Ms. McDowell Schroeder is a licensed Professional Engineer in the State of Colorado and has her certification as a Professional Traffic Operations Engineer from the Institute of Transportation Engineers.

Traffic Impact Study for North End, Filing 2

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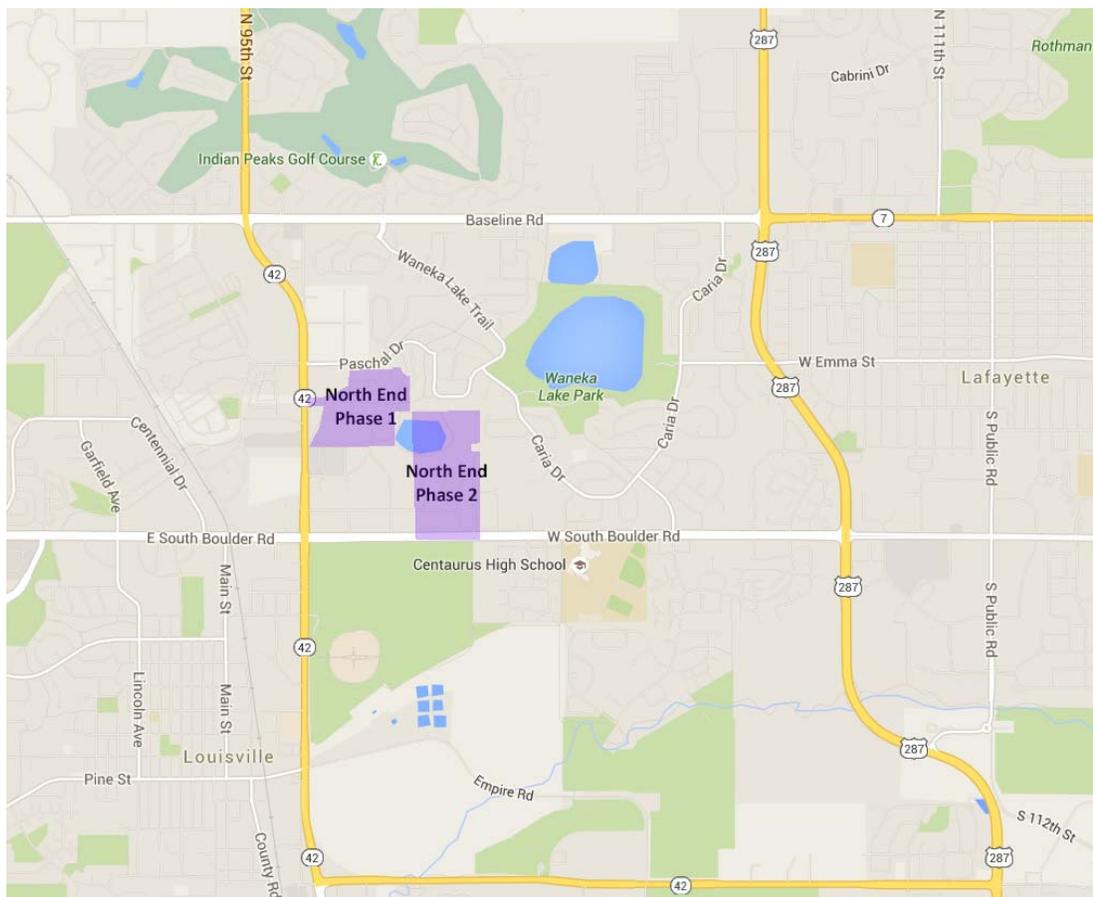
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1.0 Project Description

This traffic analysis is intended to update the previous study associated with the North End Phase 2 project in Louisville. The project site is located at 1501 S. Boulder Road on the northeast quadrant of S. Boulder Road and Plaza Drive. The project consists of a 4.56-acre parcel of land that is currently vacant. **Figure 1** illustrates the site vicinity in relation to the rest of Louisville.

The City's *Comprehensive Plan* identifies this site as a future Urban Center.⁵ LSC's April 1, 2011 *Traffic Memorandum*¹ assumed 42,700 square feet of retail space and 22,300 square feet of office space for Filing 2, Block 11. The applicant is proposing a revised land use of this site. The new site plan incorporates 17,750sf of commercial space, 17,750sf office space, 4,500sf restaurant space, and 65 multifamily units on Block 11. The construction is anticipated to be constructed in 2016.

Figure 1: Area Map



1.1 Project Phasing

The North End Filing 2, Block 11 project is anticipated to be constructed in a single phase of development in Year 2016.

1.2 Project Access Locations

The site has access to the greater roadway network via two direct accesses to S. Boulder Road. One is a right-in, right-out only access. The other is a $\frac{3}{4}$ access at Blue Star. In addition, Helca Way is accessible from Block 11. Refer to the site plan in **Figure 2**.

1.3 Intersection Analysis Locations

This report studies four intersections:

1. S. Boulder Road / Plaza Drive
2. S. Boulder Road / North End RIRO Access
3. S. Boulder Road / Blue Star 3/4 Access
4. Plaza Drive / Helca Way

2.0 Existing Conditions

2.1 Description of Existing Transportation System

South Boulder Road: South Boulder Road is an east-west arterial roadway that connects the City of Boulder to the City of Lafayette via Louisville. In the vicinity of the North End development, South Boulder Road is a four lane facility with a raised center median. The posted speed limit on this section of South Boulder Road is 35 mph.

There are paved sidewalks on either side of South Boulder Road. RTD's DASH bus serves the South Boulder Road corridor. A map of the bus route is included in the **Appendix**.

Plaza Drive: This north-south collector roadway connects South Boulder Road to Helca Drive. Plaza Drive is a two-lane roadway with curb, gutter and sidewalk. It has a posted speed limit of 25mph.

Blue Star Lane: Blue Star Lane is a two-lane, collector roadway that connects North End Phase 1 and Phase 2 to South Boulder Road. It has curb, gutter, and sidewalk. The intersection with South Boulder Road is restricted to 3/4 movement access. The southbound left turn onto South Boulder Road is restricted by a raised island.

Helca Way: Helca Way is a two-lane, collector roadway that connects the North End site to Plaza Drive. It has curb, gutter, and sidewalk.

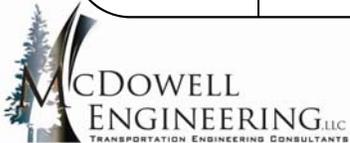
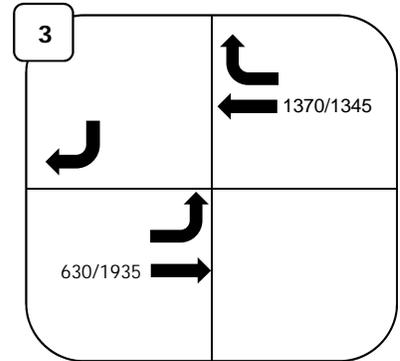
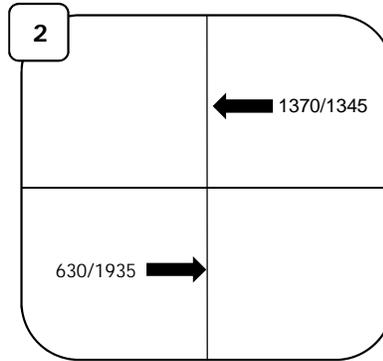
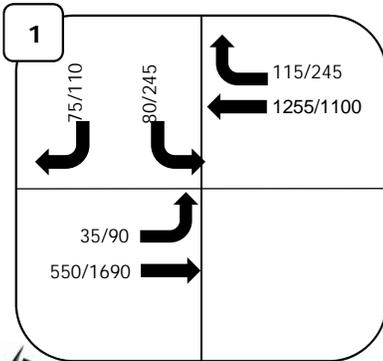
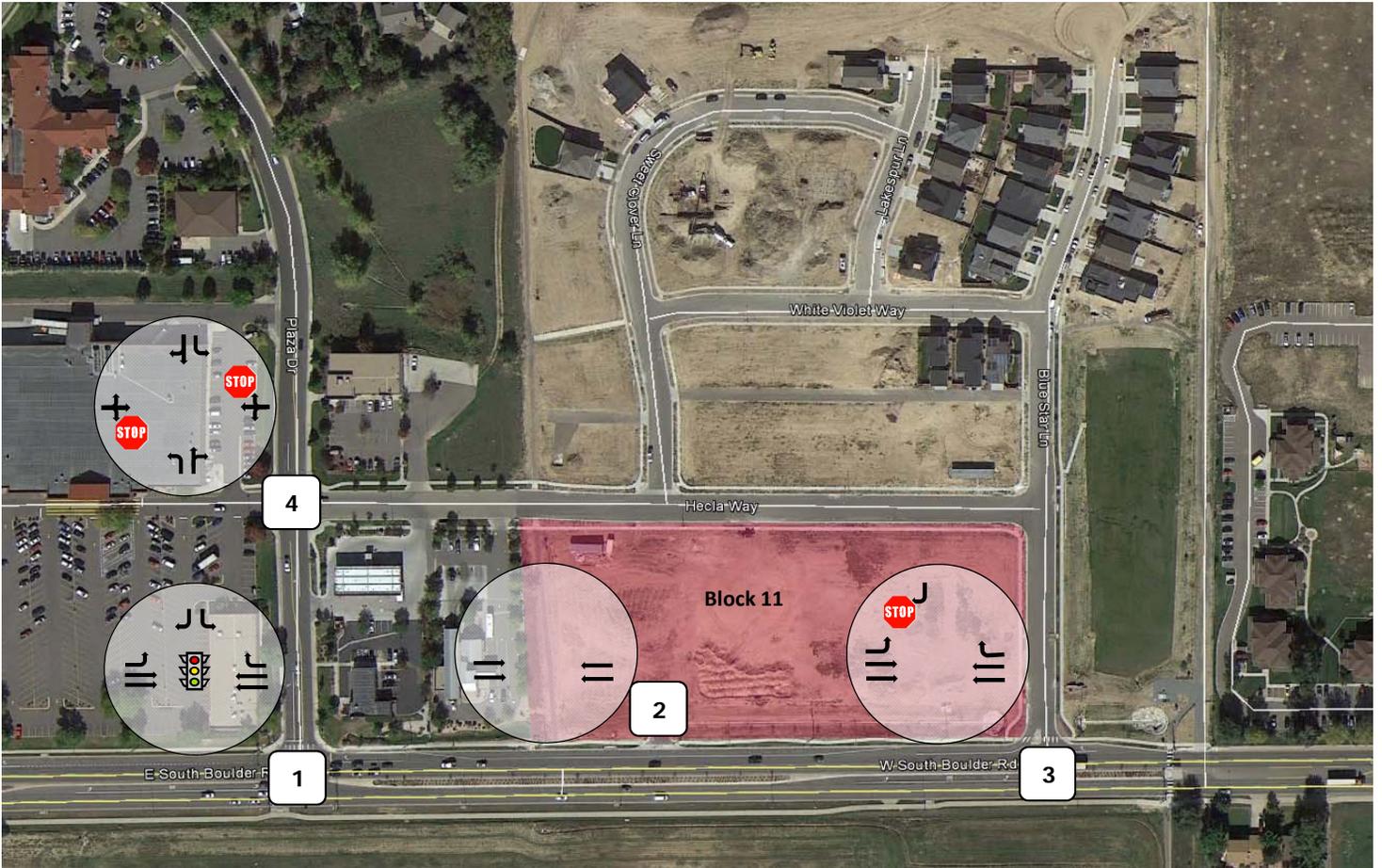
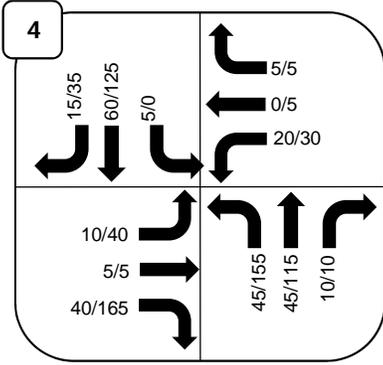
2.2 Background Traffic Data

The previous traffic data from LSC's *Traffic Letter*¹ was used for long term traffic projections. Figure 2 of the *Traffic Letter*¹ provided Year 2030 traffic projections for the four intersections at the periphery of the North End Phase 1 project site. The Year 2030 Background traffic projections (AM/PM Peak Hour) are shown in **Figure 3**.

The *Traffic Letter*¹ used a historic growth rate of 3.5%. Therefore, a 3.5% growth rate was applied to the through movements on South Boulder Road to forecast background Year 2035 volumes. These peak hour volumes are shown in **Figure 4**.

Figure 3: Year 2030 Background Traffic*

*From LSC's North End Phase 2 Traffic Letter dated April 1, 2011; Figure 2 "Year 2030 Background Traffic"



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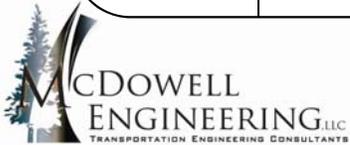
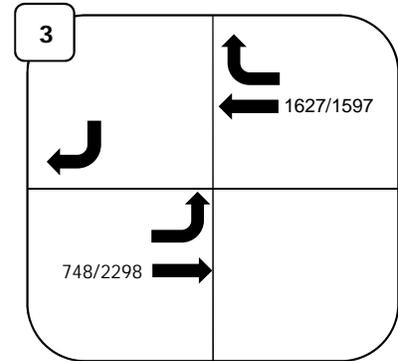
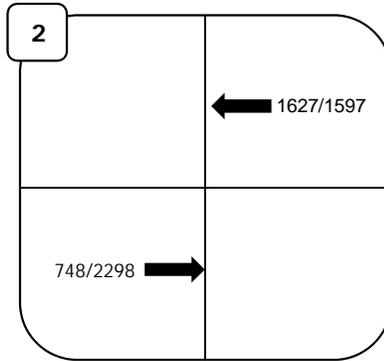
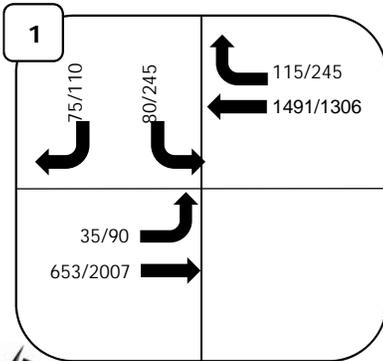
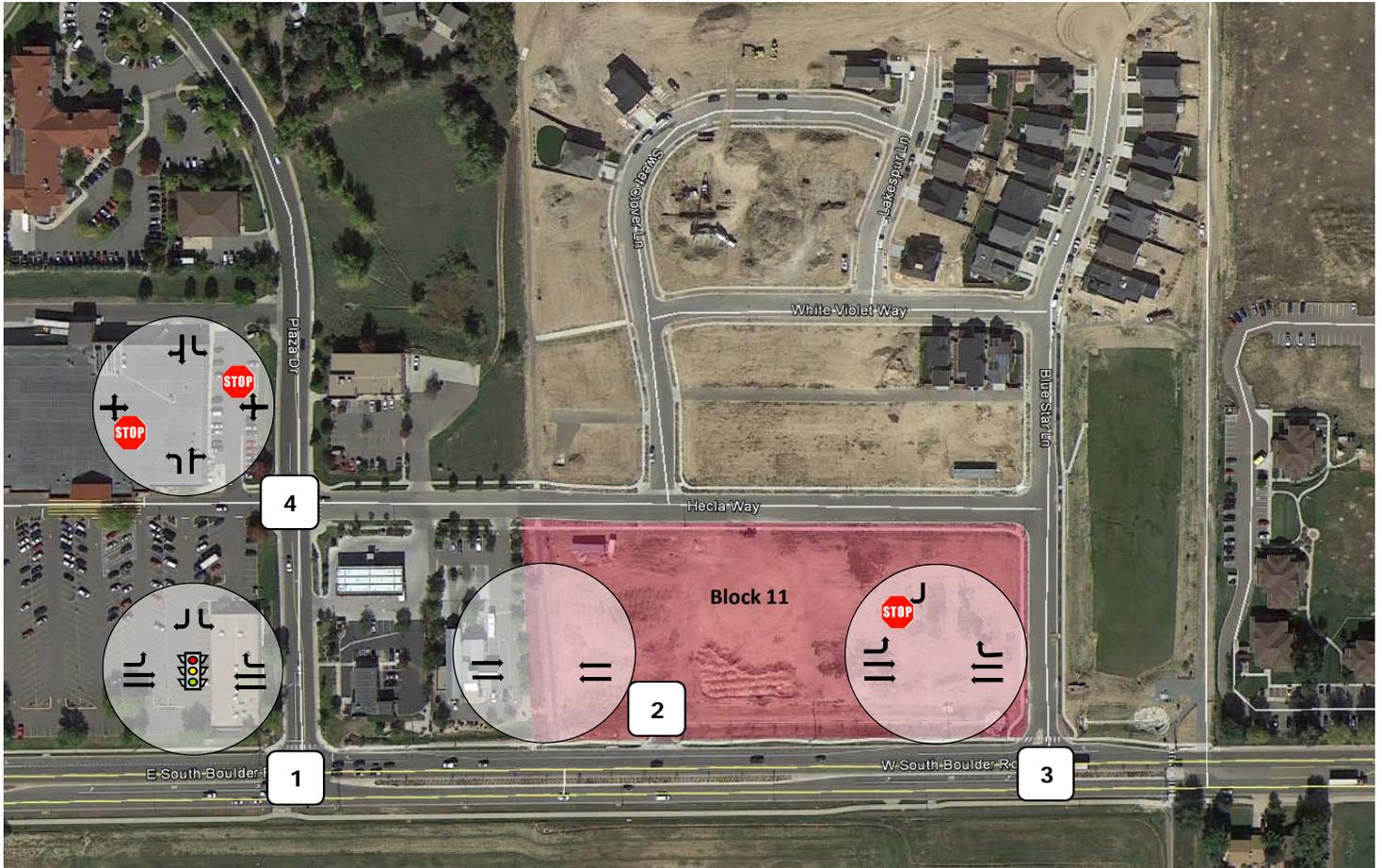
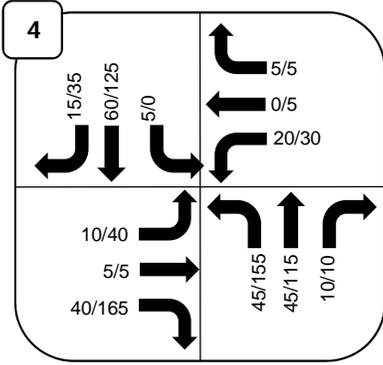
LEGEND :

AM/PM Peak Hour Volumes = XX/XX (vph)

Turning Movements



Figure 4: Year 2035 Background Traffic



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Prepared by: KJS



LEGEND :

AM/PM Peak Hour Volumes = XX/XX (vph)

Turning Movements



Level of Service: Using *Highway Capacity Manual 2010* (HCM) methodology, Synchro Version 8 software was used to determine the delay and Level of Service (LOS.)

HCM LOS is defined by the following criteria:

Table 1: Year HCM Level of Service Criteria

LOS	Expected Delay to Minor Street Traffic	Average Signal Delay (seconds/vehicle)	Average Stop-Controlled Delay (seconds/vehicle)
A	Little or no delay.	0-10	0-10
B	Short traffic delays.	>10-20	>10-15
C	Average traffic delays.	>20-35	>15-25
D	Long traffic delays.	>35-55	>25-35
E	Very long traffic delays.	>55-80	>35-50
F	When volume exceeds the capacity of the lane extreme delays will be encountered with queuing that may cause severe congestion affecting other traffic movements in the intersection. This condition usually warrants improving the intersection.	>80	>50

Table 2 shows the resulting LOS under the project background Year 2016 conditions as determined by the HCM analysis:

Table 2: Year 2035 Background Traffic Level of Service

Intersection	Traffic Control	Approach	Level of Service (Delay in Seconds)	
			AM	PM
1. S. Boulder Road / Plaza Drive	Signal	Overall	B (15.7)	C (20.8)
		EB	A (6.6)	C (24.9)
		WB	B (19.5)	B (14.8)
		SB	B (16.7)	C (22.3)
2. S. Boulder Road / Sweet Clover RIRO Access	SB Stop	EB	A (0)	A (0)
		WB	A(0)	A (0)
3. S. Boulder Road / Blue Star 3/4 Access	SB Stop	EB	A(0)	A (0)
		WB	A(0)	A (0)
4. Plaza Drive / Helca Way	EB/WB Stop	EB	A (9.4)	B (13.1)
		WB	B (10.4)	C (20.0)
		NB	A (3.0)	A (4.0)
		SB	A (0)	A (0)

S. Boulder Road/Plaza Drive: This signalized intersection is anticipated to operate at an acceptable Level of Service through Year 2035.

S. Boulder Road/Blue Star 3/4 Access: LSC's data¹ for this intersection's future traffic projections was used in this analysis. Data was not collected to reflect the partial buildout of the residential portion of Phase 2. Therefore, the background Year 2035 analysis above does not reflect the Phase 2 residential' s turning movements.

Plaza Drive/Helca Way: This intersection is anticipated to operate at an acceptable Level of Service through Year 2035.

3.0 Project Traffic

3.1 Trip Generation

The previous 2011 North End development plan incorporated 122 single-family dwelling units, 240 multi-family dwelling units, 42,700 square feet of retail space, and 22,300 square feet of office space. As of October 2015, the residential portion of the project has been partially constructed. No changes to the residential portion of Phase 2 are proposed.

This new application is proposing a land use change in Block 11 of the North End Phase 2 development. As shown in **Figure 2**, the new site plan incorporates:

- 17,750sf commercial space
- 17,750sf office space
- 4,500sf restaurant space
- 65 multifamily units

Construction is anticipated to be completed in Year 2016.

A trip generation analysis was performed using the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*³. Internal trip capture is anticipated on the mixed-use property. The internal capture rates were calculated for each land use category using ITE's *Trip Generation Handbook*⁶ methodology. Internal capture rates were not applied to the residential portion of the project that was previously approved. The internal capture calculations are included in the **Appendix**.

A spreadsheet showing the total trip generation analysis can be seen in **Table 3**.

The North End Phase 2, Block 11 project is expected to generate 1,477 trips over the course of an average weekday. This includes 76 trips during the morning peak hour and 124 trips during the evening peak hour.

With the residential component of Phase 2, the project as a whole is expected to generate 2,616 trips over the course of an average weekday. This includes 164 trips during the morning peak hour and 238 trips during the evening peak hour.

This is an increase of 18% of the average weekday traffic from the previous Phase 2 plans. The morning peak hour traffic is anticipated to decrease by 1.2%. The evening peak hour will decrease by 10.9%.



PROJECT NUMBER: M1185
 PREPARED BY: KJS
 DATE: 9/25/2015
 REVISED: 1/18/2016

**Table 3 - Project Trip Generation
 Phase 2, North End Filing 2
 Louisville, CO**

Estimated Project-Generated Traffic¹

ITE Code	Units	AM Peak Hour	PM Peak Hour	Avg. Weekday	Average Weekday				Morning Peak Hour				Evening Peak Hour						
					Trips (vph)	Inbound		Outbound		Trips (vph)	Inbound		Outbound		Trips (vph)	Inbound		Outbound	
						% Trips	Trips (vph)	% Trips	Trips (vph)		% Trips	Trips (vph)	% Trips	Trips (vph)		% Trips	Trips (vph)	% Trips	Trips (vph)
Previous Land Use³																			
Single-Family (#210 Single-Family Detached Housing)	79 DU	0.75	1.01	9.57	756	15	44												
Multi-Family (#230 Residential Condominium/Townhomes)	66 DU	0.44	0.52	5.81	383	5	24												
Commercial (#814 Specialty Retail Center)	42.7 KSF	1.03	2.71	44.32	1892	27	17												
Office (#710 General Office)	22.3 KSF	1.55	1.49	11.01	246	30	4												
Subtotal					2138	77	89										134		
Total Trips					2138	AM		166 vph		PM		264 vph							
Proposed Land Use																			
Single-Family (#210 Single-Family Detached Housing) ³	79 DU	0.75	1.01	9.57	756	15	44												
Multi-Family (#230 Residential Condominium/Townhomes) ³	66 DU	0.44	0.52	5.81	383	5	24												
#931 Quality Restaurant ²	4.5 KSF	0.81	7.49	89.95	405	3	1												
#826 Specialty Retail Center ³	17.8 KSF	1.03	2.71	44.32	787	12	8												
Retail Internal Capture ⁴					-144	-2	-1												
#710 General Office Building	17.8 KSF	1.56	1.49	11.03	196	25	4												
Office Internal Capture ⁴					-28	0	-1												
#230 Residential Condo/Townhouse	65 DU	0.44	0.52	5.81	378	5	24												
Residential Internal Capture ⁴					-116	-1	-1												
Subtotal					2616	62	102										103		
Total External Trips for North End Filing 2 Trips					2616	AM		164 vph		PM		238 vph							
Change in Land Use Impacts (Traffic Volume Difference)					478		-2										-26 vph		
Percentage Difference					18.3%		-1.2%										-10.9%		

¹ Values obtained from *Trip Generation, 9th Edition*, Institute of Transportation Engineers, 2012.
² The directional distribution was not available for the AM peak hour adjacent street traffic. Therefore, the directional distribution from the AM Peak Hour of Generator was used.
³ The Previous Land Use Calculations are from LSC's April 1, 2011 *Traffic Addendum for North End Phase 2*.
⁴ Refer to the ITE *Multi-Use Trip Generation Calculation Worksheets* in the Appendix.

3.2 Trip Mode Split

As the RTD DASH Route serves the South Boulder Road corridor from Boulder to Lafayette, there is a strong likelihood that a portion of trips generated by this site will utilize travel methods other than automobiles. However, in the interest of a conservative roadway infrastructure analysis, all trips were assumed to use automobiles.

3.3 Trip Distribution

Anticipated directional distribution for the site-generated traffic is heavily influenced by the surrounding roadway network, as well as similar and complementary land uses. LSC's *Traffic Letter's*¹ assumptions were reviewed and found to be consistent with the anticipated directional distribution for the site traffic.

Refer to **Figure 5** for the anticipated directional distribution of the North End Phase 2's site-generated traffic.

3.4 Trip Assignment

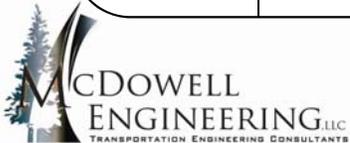
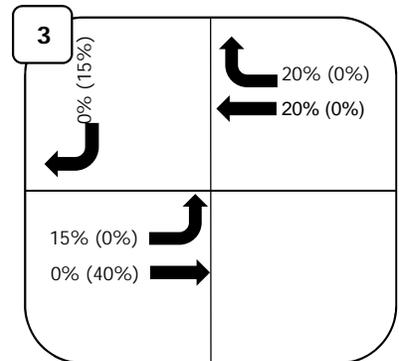
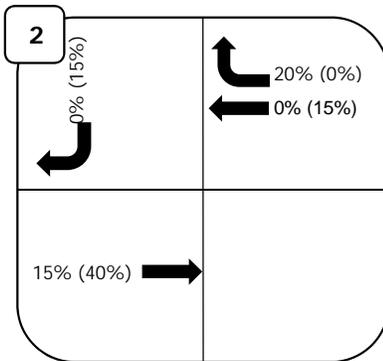
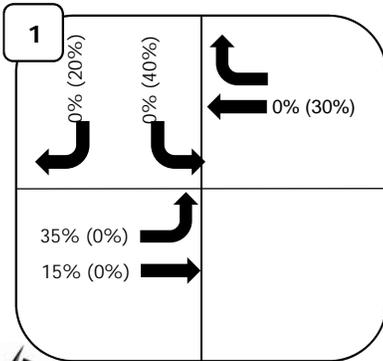
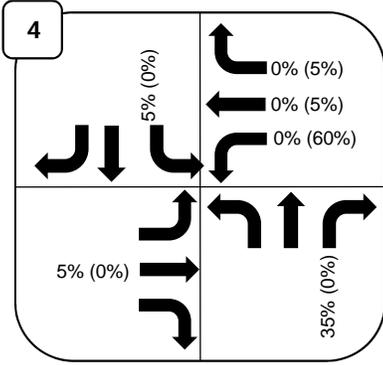
The assignment of anticipated vehicular trips on the local roadway network was calculated by applying the site trip generation, the vehicular mode split and the estimated trip distribution. Project trip assignment for the peak hour (AM/PM) site-generated traffic can be found in **Figure 6**.

3.5 Future Total Traffic Projections

The Year 2035 anticipated total traffic is the sum of Year 2035 Background Traffic (**Figure 4**) traffic with the 2035 Trip Assignment (**Figure 6**) and can be seen in **Figure 7**. Volumes are shown in AM/PM peak hour volumes.

Figure 5: Directional Distribution of Site-Generated Traffic*

*Based upon LSC's North End Phase 2 Traffic Letter dated April 1, 2011



Project Number: M1185
Prepared by: KJS



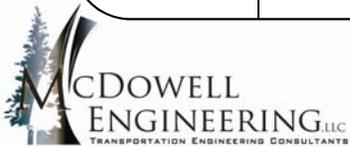
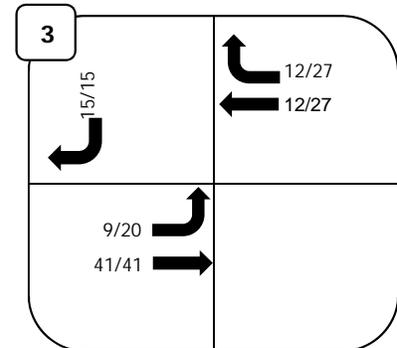
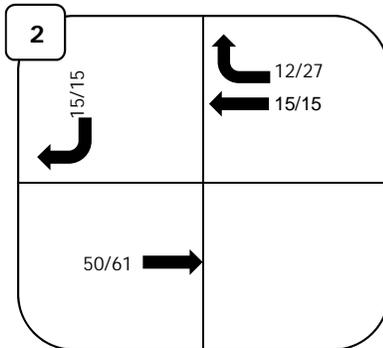
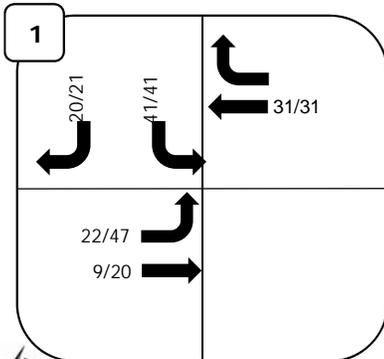
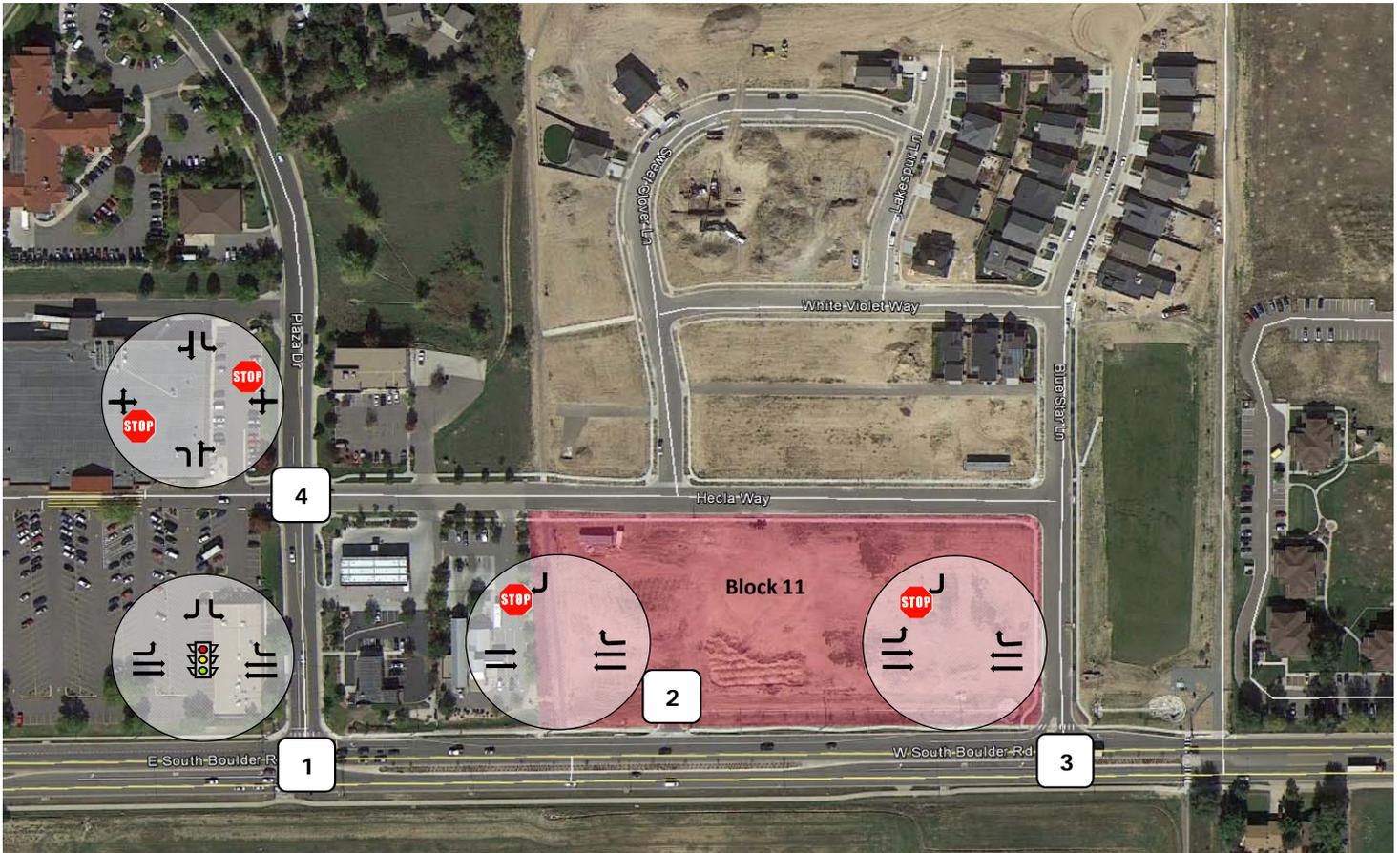
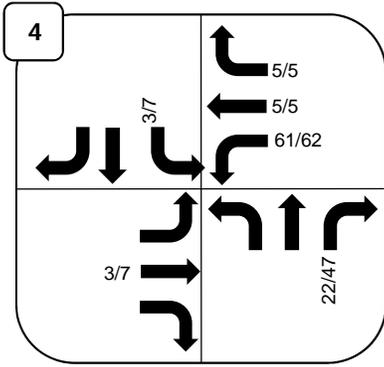
LEGEND :

Inbound/Outbound Distribution = XX%/(XX%)

Turning Movements



Figure 6: Assignment of North End Phase 2's Site-Generated Traffic



Project Number: M1185
Prepared by: KJS



LEGEND :

AM/PM Peak Hour Volumes = XX/XX (vph)

Turning Movements

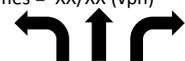
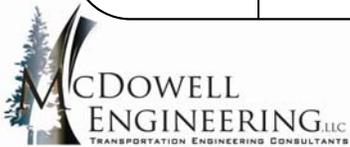
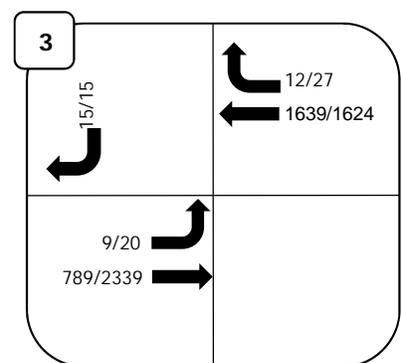
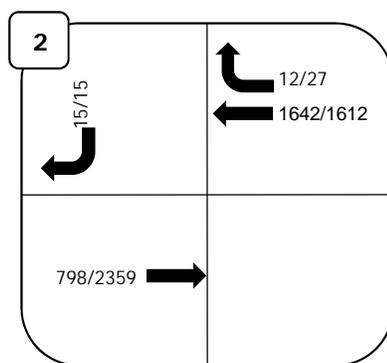
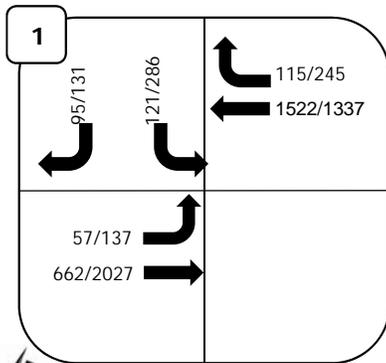
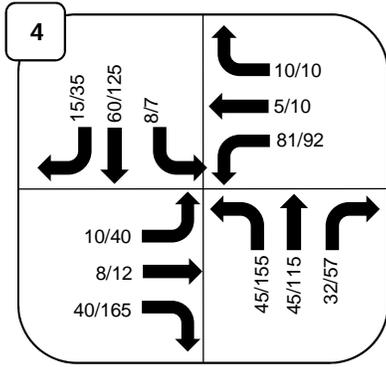


Figure 7: Year 2035 Total Traffic



Project Number: M1185
Prepared by: KJS



LEGEND :

AM/PM Peak Hour Volumes = XX/XX (vph)

Turning Movements



4.0 Transportation Impact Analysis

4.1 Year 2035 Total Conditions (Background + Site-Generated Traffic)

A Highway Capacity Manual (HCM 2010) analysis was performed for the long term Year 2035 conditions. **Table 3** summarizes the anticipated level of service (LOS) and delays.

Table 3: Year 2035 Total Traffic Level of Service

Intersection	Traffic Control	Approach	Level of Service (Delay in Seconds)	
			AM	PM
1. S. Boulder Road / Plaza Drive	Signal	Overall	B (17.7)	C (22.6)
		EB	A (6.8)	C (26.7)
		WB	C (22.5)	B (16.6)
		SB	B (17.9)	C (24.5)
2. S. Boulder Road / Sweet Clover RIRO Access	SB Stop	EB	A (0)	A (0)
		WB	A (0)	A (0)
		SB	C (18.4)	C (18.1)
3. S. Boulder Road / Blue Star 3/4 Access	SB Stop	EB	A (0)	A (0)
		WB	A (0)	A (0)
		SB	C (18.4)	C (18.2)
4. Plaza Drive / Helca Way	EB/WB Stop	EB	A (9.6)	B (14.2)
		WB	B (11.7)	D (32.5)
		NB	A (3.0)	A (4.0)
		SB	A (1.0)	A (0)

S. Boulder Road/Plaza Drive: This signalized intersection is anticipated to operate at an acceptable Level of Service through Year 2035 with or without the addition of site-generated traffic.

S. Boulder Road/Sweet Clover RIRO Access: This intersection is anticipated to operate at an acceptable Level of Service through Year 2035 with or without the addition of site-generated traffic.

S. Boulder Road/Blue Star 3/4 Access: This intersection is anticipated to operate at an acceptable Level of Service through Year 2035 with or without the addition of site-generated traffic.

Plaza Drive/Helca Way: This intersection is anticipated to operate at an acceptable Level of Service through Year 2035 with or without the addition of site-generated traffic.

4.2 Project Accesses

North End Phase 2, Block 11 will have three accesses to the greater roadway network. In addition to serving this project, these accesses will also serve the entire North End Phase 2 site and a few adjacent properties to the west.

S. Boulder Road/Sweet Clover RIRO Access: The secondary site access to South Boulder Road is a right-in, right-out driveway that aligns with Sweet Clover Lane to the north. There is a median in South Boulder Road that restricts this access to right turn in and tight turn out movements only. There are currently no auxiliary turn lanes at this intersection. There is a 12 foot wide painted shoulder in the vicinity of this access.

S. Boulder Road/Blue Star 3/4 Access: The proposed primary site access is located at South Boulder Road and Blue Star Lane. This access is restricted to a 3/4 movement by a raised median. The southbound left turn onto South Boulder Road is prohibited. This intersection currently has a westbound right and eastbound left deceleration lane. There is also a southbound right acceleration lane.

Plaza Drive/Helca Way: This is another secondary access via Helca Way to Plaza Drive and S. Boulder Road. It is an existing east-west, stop-controlled intersection. There are auxiliary northbound and southbound left turn lanes.

4.3 Project Sight Distance

Both South Boulder Road and Plaza Drive provide adequate sight distance in excess of the 165 feet for a 35mph roadway required by AASHTO.⁸

4.4 Auxiliary Turn Lanes

The City of Louisville's *Design and Construction Standards*⁶ do not address auxiliary lane requirements. Therefore, the State of Colorado's *State Highway Access Code*⁷ was used to determine auxiliary turn lane requirements for the project. South Boulder Road is the equivalent of CDOT's urban arterial, NR-B, roadway classification.

S. Boulder Road/Plaza Drive: This signalized intersection currently has auxiliary turn lanes that are anticipated to accommodate the forecasted Year 2035 traffic.

S. Boulder Road/Sweet Clover RIRO Access: This intersection does not require auxiliary turn lanes per the *Access Code*⁷. However, there are existing 12 foot wide shoulders on either side of the access. The applicant may consider providing a westbound right turn deceleration lane in this width. It is not mandatory.

S. Boulder Road/Blue Star 3/4 Access: This intersection currently has auxiliary turn lanes that are anticipated to accommodate the forecasted Year 2035 traffic.

Plaza Drive/Helca Way: This intersection currently has auxiliary turn lanes that are anticipated to accommodate the forecasted Year 2035 traffic.

5.0 Conclusions and Recommendations

This new application is proposing a land use change in Block 11 of the North End Phase 2 development. As shown in **Figure 2**, the new site plan incorporates 17,750sf commercial space, 17,750sf office space, 4,500sf restaurant space, and 65 multifamily units. Construction is anticipated to be completed in Year 2016.

The North End Phase 2, Block 11 project is expected to generate 1,477 trips over the course of an average weekday. This includes 76 trips during the morning peak hour and 124 trips during the evening peak hour.

With the residential component of Phase 2, the project as a whole is expected to generate 2,616 trips over the course of an average weekday. This includes 164 trips during the morning peak hour and 238 trips during the evening peak hour.

This is an increase of 18% of the average weekday traffic from the previous Phase 2 plans. The morning peak hour traffic is anticipated to decrease by 1.2%. The evening peak hour will decrease by 10.9%.

The North End Phase 2, Block 11 property will have three accesses to the greater roadway network. In addition to serving this project, these accesses will also serve the entire North End Phase 2 site and a few adjacent properties to the west.

S. Boulder Road/Plaza Drive: This signalized intersection is anticipated to continue operating at an acceptable Level of Service through Year 2035 with or without the addition of site-generated traffic.

S. Boulder Road/Sweet Clover RIRO Access: This intersection does not require auxiliary turn lanes per the *Access Code*⁷. However, there are existing 12 foot wide shoulders on either side of the access. The applicant may consider providing a westbound right turn deceleration lane in this width. It is not mandatory. It is anticipated to operate at an acceptable Level of Service through Year 2035.

S. Boulder Road/Blue Star 3/4 Access: This intersection is anticipated to continue operating at an acceptable Level of Service through Year 2035 with or without the addition of site-generated traffic.

Plaza Drive/Helca Way: This intersection is anticipated to continue operating at an acceptable Level of Service through Year 2035 with or without the addition of site-generated traffic.

6.0 Appendix

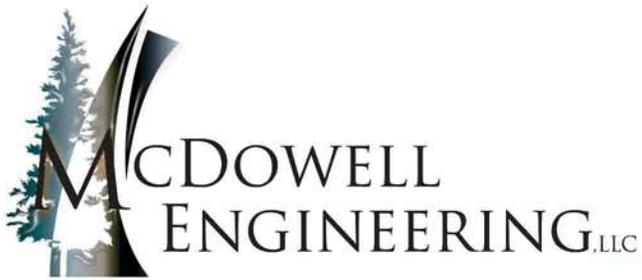
Reference Documents

1. *North End Phase 2 Traffic Letter*. LSC Transportation Consultants, April 1, 2011.
2. *Highway Capacity Manual*. Transportation Research Board, 2010.
3. *Trip Generation Manual, 9th Edition*. Institute of Transportation Engineers, 2012.
4. *DASH Route Map*. Regional Transportation District, May 2015.
5. *Comprehensive Plan*. City of Louisville, 2013.
6. *Design and Construction Standards*, City of Louisville Department of Public Works Engineering Division, 2015.
7. *State Highway Access Code*. State of Colorado, 2002.
8. *A Policy on Geometric Design of Highway and Streets*. American Association of State highway and Transportation Officials, 2011.

Included Reference Documents

1. Traffic Impact Study Scoping Form
2. ITE Internal Trip Reduction Calculations
3. RTD's DASH Bus Route Map
4. HCM Analysis
 - i. South Boulder Road/Plaza Drive
 - ii. South Boulder Road/Sweet Clover RIRO Access
 - iii. South Boulder Road/Blue Star 3/4 Access
 - iv. Plaza Drive/Helca Way

Traffic Study Scoping Form



Contact Information	
Consultant Name: Tele: E-mail:	McDowell Engineering; Kari McDowell Schroeder, PE, PTOE 970-623-0788 kari@mcdowelleng.com
Developer/Owner Name:	Markel Homes/Chad Kipfer

Project Information <i>(Attach proposed Site Plan)</i>					
Project Name:	North End Phase 2				
Project Location:	1501 South Boulder Road, Louisville				
Project Description: Application type (rezoning, subdivision), acreage, new or re-development, etc.	PUD Modification. From 42,700sf commercial and 22,300sf office, to: 17,850sf commercial, 17,850sf office, 5,400sf restaurant, and 79 condo/ townhomes				
Existing / Proposed Land Uses	ITE Code	#units or Size	Existing / Proposed Land Uses	ITE Code	#units or Size
See Attached.					

Please attach Trip Generation Summary table for large or mixed use projects

Assumptions			
Study Horizons	Current Year: <u>2015</u>	Build-out : <u>2018</u>	Long Term : <u>2035</u>
Study Area Boundaries <i>(Attach map if needed)</i>	North: Helca Way	South: S. Boulder Road	
	East: Blue Star Access	West: Plaza Drive	
Intersections and Road Segments to be Evaluated <i>(Attach map if needed)</i>	1. All Site entrances		5.
	2. S. Boulder Rd. / Plaza Dr.		6.
	3. S. Boulder Rd. / Blue Star Access		7.
	4. Plaza Dr. / Helca Way		8.
Trip Distribution	<i>See Attached Sketch</i> Match LSC's distribution from the April 1, 2011 Traffic Impact Analysis for North End Phase 2.		

Assumptions (continued)			
Trip Reductions <i>(include in Trip Generation table if provided)</i>	Internal Capture	Use: Per ITE Trip Generation Manual rates. See attached. Use: _____ %	Pass By Use: N/A _____ 0 % Use: _____ %
Anticipated Future Traffic Growth Rates <i>(Describe methodology)</i>	2.0% from LSC's 2011 Traffic Addendum for Year 2030 to a forecasted Year 2035. Applicable on on S. Boulder Road and Plaza Drive.		Study Time Periods <i>(circle all that apply)</i> AM (7-9) PM (4-6) SAT (noon) Other
Other Factors proposed/assumed transp. improvements, other studies, nearby proposed developments, etc.			
Analysis Methods & Issues <i>(check all that apply)</i>	<input checked="" type="checkbox"/> Synchro <input type="checkbox"/> HCS <input type="checkbox"/> aaSidra or Rodel <input checked="" type="checkbox"/> Intersections <input type="checkbox"/> Roadway Sections <input type="checkbox"/> Signal Warrants <input checked="" type="checkbox"/> Safety/Sight Distance <input checked="" type="checkbox"/> Queuing & Storage <input type="checkbox"/> CDOT (Access Permit, other) <input checked="" type="checkbox"/> Identify Bicycle, Pedestrian & Transit Accommodations <input type="checkbox"/> TDM <input type="checkbox"/> Neighborhood Impacts <input type="checkbox"/> Other _____		

ATTACHMENTS, NOTES, & other ASSUMPTIONS:

SIGNED: 
 Applicant or Consultant

PRINT NAME: Kari McDowell Schroeder, PE, PTOE
 Applicant or Consultant

DATE: 9/25/2015
9/28/2015 revised

REVIEW AGENCY: _____

DEPARTMENT: _____

SIGNED: _____

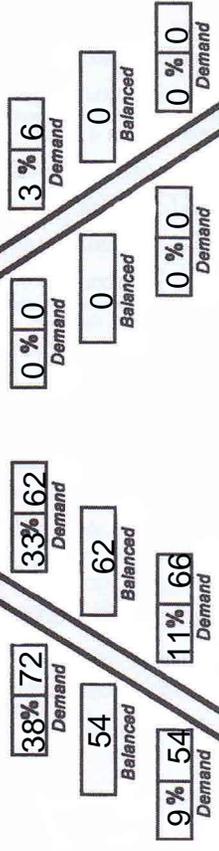
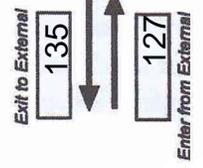
PRINT NAME: _____

DATE: _____

Multi-Use Trip Generation Calculation

LAND USE A Residential
 ITE LU Code #220 Condo/Twnhm
 Size 65 du

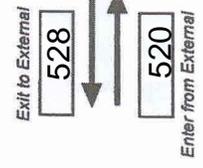
	Total	Internal	External
Enter	189	62	127
Exit	189	54	135
Total	378	116	262
%	100%	31%	69%



LAND USE B Retail

ITE LU Code * See below.
 Size 22,250 sf

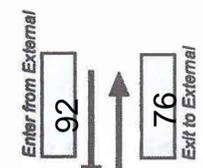
	Total	Internal	External
Enter	596	76	520
Exit	596	68	528
Total	1192	144	1048
%	100%	12%	88%



LAND USE C Office

ITE LU Code #710 Office
 Size 1,775 sf

	Total	Internal	External
Enter	98	6	92
Exit	98	22	76
Total	196	28	168
%	100%	14%	86%



Net External Trips for Multi-Use Development

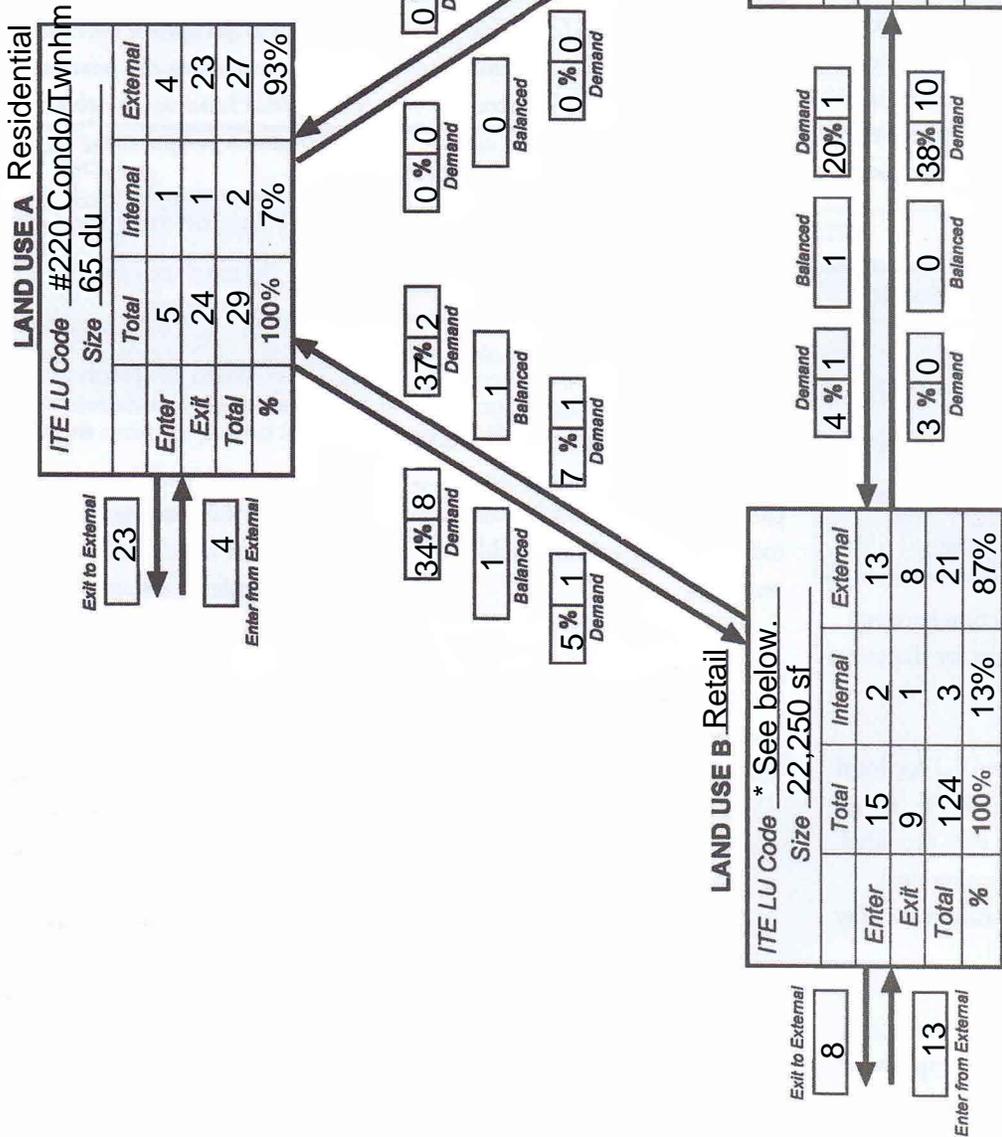
	LAND USE A	LAND USE B	LAND USE C	TOTAL
Enter	127	520	92	739
Exit	135	528	76	739
Total	262	1048	168	1478
Single-Use Trip Gen. Est.	378	1192	196	1766
			INTERNAL CAPTURE	16.3%

Source: Kaku Associates, Inc.

* #826 Specialty Retail & #931 Restaurant

Multi-Use Trip Generation Calculation

Analyst KJS
 Date 1/18/2016



Net External Trips for Multi-Use Development

	LAND USE A	LAND USE B	LAND USE C	TOTAL
Enter	4	13	25	42
Exit	23	8	3	34
Total	27	21	28	76
Single-Use Trip Gen. Est.	29	24	29	82
				INTERNAL CAPTURE 7.3%

Source: Kaku Associates, Inc.

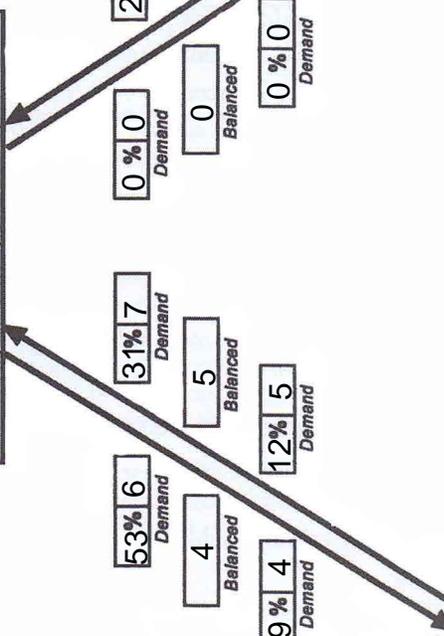
* #826 Specialty Retail & #931 Restaurant

Multi-Use Trip Generation Calculation

Analyst KJS
 Date 1/18/2016

LAND USE A Residential
 ITE LU Code #220 Condo/Twnhmn
 Size 65 du

	Total	Internal	External
Enter	23	5	18
Exit	12	4	8
Total	35	9	26
%	100%	26%	74%



LAND USE B Retail
 ITE LU Code * See below.
 Size 22,250 sf

	Total	Internal	External
Enter	45	5	40
Exit	39	6	33
Total	84	11	73
%	100%	13%	87%

LAND USE C Office
 ITE LU Code #710 Office
 Size 1,775 sf

	Total	Internal	External
Enter	5	1	4
Exit	22	1	21
Total	27	2	25
%	100%	7%	93%

Net External Trips for Multi-Use Development

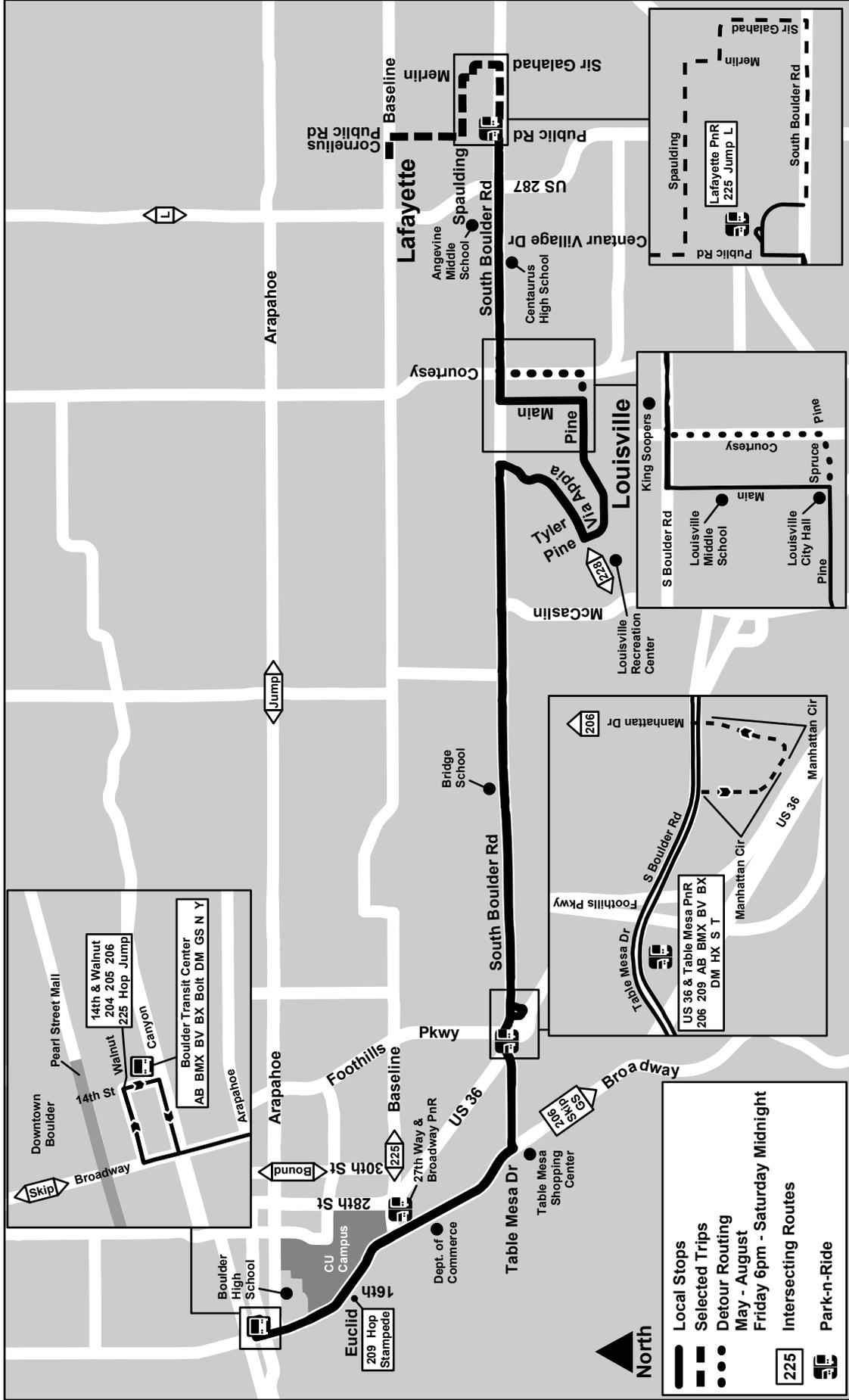
	LAND USE A	LAND USE B	LAND USE C	TOTAL
Enter	18	40	4	62
Exit	8	33	21	62
Total	26	73	25	124
Single-Use Trip Gen. Est.	35	84	27	146
			INTERNAL CAPTURE	15.1%

Source: Kaku Associates, Inc.

* # 826 Specialty Retail & #931 Restaurant

Route DASH Boulder/Lafayette via Louisville

Effective: 10 May 2015
Map Revised: 10 May 2015



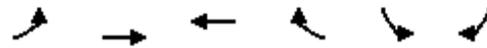
- Local Stops
- Selected Trips
- Detour Routing
- May - August
- Friday 6pm - Saturday Midnight
- Intersecting Routes
- Park-n-Ride



**HCM Analysis
South Boulder Road/Plaza Drive**



Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Volume (veh/h)	35	653	1491	115	80	75
Number	7	4	8	18	1	16
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00			1.00	1.00	1.00
Parking Bus Adj	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow veh/h/ln	186.3	186.3	186.3	186.3	186.3	186.3
Lanes	1	2	2	1	1	1
Cap, veh/h	204	2174	1798	764	492	439
Arrive On Green	0.03	0.58	0.48	0.48	0.28	0.28
Sat Flow, veh/h	1774	3725	3725	1583	1774	1583
Grp Volume(v), veh/h	38	710	1621	125	87	82
Grp Sat Flow(s),veh/h/ln	1774	1863	1863	1583	1774	1583
Q Serve(g_s), s	0.6	5.7	23.0	2.6	2.1	2.3
Cycle Q Clear(g_c), s	0.6	5.7	23.0	2.6	2.1	2.3
Prop In Lane	1.00			1.00	1.00	1.00
Lane Grp Cap(c), veh/h	204	2174	1798	764	492	439
V/C Ratio(X)	0.19	0.33	0.90	0.16	0.18	0.19
Avail Cap(c_a), veh/h	271	2327	1810	769	492	439
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	12.3	6.2	13.7	8.4	15.8	15.9
Incr Delay (d2), s/veh	0.4	0.1	6.7	0.1	0.8	0.9
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile Back of Q (50%), veh/ln	0.2	2.1	10.7	0.9	1.0	0.1
Lane Grp Delay (d), s/veh	12.7	6.3	20.3	8.5	16.6	16.8
Lane Grp LOS	B	A	C	A	B	B
Approach Vol, veh/h		748	1746		169	
Approach Delay, s/veh		6.6	19.5		16.7	
Approach LOS		A	B		B	
Timer						
Assigned Phs	7	4	8			
Phs Duration (G+Y+Rc), s	5.8	37.6	31.8			
Change Period (Y+Rc), s	4.0	4.0	4.0			
Max Green Setting (Gmax), s	4.0	36.0	28.0			
Max Q Clear Time (g_c+I1), s	2.6	7.7	25.0			
Green Ext Time (p_c), s	0.0	21.8	2.8			
Intersection Summary						
HCM 2010 Ctrl Delay			15.7			
HCM 2010 LOS			B			
Notes						



Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Volume (veh/h)	90	2007	1306	245	245	110
Number	7	4	8	18	1	16
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00			1.00	1.00	1.00
Parking Bus Adj	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow veh/h/ln	186.3	186.3	186.3	186.3	186.3	186.3
Lanes	1	2	2	1	1	1
Cap, veh/h	262	2235	1786	759	473	422
Arrive On Green	0.05	0.60	0.48	0.48	0.27	0.27
Sat Flow, veh/h	1774	3725	3725	1583	1774	1583
Grp Volume(v), veh/h	98	2182	1420	266	266	120
Grp Sat Flow(s),veh/h/ln	1774	1863	1863	1583	1774	1583
Q Serve(g_s), s	1.5	33.9	19.2	6.3	7.8	3.6
Cycle Q Clear(g_c), s	1.5	33.9	19.2	6.3	7.8	3.6
Prop In Lane	1.00			1.00	1.00	1.00
Lane Grp Cap(c), veh/h	262	2235	1786	759	473	422
V/C Ratio(X)	0.37	0.98	0.80	0.35	0.56	0.28
Avail Cap(c_a), veh/h	285	2236	1786	759	473	422
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	11.6	11.6	13.1	9.8	19.0	17.4
Incr Delay (d2), s/veh	0.9	13.9	2.6	0.3	4.8	1.7
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile Back of Q (50%), veh/ln	0.7	16.7	8.5	2.3	3.8	3.6
Lane Grp Delay (d), s/veh	12.5	25.5	15.7	10.0	23.7	19.1
Lane Grp LOS	B	C	B	B	C	B
Approach Vol, veh/h		2280	1686		386	
Approach Delay, s/veh		24.9	14.8		22.3	
Approach LOS		C	B		C	
Timer						
Assigned Phs	7	4	8			
Phs Duration (G+Y+Rc), s	7.2	40.0	32.8			
Change Period (Y+Rc), s	4.0	4.0	4.0			
Max Green Setting (Gmax), s	4.0	36.0	28.0			
Max Q Clear Time (g_c+I1), s	3.5	35.9	21.2			
Green Ext Time (p_c), s	0.0	0.0	6.7			
Intersection Summary						
HCM 2010 Ctrl Delay			20.8			
HCM 2010 LOS			C			
Notes						



Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Volume (veh/h)	57	662	1522	115	121	95
Number	7	4	8	18	1	16
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00			1.00	1.00	1.00
Parking Bus Adj	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow veh/h/ln	186.3	186.3	186.3	186.3	186.3	186.3
Lanes	1	2	2	1	1	1
Cap, veh/h	216	2196	1780	756	485	433
Arrive On Green	0.04	0.59	0.48	0.48	0.27	0.27
Sat Flow, veh/h	1774	3725	3725	1583	1774	1583
Grp Volume(v), veh/h	62	720	1654	125	132	103
Grp Sat Flow(s),veh/h/ln	1774	1863	1863	1583	1774	1583
Q Serve(g_s), s	0.9	5.7	24.4	2.6	3.4	3.0
Cycle Q Clear(g_c), s	0.9	5.7	24.4	2.6	3.4	3.0
Prop In Lane	1.00			1.00	1.00	1.00
Lane Grp Cap(c), veh/h	216	2196	1780	756	485	433
V/C Ratio(X)	0.29	0.33	0.93	0.17	0.27	0.24
Avail Cap(c_a), veh/h	261	2294	1784	758	485	433
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	13.2	6.1	14.3	8.7	16.7	16.5
Incr Delay (d2), s/veh	0.7	0.1	9.2	0.1	1.4	1.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile Back of Q (50%), veh/ln	0.4	2.1	12.1	0.9	1.6	0.2
Lane Grp Delay (d), s/veh	13.9	6.2	23.5	8.8	18.0	17.8
Lane Grp LOS	B	A	C	A	B	B
Approach Vol, veh/h		782	1779		235	
Approach Delay, s/veh		6.8	22.5		17.9	
Approach LOS		A	C		B	
Timer						
Assigned Phs	7	4	8			
Phs Duration (G+Y+Rc), s	6.5	38.5	31.9			
Change Period (Y+Rc), s	4.0	4.0	4.0			
Max Green Setting (Gmax), s	4.0	36.0	28.0			
Max Q Clear Time (g_c+I1), s	2.9	7.7	26.4			
Green Ext Time (p_c), s	0.0	22.1	1.5			
Intersection Summary						
HCM 2010 Ctrl Delay			17.7			
HCM 2010 LOS			B			
Notes						

						
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Volume (veh/h)	137	2027	1337	245	286	131
Number	7	4	8	18	1	16
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00			1.00	1.00	1.00
Parking Bus Adj	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow veh/h/ln	186.3	186.3	186.3	186.3	186.3	186.3
Lanes	1	2	2	1	1	1
Cap, veh/h	274	2235	1739	739	473	422
Arrive On Green	0.07	0.60	0.47	0.47	0.27	0.27
Sat Flow, veh/h	1774	3725	3725	1583	1774	1583
Grp Volume(v), veh/h	149	2203	1453	266	311	142
Grp Sat Flow(s),veh/h/ln	1774	1863	1863	1583	1774	1583
Q Serve(g_s), s	2.4	34.7	20.5	6.5	9.4	4.3
Cycle Q Clear(g_c), s	2.4	34.7	20.5	6.5	9.4	4.3
Prop In Lane	1.00			1.00	1.00	1.00
Lane Grp Cap(c), veh/h	274	2235	1739	739	473	422
V/C Ratio(X)	0.54	0.99	0.84	0.36	0.66	0.34
Avail Cap(c_a), veh/h	274	2235	1739	739	473	422
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	12.8	11.7	14.0	10.3	19.6	17.7
Incr Delay (d2), s/veh	2.2	15.7	3.7	0.3	7.0	2.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile Back of Q (50%), veh/ln	1.1	17.4	9.0	2.3	4.7	4.3
Lane Grp Delay (d), s/veh	15.0	27.5	17.7	10.6	26.5	19.9
Lane Grp LOS	B	C	B	B	C	B
Approach Vol, veh/h		2352	1719		453	
Approach Delay, s/veh		26.7	16.6		24.5	
Approach LOS		C	B		C	
Timer						
Assigned Phs	7	4	8			
Phs Duration (G+Y+Rc), s	8.0	40.0	32.0			
Change Period (Y+Rc), s	4.0	4.0	4.0			
Max Green Setting (Gmax), s	4.0	36.0	28.0			
Max Q Clear Time (g_c+I1), s	4.4	36.7	22.5			
Green Ext Time (p_c), s	0.0	0.0	5.5			
Intersection Summary						
HCM 2010 Ctrl Delay			22.6			
HCM 2010 LOS			C			
Notes						

**HCM Analysis
South Boulder Road/RIRO Access**

Intersection

Intersection Delay, s/veh 0.1

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Vol, veh/h	0	798	1642	12	0	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	0	-	0
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	867	1785	13	0	16

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	1785	0	2219
Stage 1	-	-	1785
Stage 2	-	-	434
Follow-up Headway	2.22	-	3.52
Pot Capacity-1 Maneuver	343	-	285
Stage 1	-	-	120
Stage 2	-	-	621
Time blocked-Platoon, %	-	-	-
Mov Capacity-1 Maneuver	343	-	285
Mov Capacity-2 Maneuver	-	-	37
Stage 1	-	-	120
Stage 2	-	-	621

Approach	EB	WB	SB
HCM Control Delay, s	0	0	18

Minor Lane / Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	343	-	-	-	285
HCM Lane V/C Ratio	-	-	-	-	0.057
HCM Control Delay (s)	0	-	-	-	18.4
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	0	-	-	-	0.181

Notes

~ : Volume Exceeds Capacity; \$: Delay Exceeds 300 Seconds; Error : Computation Not Defined

Intersection

Intersection Delay, s/veh 0.1

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Vol, veh/h	0	2359	1612	27	0	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	0	-	0
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	2564	1752	29	0	16

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	1752	0	876
Stage 1	-	-	-
Stage 2	-	-	-
Follow-up Headway	2.22	-	3.32
Pot Capacity-1 Maneuver	354	-	292
Stage 1	-	-	-
Stage 2	-	-	-
Time blocked-Platoon, %	-	-	-
Mov Capacity-1 Maneuver	354	-	292
Mov Capacity-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	SB
HCM Control Delay, s	0	0	18

Minor Lane / Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	354	-	-	-	292
HCM Lane V/C Ratio	-	-	-	-	0.056
HCM Control Delay (s)	0	-	-	-	18.1
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	0	-	-	-	0.177

Notes

~ : Volume Exceeds Capacity; \$: Delay Exceeds 300 Seconds; Error : Computation Not Defined

HCM Analysis
South Boulder Road/Blue Star 3/4 Access

Intersection

Intersection Delay, s/veh 0.2

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Vol, veh/h	9	789	1639	12	0	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	0	-	0
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	10	858	1782	13	0	16

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	1782	0	891
Stage 1	-	-	-
Stage 2	-	-	-
Follow-up Headway	2.22	-	3.32
Pot Capacity-1 Maneuver	344	-	285
Stage 1	-	-	-
Stage 2	-	-	-
Time blocked-Platoon, %	-	-	-
Mov Capacity-1 Maneuver	344	-	285
Mov Capacity-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	SB
HCM Control Delay, s	0	0	18

Minor Lane / Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	344	-	-	-	285
HCM Lane V/C Ratio	0.028	-	-	-	0.057
HCM Control Delay (s)	15.771	-	-	-	18.4
HCM Lane LOS	C	-	-	-	C
HCM 95th %tile Q(veh)	0.088	-	-	-	0.181

Notes

~ : Volume Exceeds Capacity; \$: Delay Exceeds 300 Seconds; Error : Computation Not Defined

Intersection

Intersection Delay, s/veh 0.1

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Vol, veh/h	20	2339	1624	27	0	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	0	-	0
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	22	2542	1765	29	0	16

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	1765	0	883
Stage 1	-	-	-
Stage 2	-	-	-
Follow-up Headway	2.22	-	3.32
Pot Capacity-1 Maneuver	350	-	289
Stage 1	-	-	-
Stage 2	-	-	-
Time blocked-Platoon, %	-	-	-
Mov Capacity-1 Maneuver	350	-	289
Mov Capacity-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	SB
HCM Control Delay, s	0	0	18

Minor Lane / Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	350	-	-	-	289
HCM Lane V/C Ratio	0.062	-	-	-	0.056
HCM Control Delay (s)	15.966	-	-	-	18.2
HCM Lane LOS	C	-	-	-	C
HCM 95th %tile Q(veh)	0.198	-	-	-	0.178

Notes

~ : Volume Exceeds Capacity; \$: Delay Exceeds 300 Seconds; Error : Computation Not Defined

**HCM Analysis
Plaza Drive/Helca Way**

Intersection

Intersection Delay, s/veh 4.5

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	10	5	40	20	0	5	45	45	10	5	60	15
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	0	-	-	0	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	11	5	43	22	0	5	49	49	11	5	65	16

Major/Minor

	Minor2	Minor1			Major1			Major2				
Conflicting Flow All	239	242	73	261	244	54	82	0	0	60	0	0
Stage 1	84	84	-	152	152	-	-	-	-	-	-	-
Stage 2	155	158	-	109	92	-	-	-	-	-	-	-
Follow-up Headway	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Capacity-1 Maneuver	715	660	989	692	658	1013	1515	-	-	1544	-	-
Stage 1	924	825	-	850	772	-	-	-	-	-	-	-
Stage 2	847	767	-	896	819	-	-	-	-	-	-	-
Time blocked-Platoon, %								-	-		-	-
Mov Capacity-1 Maneuver	692	637	989	639	635	1013	1515	-	-	1544	-	-
Mov Capacity-2 Maneuver	692	637	-	639	635	-	-	-	-	-	-	-
Stage 1	894	822	-	823	747	-	-	-	-	-	-	-
Stage 2	815	742	-	848	816	-	-	-	-	-	-	-

Approach

HCM Control Delay, s EB WB NB SB

 9 10 3 0

Minor Lane / Major Mvmt

	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1515	-	-	877	690	1544	-	-
HCM Lane V/C Ratio	0.032	-	-	0.068	0.039	0.004	-	-
HCM Control Delay (s)	7.456	-	-	9.4	10.4	7.34	-	-
HCM Lane LOS	A			A	B	A		
HCM 95th %tile Q(veh)	0.1	-	-	0.219	0.123	0.011	-	-

Notes

~ : Volume Exceeds Capacity; \$: Delay Exceeds 300 Seconds; Error : Computation Not Defined

Intersection

Intersection Delay, s/veh 6.9

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	40	5	165	30	5	5	155	115	10	0	125	35
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	0	-	-	0	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	43	5	179	33	5	5	168	125	11	0	136	38

Major/Minor	Minor2		Minor1			Major1		Major2				
Conflicting Flow All	628	628	155	714	641	130	174	0	0	136	0	0
Stage 1	155	155	-	467	467	-	-	-	-	-	-	-
Stage 2	473	473	-	247	174	-	-	-	-	-	-	-
Follow-up Headway	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Capacity-1 Maneuver	395	400	891	346	393	920	1403	-	-	1448	-	-
Stage 1	847	769	-	576	562	-	-	-	-	-	-	-
Stage 2	572	558	-	757	755	-	-	-	-	-	-	-
Time blocked-Platoon, %								-	-	-	-	-
Mov Capacity-1 Maneuver	352	352	891	248	346	920	1403	-	-	1448	-	-
Mov Capacity-2 Maneuver	352	352	-	248	346	-	-	-	-	-	-	-
Stage 1	746	769	-	507	495	-	-	-	-	-	-	-
Stage 2	495	491	-	600	755	-	-	-	-	-	-	-

Approach	EB		WB			NB		SB		
HCM Control Delay, s	13		20			4		0		

Minor Lane / Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1403	-	-	671	284	1448	-	-
HCM Lane V/C Ratio	0.12	-	-	0.34	0.153	-	-	-
HCM Control Delay (s)	7.916	-	-	13.1	20	0	-	-
HCM Lane LOS	A		B			C		A
HCM 95th %tile Q(veh)	0.408	-	-	1.506	0.533	0	-	-

Notes

~ : Volume Exceeds Capacity; \$: Delay Exceeds 300 Seconds; Error : Computation Not Defined

Intersection

Intersection Delay, s/veh 5.8

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	10	8	40	81	5	10	45	45	32	8	60	15
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	0	-	-	0	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	11	9	43	88	5	11	49	49	35	9	65	16

Major/Minor

	Minor2	Minor1			Major1			Major2				
Conflicting Flow All	263	273	73	281	263	66	82	0	0	84	0	0
Stage 1	91	91	-	164	164	-	-	-	-	-	-	-
Stage 2	172	182	-	117	99	-	-	-	-	-	-	-
Follow-up Headway	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Capacity-1 Maneuver	690	634	989	671	642	998	1515	-	-	1513	-	-
Stage 1	916	820	-	838	762	-	-	-	-	-	-	-
Stage 2	830	749	-	888	813	-	-	-	-	-	-	-
Time blocked-Platoon, %								-	-		-	-
Mov Capacity-1 Maneuver	658	610	989	616	618	998	1515	-	-	1513	-	-
Mov Capacity-2 Maneuver	658	610	-	616	618	-	-	-	-	-	-	-
Stage 1	886	815	-	811	737	-	-	-	-	-	-	-
Stage 2	789	725	-	835	808	-	-	-	-	-	-	-

Approach

	EB	WB	NB	SB
HCM Control Delay, s	10	12	3	1

Minor Lane / Major Mvmt

	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1515	-	-	844	642	1513	-	-
HCM Lane V/C Ratio	0.032	-	-	0.075	0.163	0.006	-	-
HCM Control Delay (s)	7.456	-	-	9.6	11.7	7.393	-	-
HCM Lane LOS	A			A	B	A		
HCM 95th %tile Q(veh)	0.1	-	-	0.242	0.577	0.017	-	-

Notes

~ : Volume Exceeds Capacity; \$: Delay Exceeds 300 Seconds; Error : Computation Not Defined

Intersection

Intersection Delay, s/veh 9.7

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	40	12	165	92	10	10	155	115	57	7	125	35
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	0	-	-	0	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	43	13	179	100	11	11	168	125	62	8	136	38

Major/Minor	Minor2		Minor1			Major1		Major2				
Conflicting Flow All	674	694	155	759	682	156	174	0	0	187	0	0
Stage 1	170	170	-	493	493	-	-	-	-	-	-	-
Stage 2	504	524	-	266	189	-	-	-	-	-	-	-
Follow-up Headway	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Capacity-1 Maneuver	368	366	891	323	372	890	1403	-	-	1387	-	-
Stage 1	832	758	-	558	547	-	-	-	-	-	-	-
Stage 2	550	530	-	739	744	-	-	-	-	-	-	-
Time blocked-Platoon, %								-	-	-	-	-
Mov Capacity-1 Maneuver	321	320	891	226	326	890	1403	-	-	1387	-	-
Mov Capacity-2 Maneuver	321	320	-	226	326	-	-	-	-	-	-	-
Stage 1	732	754	-	491	482	-	-	-	-	-	-	-
Stage 2	467	467	-	577	740	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	14	32	4	0

Minor Lane / Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1403	-	-	625	249	1387	-	-
HCM Lane V/C Ratio	0.12	-	-	0.377	0.489	0.005	-	-
HCM Control Delay (s)	7.916	-	-	14.2	32.5	7.61	-	-
HCM Lane LOS	A			B	D	A		
HCM 95th %tile Q(veh)	0.408	-	-	1.755	2.482	0.017	-	-

Notes

~ : Volume Exceeds Capacity; \$: Delay Exceeds 300 Seconds; Error : Computation Not Defined

ITEM: Case #16-011-FS/FP/UR, Delo Lofts

PLANNER: Kristin Dean, Principal Planner

APPLICANT: Delo East, LLC.
21 S. Sunset Street
Longmont, CO 80503

OWNER: Boom LLC
Contact: Elizabeth Law-Evans
1045 Emerald
Broomfield, CO 80020

APPLICANT Justin McClure

ZONING: Mixed Use-Residential (MU-R)

LOCATION: Located east of Cannon Street, west of Highway 42, and South of Griffith Street

LEGAL DESCRIPTION: 1100 Griffith St: Lot 101, Louisville Trade Center
1331 Cannon Street: Lot 2, Block A, Industrial Area
1301 Courtesy Road: Lots 3, 4 and 5, Block A, Industrial Area (replat of Caledonia Place)

TOTAL AREA: 4.39 acre replat; 1.91 acre final PUD / SRU

REQUEST: A request to consider a replat for 4.39 acres which includes a 1.91 acre final PUD, and a Special Review Use (SRU) within the core area of the HWY 42 Revitalization District for 33 apartments and 8 live-work units.

VICINITY MAP:



November 10, 2016 update:

This application was initially heard at the October 13, 2016 Planning Commission meeting. At that meeting, a question was raised about whether the applicant had complied with condition 3 of the preliminary plat and PUD approval. The condition states: "Easement concerns, with the Louisville Trade Center Plat, will be resolved prior to final approval."

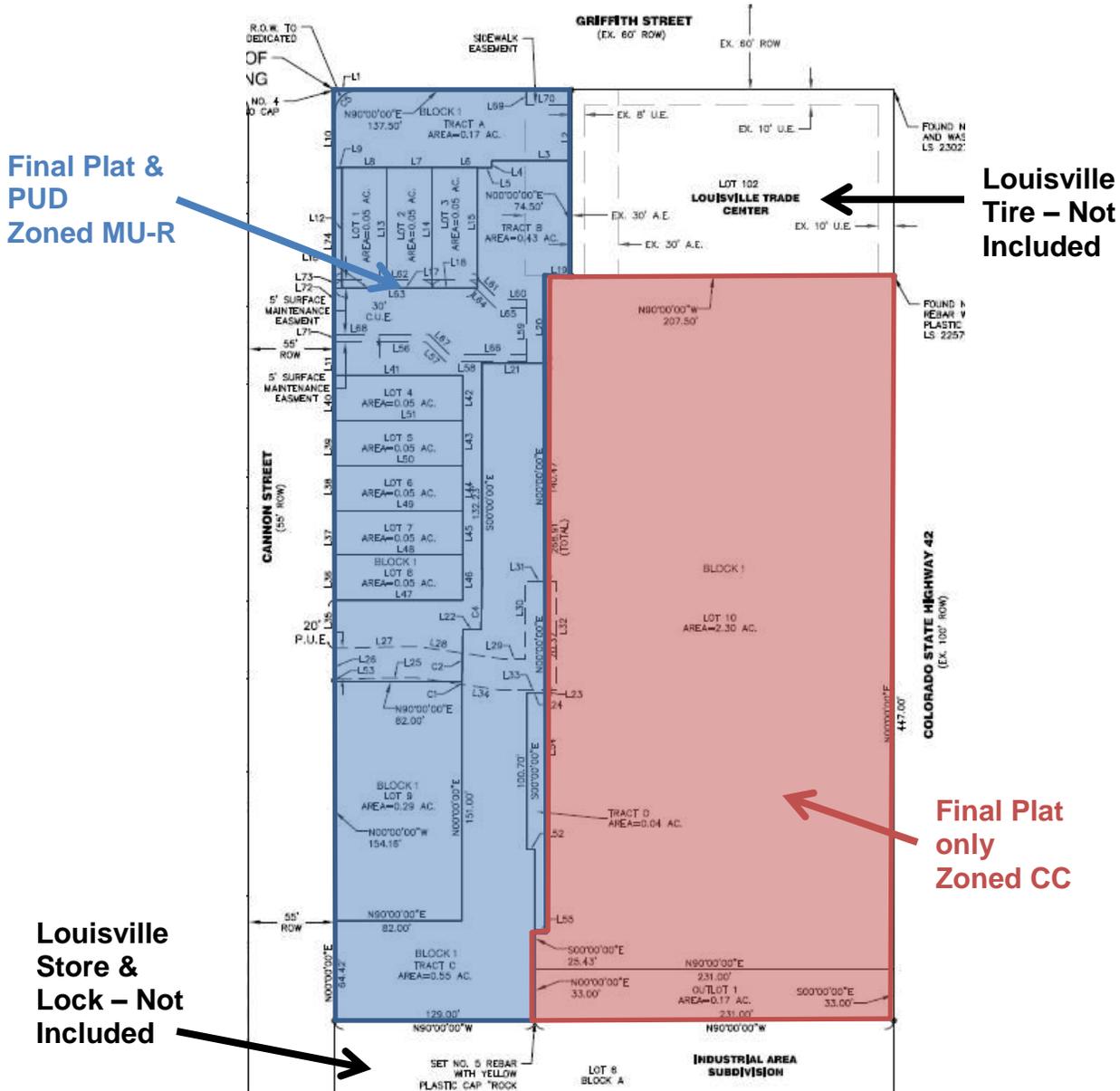
The easement was granted as an access easement on the Louisville Trade Center plat in 1984. It was granted to the adjacent property owner and the City has no interest in the easement. Staff has conferred with the City Attorney and determined the proposed development is compatible with the recorded easement. Any disputes about the use of the easement between the applicant and the owner of the easement are beyond the jurisdiction of the City. Therefore, staff concludes the condition is satisfied to the extent it relates to the City's development criteria. To the extent the condition relates to any private dispute between the property owners, it is beyond the City's jurisdiction and invalid.

The staff report from the October 13 meeting follows below. Staff recommends approval of the proposal with the condition described below.

BACKGROUND:

The applicant, Delo East, Inc., has submitted a plan to replat 4.39 acres and to develop 1.91 acres for 33 apartment units and eight live/work units. The project is located within three previously platted Louisville Subdivisions: Industrial Area, Louisville Trade Center, and Caledonia Place Subdivisions. The project is in the Highway 42 Revitalization Area

and is subject to the Mixed Use Development Design Standards and Guidelines (MUDDSG). A rezoning, preliminary plat, and preliminary PUD were approved for the property in November, 2015 under the name Delo Flats. The project has since been renamed Delo Lofts.



The western portion of the project adjacent to Cannon Street was zoned Mixed Use – Residential (MU-R) and is the subject of the proposed PUD and SRU as well as the final plat. The eastern portion of the project adjacent to Hwy 42 was zoned Commercial Community (CC) and is the subject of the final plat request only. A future PUD will be required to develop the eastern portion of the project.

Highway 42 Revitalization Area, Highway 42 Framework Plan and Mixed Use Development Design Standards and Guidelines (MUDDSG)

The proposed Delo Lofts development is the 5th development request in the area commonly referred to as the “Highway 42 Revitalization Area”. The first development request was the Coal Creek Station PUD. The second and third development requests were DELO (Phases 1 & 2). The fourth development request was DELO Plaza.

The HWY. 42 Revitalization Area is bounded by South Boulder Road (north), Highway 42 (east), BNSF Rail line (west) and Pine Street (south). The plan was established to create a pedestrian oriented revitalization strategy for the blighted areas near the proposed Regional Transportation District’s (RTD) FasTracks’ Northwest Commuter Rail station.

The City developed the Highway 42 Framework Plan in 2003 to define a vision for the area. The Plan was to be compatible with the walkability and character of Downtown Louisville and oriented toward the RTD’s transit investment.

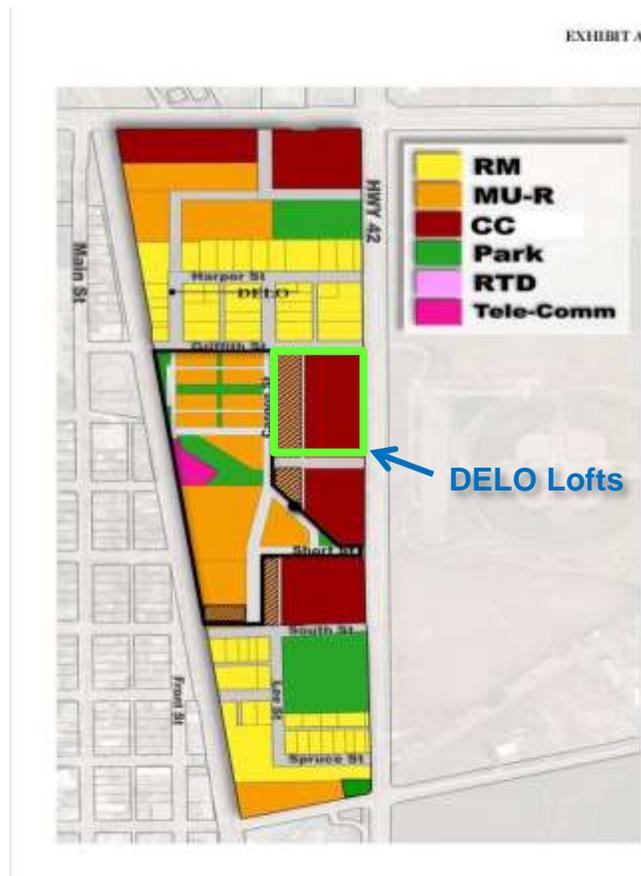
In 2007, the City created the Mixed Use Overlay District (Sec. 17.14 of the LMC) and the Mixed Use Development Design Standards and Guidelines (MUDDSG) to provide the regulations necessary to ensure development would be consistent with the HWY 42 Framework Plan. The creation of the MUDDSG was facilitated by staff, drafted by Clarion and Associates, and approved by City Council. These guidelines were Louisville’s first attempt at regulating mixed-use development and redevelopment.

REQUEST:

The applicant is requesting a final plat, PUD, and SRU to allow for the construction of 33 residential apartment/condo units and eight live/work units at an overall density of 17.37 units per acre. The request includes 15,840 square feet of commercial development. The SRU is requested to build exclusive residential buildings within the MU-R District. The MU-R allows up to 20 units per acre.

Zoning

Allowed uses in the MU-R zone district are described in section 17.14.050 of the LMC. Multi-unit dwellings are allowed by right above the ground floor and by special review on the ground floor. The live/work units are designed to have commercial uses on the ground floor and residential space on the second and third floors, in compliance with the



zoning. No specific tenants or uses have been identified at this time for the ground floor commercial space, but individual tenants will be evaluated at time of tenant finish to ensure the proposed uses are allowed in the MU-R district.

Special Review Use (SRU)

The applicant is requesting ground floor residential in the apartment/condo building along Cannon Street. The purpose of an SRU is ensure a proposed use is compatible in an area based on the specifics of the use, the area, and the design of the development. The intent of the ground floor retail requirement along Cannon Street in the MUDDSG was to boost the economic performance of the district and create an activated architectural ground floor and street experience to ensure a high quality pedestrian environment.

However, during the time since adopting the ground floor retail requirement in the MUDDSG, many people have questioned the viability of ground floor retail along a secondary street such as Cannon Street. Over the last several years, the Louisville Revitalization Commission (LRC) has facilitated a number of forums focusing on the potential retail performance of ground floor retail if it is located on Cannon Street and whether this requirement creates a liability for the district that may limit investment in the area. During these forums participants noted that Cannon Street is a secondary street that is not expected to carry an adequate volume of traffic necessary to support ground floor retail.

While the questionable viability of ground floor retail on Cannon Street provides grounds for granting a SRU, exclusive residential architecture introduces a number of design challenges that must be addressed to ensure a high quality pedestrian experience. If not properly designed, residential architecture (unlike retail) could “turn its back” to the street and remove many important architectural features that are necessary to ensure a high quality pedestrian experience, such as operable doors and windows, building entries, and higher quality ground floor architectural details.

At the time of preliminary approval for Delo Lofts, the City placed the following design conditions on the residential building to help ensure it met the goals described above:

Design Conditions

The Applicant shall satisfy the following architectural details for the residential buildings along Cannon Street at Final PUD:

- 1) HORIZONTAL VARIATION
 - a. Vary the horizontal plane of a building to provide visual interest and enrich the pedestrian experience, while contributing to the quality and definition of the street wall.
 - b. Horizontal variation should be of an appropriate scale and reflect changes in the building function, structure, and materials.
 - c. Avoid extensive blank walls that would detract from the experience and appearance of an active streetscape.

- d. Provide well-marked public and private entrances to cue access and use through compatible architectural and graphic treatments.
- e. Provide operable doors and windows on the ground floor street front of buildings
- f. Main residential building entrances should reflect different design than retail storefronts, restaurants, and commercial entrances.

2) VERTICAL VARIATION

- a. Employ a different architectural treatment on the ground floor façade than on the upper floors, and feature high quality materials that add scale, texture and variety at the pedestrian level.
- b. Vertically articulate the street wall façade, establishing different treatment for the building's base and upper floors
- c. Use balconies, fenestration, or other elements to create an interesting pattern of projections and recesses.
- d. Provide an identifiable break between the building's ground floors and upper floors. This break shall include a change in material, change in fenestration pattern or similar means.
- e. Provide more fenestration on the ground floor than upper floors.

Staff believes the proposed residential building satisfies these conditions. The design includes horizontal articulation and variation in materials, a well-defined entrance, significant glazing, and operable windows and doors on the ground level. The ground floor is also clearly distinct from the upper floors, utilizing different materials and larger windows. Staff believes the design would contribute to a high-quality pedestrian environment along Cannon Street.



West (Cannon St) elevation of residential building

Special Review Use Criteria:

Louisville Municipal Code § 17.40.100.A lists five criteria to be considered by the Planning Commission in reviewing a Special Review Use application, which follow. The Planning Commission is authorized to place conditions on their recommendation of approval, if they believe those are necessary to comply with all of the criteria. Staff's conclusions on whether the proposal satisfies each criterion are summarized below and

reflect the information and proposal details covered in the subsequent sections of this Communication.

1. *That the proposed use / development is consistent in all respects with the spirit and intent of the comprehensive plan and of this chapter, and that it would not be contrary to the general welfare and economic prosperity of the city or the immediate neighborhood;*

Exhibit A, which designates the land use framework for the MUDDSG, originally required ground floor retail along Cannon and South Street. In 2012 the City Council amended the MUDDSG to permit ground floor residential, along Cannon and South Street, as a special review use (SRU). The 2013 Comprehensive Plan reflects the land use framework as it was established in the MUDDSG and updated by City Council.

The fiscal impact of the development is generally consistent with the original fiscal impact analysis of the original Revitalization Plan. For these reasons and based on the additional information contained in the subsequent sections of this report, staff believes this request is consistent with the spirit and intent of the Comprehensive Plan and the criterion is met.

2. *That such use / development will lend economic stability, compatible with the character of any surrounding established areas;*

The request for ground floor residential use lends economic stability to the surrounding established area in that the future residents will likely become patrons of the restaurants and retail businesses found in Downtown Louisville. This area is within walking distance of downtown via the planned adjacent South Street Gateway. Future residents will likely walk, not drive, to Downtown to shop and dine without adding vehicle congestion and further impacting the tight parking conditions downtown. Staff believes this criterion is met.

3. *That the use / development is adequate for the internal efficiency of the proposal, considering the functions of residents, recreation, public access, safety and such factors including storm drainage facilities, sewage and water facilities, grades, dust control and such factors directly related to public health and convenience;*

The proposed development would have adequate access for both vehicles and pedestrians from Cannon Street and Griffith Street. The development would be connected to City water and sanitary sewers, and would utilize the storm water detention facilities constructed with the Delo development. Overall, staff believes the proposal would function well for the needs of its residents and users and finds this criterion is met.

4. *That external effects of the proposal are controlled, considering compatibility of land use; movement or congestion of traffic; services, including arrangement of signs and lighting devices as to prevent the occurrence of nuisances; landscaping*

and other similar features to prevent the littering or accumulation of trash, together with other factors deemed to affect public health, welfare, safety and convenience;

The proposed land uses are consistent with the Hwy 42 Revitalization Area plan. The traffic caused by the development can be accommodated by the street network being constructed with the Delo development and the proposed traffic signal at Short St and Hwy 42. Proposed lighting and signage are appropriate for the development and the location. Adequate landscaping would be provided, including a significant landscape buffer along Griffith St. Staff finds this criterion is met.

5. *That an adequate amount and proper location of pedestrian walks, malls and landscaped spaces to prevent pedestrian use of vehicular ways and parking spaces and to separate pedestrian walks, malls and public transportation loading places from general vehicular circulation facilities.*

Pedestrian walkways are proposed for all sides of buildings, providing access from both parking lots and streets to building entrances. Landscaping around the buildings, along the streets, and in the parking lot is appropriate for the development and the area. Parking areas are provided behind buildings in compliance with the MUDDSG. Staff finds this criterion is met.

Staff finds all five SRU criteria are met along with the design conditions placed on the preliminary approval and recommends approval of the SRU to allow ground-floor residential uses.

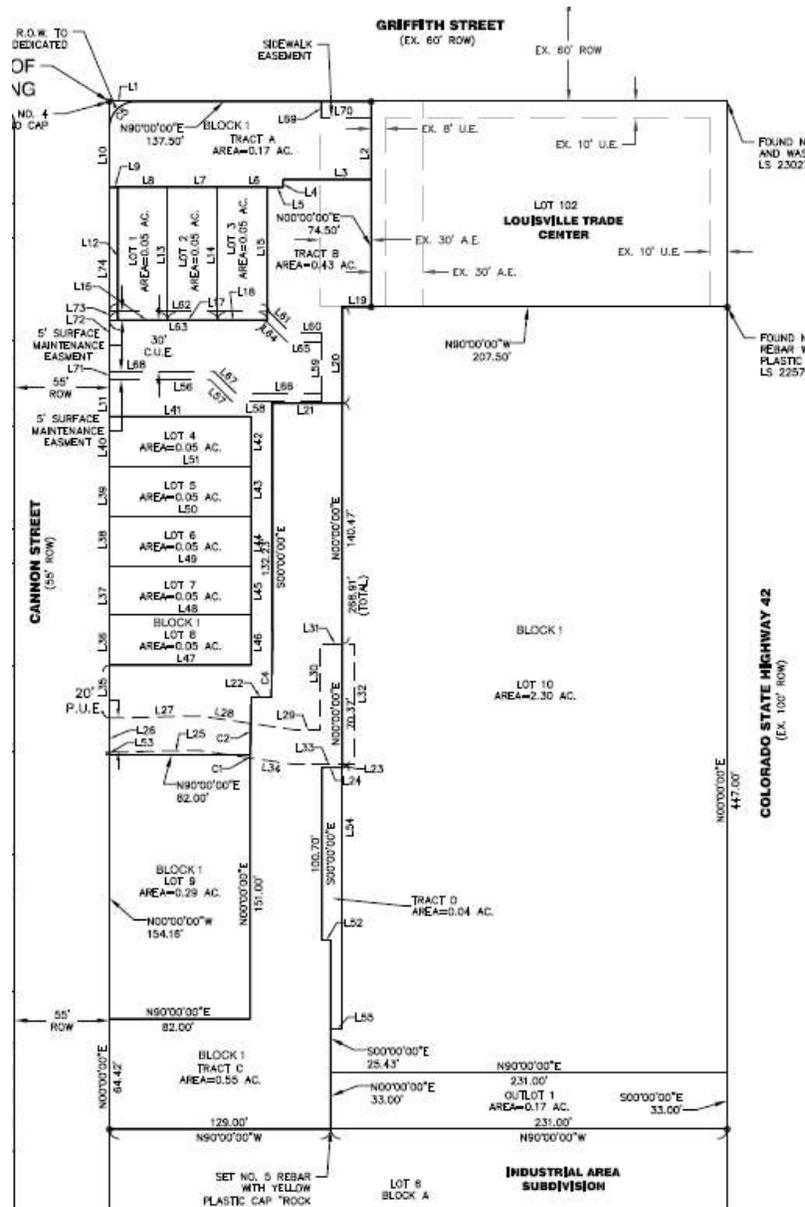
Final Subdivision Plat

The platting for the Delo Lofts development involves a replat the Louisville Trade Center, Industrial Area and Caledonia Place Subdivisions. The Industrial Area Subdivision was originally approved by City Council in 1959. The Industrial Area Subdivision was a replat of portions of the Caledonia Place Subdivision which was originally approved by City Council in 1890. The Louisville Trade Center Subdivision was a replat of the Industrial Area Subdivision in 1984.

The proposed plat divides the parcel into 10 lots and four tracts and one outlot:

- A. Lots 1-8 are for the individual live/work units.
- B. Lot 9 is for the apartment/condo building.
- C. Lot 10 is for the area zoned CC. Two existing structures are located on Lot 10. It is not included in the boundary for the PUD.
- D. The tracts are for public access to and from Cannon Street and landscape areas.
- E. The outlot is for future access from the development to Hwy 42.

No public right-of-way is proposed to be dedicated with this plat as the properties are adequately served by Cannon Street, Griffith Street and Hwy 42.



The lots being created would meet the lot requirements for both Title 16 and Section 17.14 in the LMC, except lots 1-8 which would not meet the 40 foot minimum width requirement. The proposed lots would be 29 feet wide to allow each unit to sit on its own lot. Requirements may be modified or waived under section 17.14.090(A)(2)(b)(i) of the LMC “if the decision-making body finds that the proposed development represents an improvement in site and building design over that which could be accomplished through strict compliance with otherwise applicable district standards.” Staff believes a waiver is justified in this situation to allow each unit to be located on an individual lot. Similar waivers have been approved for Delo and Coal Creek Station.

Additionally, if the replat is approved, the existing structures on Lot 10, would not comply with the LMC’s setback requirements and would be considered legal non-conforming structures.

Non-conforming structures, or uses, resulting from the proposed replat of Lot 10 are not prohibited in the LMC. Section 17.56.170 regulates non-conforming structure and uses. The section states, *“structures or premises which are not in conformity with the provisions of this chapter may be continued, subject to the following conditions:*

- A. No such use shall be expanded or enlarged except in conformity with the provisions of this chapter.
- B. Substantial improvement, as defined in section 17.56.010, to any nonconforming structure or use must result in the permanent change of the structure or use to a conforming use.
- C. If such use is discontinued for 12 consecutive months, any future use of the building and premises shall conform to this chapter.
- D. Uses or adjuncts thereof which are public nuisances shall not be permitted to continue as nonconforming uses.
- E. Any alterations, additions, or repairs to any existing nonconforming structure shall be protected, where applicable by flood proofing measures, pursuant to section 17.56.250”

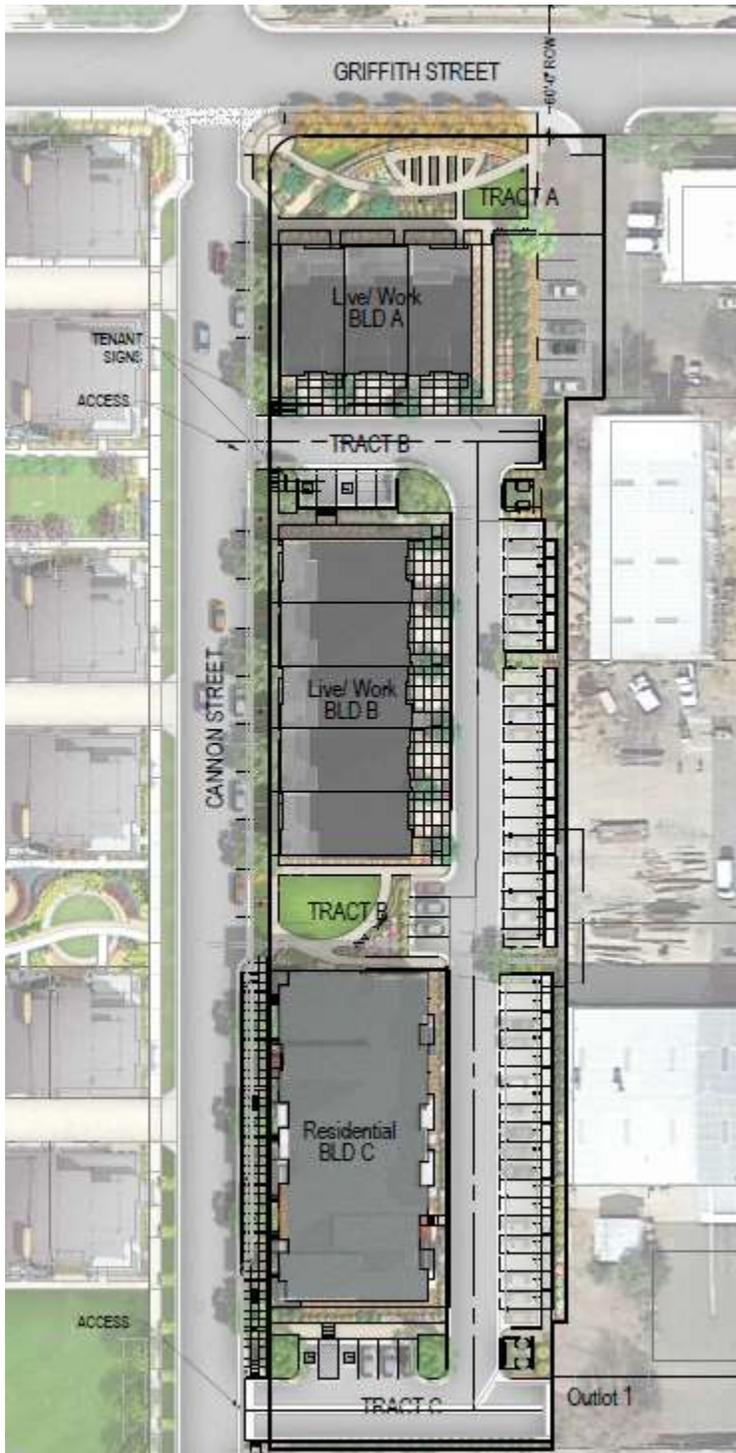
In summary, the applicant may replat a property to include legal non-conforming structures and land uses. However, once the applicant requests to “develop” the property through the PUD process they will be required to bring the structures and land uses into compliance with Section 17.14.

Public Land Dedication

Section 16.16.060.B of the LMC requires a subdivider to dedicate for park, school, or other public purposes determined by the City Council, a minimum of 12 percent for nonresidential subdivisions and a minimum of 15 percent for residential subdivisions of the total land area of the tract being subdivided. Section 16.16.060.B.4 also states, “The requirements of the section shall not apply in cases where satisfactory dedication arrangements were made and approved by the city council at the time of annexation or previous subdivision of the same property.” City staff, based on consultation with the City Attorney, has in past cases interpreted these provisions in LMC to mean that land dedication is not required for projects that have been previously platted in the City. This property was originally platted as part of the Industrial Area subdivision (1959) and the Caledonia Place Subdivision (1890). Consequently, to be consistent with past practice, staff and the City Attorney believe that land dedication is not required in this case.

Final PUD Development Plan

The Delo Lofts development is proposed to follow intent of the City’s Mixed Use Development Design Standards and Guidelines (MUDDSG) and the design themes of the original Delo development.



As described above, the development would consist of eight live/work units and 33 apartment/condo units. The live/work units would be in two buildings on the northern portion of the site (Buildings A and B), with each unit on its own lot. Building A would face Griffith Street with a landscaped plaza separating the building from the street. Building B would face Cannon Street, set back about five feet. The apartment/condo units would be in one building (Building C), also facing Cannon Street on the south portion of the property, separated from Building B by a landscape area.

Section 17.14.060 of the LMC gives the following dimension and bulk standards:

	Allowed	Building A	Building B	Building C
Minimum Building Coverage	40%	70%	70%	77%
Maximum Front Setback	10'	0' ¹	5'	4.5'
Minimum Side Setback	0'	5'	0'	0'
Minimum Rear Setback	20' ²	485'	70'	63'
Maximum Building Footprint	10,000 SF	5,048 SF	8,414 SF	9,828 SF
Maximum Building Length	200'	86'	145'	151'

1. Front setback for Building A is measured to the property line with Tract A, which is 50 feet from Griffith Street.
2. Per Footnote 5 in the PUD Bulk and Dimension Standards, rear setbacks area measured to the project boundary instead of internal lot and tract lines.

Building A also complies with the Residential Protection and Transition Standards in section 8 of the MUDDSG, which requires a minimum setback of 10 feet from Griffith Street.

Section 17.14.060 also has the following requirements which apply to the overall project:

	Required	Proposed
Minimum Density	12 units/acre	17.37 units/acre
Maximum Density	20 units/acre	17.37 units/acre
Minimum Building Coverage	40%	28%
Minimum Landscape Coverage	10%	20%
Minimum Street Frontage	70%	62%

As noted in the table, the proposal meets all of the requirements except the minimum street frontage occupied by a building, for which the applicant is requesting a waiver.

Parking and Circulation

The proposal includes two vehicular accesses off of Cannon Street – one at the south end of the project and one towards the north end, between Buildings A and B. The accesses would be connected by an interior drive aisle that would serve the off-street parking.

The site plan also proposes utilizing a shared access easement off of Griffith Street to serve parking for Building A. The access is shared with Louisville Tire and would initially serve temporary parking spaces east of Building A. Eventually, as surrounding properties redevelop, the access would be extended to form an alley running the length of the block, in conformance with the Hwy 42 Revitalization Area Plan.



Proposed interim (left) and final (right) conditions for Griffith Street access

While providing a temporary condition is not ideal, it is often required in redevelopment areas where property ownership is fragmented and development occurs over time. Redesigning the site to provide a permanent solution now would make constructing the alley in the future more difficult and costly.

Parking would be provided primarily in covered spaces along the east side of the project. The live/work units also include garages accessed from the interior drive along with driveways/aprons that could be used for tandem parking. Parking requirements are described in Section 4 of the MUDDSG.

	Standard	Required	Proposed
Live/Work Commercial	1 space/300 SF	32 spaces	46 spaces
Live/Work Residential	2 spaces/unit	16 spaces	16 spaces
Apartment 1-Bedroom	1 space/unit	27 spaces	28 spaces
Apartment 2-Bedroom	2 spaces/unit	12 spaces	13 spaces
Guest Parking	1 space/8 units	5 spaces	5 spaces
Total		92 spaces	108 spaces

The MUDDSG allows on-street parking spaces abutting non-residential uses to be counted towards the required parking for those uses. The proposal includes 14 on-street spaces on Cannon Street in the provided commercial parking. One bicycle parking space is required for every 10 vehicle spaces, which translates to 9 required bicycle spaces. The proposal includes 10 bicycle parking spaces.

Building Height and Design

Buildings A and B would be three stories and 39 feet tall. Section 17.14.060 allows minimum building heights of two stories and 35 feet, and maximum building heights of three stories and 45 feet. In addition, the MUDDSG Residential Protection and Transitional Standards limit the height of buildings within 50 feet of rights-of-way adjacent to residential areas to 35 feet. As described above, Building A is 50 feet from the Griffith Street right-of-way, complying with the requirement.



Building B west elevation

Both Buildings A and B would use a mix of cement lap siding, brick, and metal panel siding. The first two floors would incorporate significant glazing and balconies would be provided on the second and third floors. The unit entrances would be recessed, providing horizontal articulation and the third floor would be stepped back, providing vertical articulation and reducing the perceived height of the buildings. All four sides of the buildings would use a similar level of materials and detailing.

Building C would be three stories and just under 45 feet tall, again complying with the requirements of section 17.14.060. Building C is not adjacent to residential areas and not subject to the Residential Protection and Transitional Standards.



Building C west elevation

Building C would use a mix of cement lap siding, brick, and Corten or weathering steel. Ground floor units would have entrances and patios accessible from the street and upper floor units would have balconies. Horizontal and vertical articulation and variation in materials would provide visual interest and help create a pleasant pedestrian environment. As with Buildings A and B, all four sides of the building would use a similar

level of materials and detailing. The building design is similar to those for Delo Phase 2, but includes enough differences that it will be distinct without looking out of place.

Sidewalks and Landscaping

The applicant is proposing a 12' walk in front of Building C, which would include planters, street trees, and benches. In front of Buildings A and B, the sidewalk would transition to five feet wide with an eight foot tree lawn featuring planters and street trees between the sidewalk and the street. The sidewalk would be on private property with a public access easement.

MUDDSG Section 5.4 requires a minimum width of 10 feet for public sidewalks. The applicant is requesting a waiver to allow the five foot sidewalk. When the sidewalk and tree lawn are taken together, it exceeds the 10 foot minimum and provides additional landscaping and less impervious surface, while still meeting the requirement for five feet of unobstructed pathway.

MUDDSG Section 5.4 also requires one tree per 20 lineal feet of street frontage. This would translate to 26 trees along Cannon Street and six along Griffith Street. The applicant is proposing 10 trees within the right-of-way along Cannon Street and five along Griffith Street, with the remainder to be provided elsewhere on site. This translates to one tree per 42 feet of street frontage.

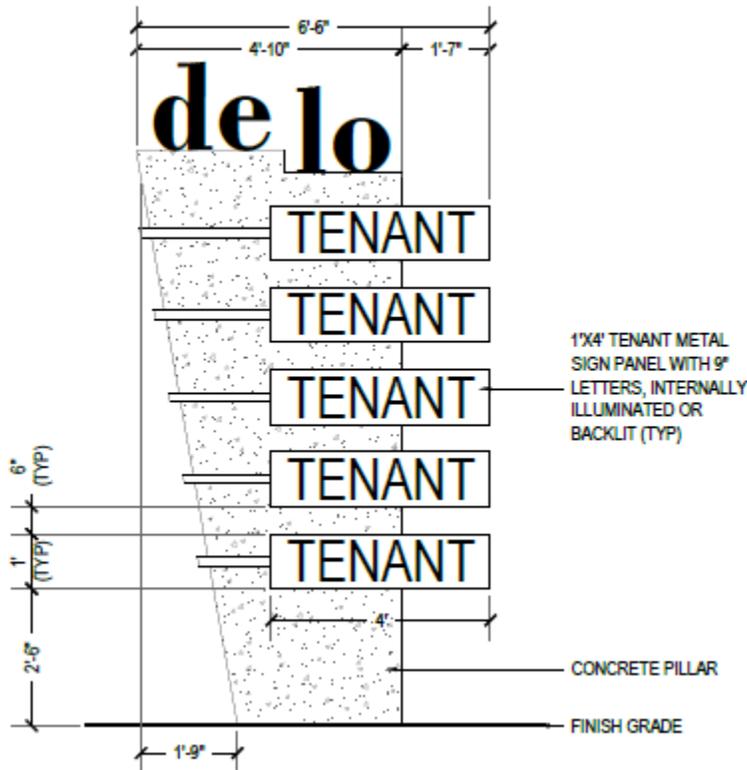
MUDDSG Section 7.3 requires five percent of parking lots be landscaped area and one tree for every 300 square feet of landscaped area. That translates to 1,546 square feet of landscape area and six trees required for the proposed development. The site plan includes 2,907 square feet of landscape area and seven trees within the parking area.

A landscape buffer consisting primarily of shrubs would be provided along the south and east property lines. Landscaping would also be provided around the buildings. Two larger landscape plazas are proposed, one between Building A and Griffith Street and the other between Buildings B and C. In total, 20 percent of the site would be landscape area, exceeding the 10 percent requirement in section 17.16.060.

The total tree requirement between street trees and parking lot trees is 38 trees. The landscape plan includes 44 trees. However, as described above, only 15 of the 32 required street trees would be provided in the right-of-way. Street trees are an important amenity to creating a pedestrian-friendly environment, providing shade, greenery, and visual interest. They can also block visibility to businesses, thought, and often create conflicts with utilities. Staff believes an adequate number of trees are provided in the right-of-way to achieve purpose of the street tree requirement, and with the remaining trees being provided elsewhere on site, supports the waiver request to reduce the number of trees in the right-of-way.

Signage

The applicant proposes two signs, on either side of the vehicular access between Buildings A and B, to identify both the project and the tenants in the live/work buildings. Signs in the MU-R zone district are governed by the Downtown Sign Manual.



The proposed sign is approximately 12 feet tall, greater than the maximum six foot height allowed for freestanding signs. The “de lo” letters would each be approximately 18 inches tall, and the tenant letters would be nine inches. The total copy area would be approximately 57 square feet, greater than the nine square feet allowed in the Downtown Sign Manual. The proposal includes allowing internal illumination, which is also not allowed. Staff believes the sign is too large and incompatible with a pedestrian-oriented environment. A waiver for sign area may be justified given the number of tenants advertised on the sign, but staff recommends a condition that the maximum height of the sign be limited to the six feet and that illumination be compatible with the Downtown Sign Manual.

Site Details

The proposal includes covered parking carports along the east property line. The carports would be approximately 11 feet tall and made of the same materials as the main structures. The carports would be approximately five feet from the rear lot line, which does not comply with the required 20 foot rear setback for all structures. The east property line abuts a commercial zone district and a proposed future alley. Staff supports the request for a rear setback waiver because of the intended use, overall site design, and adjacent uses.



The proposal includes two trash enclosures at either end of the parking lot. The trash enclosures would be made materials compatible with the other structures. A 14 foot tall trellis is proposed for the landscape area between Buildings B and C. Exterior lighting would be provided along the street and in the parking lots to enhance safety and security.

Waivers

The proposed development is requesting six waivers to the yard and bulk standards of Chapter 17.14 and the MUDDSG. Requirements may be modified or waived under section 17.14.090(A)(2)(b)(i) of the LMC “if the decision-making body finds that the proposed development represents an improvement in site and building design over that which could be accomplished through strict compliance with otherwise applicable district standards.”

Waiver	Requirement	Request	Location
Minimum Sidewalk Width	10'	5'	Buildings A and B
Street Trees	1 per 20'	1 per 42'	Cannon and Griffith Streets
Rear Setback	20'	5'	Carports
Minimum Lot Width	40'	29'	Lots 1-8
Minimum Street Frontage	70%	62%	Cannon and Griffith Streets
Signage	6', 9SF	12', 57SF	Between Buildings A and B

Minimum Sidewalk Width

The applicant is requesting a five foot sidewalk width waiver to the MUDDSG requirement of 10 feet in front of Buildings A and B. Because an adequate buffer is provided from the street, staff recommends approval of the waiver.

Street Trees

The applicant is requesting to reduce the overall street tree requirement from one street tree per every 20 feet of street length, to one street tree per every 42 feet of street length. The plan would still include the total number of trees required, and would provide

enough street trees to make for a comfortable pedestrian environment. Therefore staff recommends approval of the waiver.

Rear Setback

The applicant is requesting a five foot rear accessory setback for the carports, instead of the required 20 foot setback for all uses. Given the use, location, and proposed future alley adjacent to the carports, staff recommends approval of the waiver.

Minimum Lot Width

The applicant is requesting 29 foot wide lots for the individual live/work units where a 40 foot minimum width is required. Staff recommends approval of the waiver because it allows for the desired ownership structure and an appropriate building design.

Minimum Street Frontage

The applicant is requesting a reduction in the required minimum street frontage occupied by a building from 70 percent to 62 percent. Staff believes the proposed design meets the intent of the regulation by providing visual interest and a pedestrian-friendly environment while including required access drives and additional landscape areas. Staff recommends approval of the waiver.

Signage

The applicant is requesting 12 foot tall signs with 57 square feet of copy area instead of the allowed six feet tall and nine square feet. Staff believes the scale of the signs is not compatible with a pedestrian-oriented environment. While an increase in copy area may be justified given the number of tenants, staff recommends limiting the height to six feet. In addition, staff recommends limiting illumination on the sign to the types allowed under the Downtown Sign Manual.

PUD Criteria

Section 17.28.120 of the Louisville Municipal Code lists 13 criteria for Planned Unit Developments (PUDs) that must be satisfied or found not applicable for the PUD to be approved. Staff finds that all applicable criteria are met because the proposal complies with the requirements of chapter 17.14 and the MUDDSG, except for the requested waivers discussed above. The proposed development complies with the spirit and intent of the Hwy 42 Revitalization Area Plan to provide a mixture of uses and housing types in a pedestrian friendly environment. It is compatible with the developments previously approved in the Revitalization Area and the remaining existing uses, including nearby residential neighborhoods. There is adequate pedestrian and vehicular access, as well as adequate open space within the site and nearby.

Referral Comments

Boulder Valley School District (BVSD)

The Boulder Valley School District (BVSD) was a referral for this development. A letter from BVSD dated June 1, 2016 states this development would have an impact of “4 students on the Louisville Elementary, 1 student on Louisville Middle School and 3 students on Monarch High School.” The letter goes on to state “...these facilities are able to accommodate projected growth. Louisville Elementary, however, will likely reach

its program capacity within 5 years should growth within the existing housing stock of central Louisville continue at its recent pace. Elementary capacity in Louisville as a whole, however, is ample to accommodate continued enrollment growth.”

Fiscal Impact

Staff used the City’s fiscal model to evaluate the expected impact from the development. Based on the proposed development, the model projects a positive cumulative fiscal impact of approximately \$750,000 over 20 years, or approximately \$37,500 per year.

STAFF RECOMMENDATION:

Staff recommends approval of the requested SRU, final plat, and final PUD for the development called Delo Lofts. The proposal would allow for the development of a mixed use project in the Highway 42 Revitalization Area consistent with the Highway 42 revitalization Plan and Chapter 17.14 of the Louisville Municipal Code.

Staff recommends the following condition of approval:

1. The proposed signage shall be modified to comply with the Downtown Sign Manual.

ATTACHMENTS:

- A. Resolution No.X, Series 2016
- B. Application documents
- C. Final Plat
- D. Final PUD
- E. BVSD Comments

**RESOLUTION NO. 25
SERIES 2016**

A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLAT FOR 4.39 ACRES WHICH INCLUDES A 1.91 ACRE FINAL PUD AND A SPECIAL REVIEW USE (SRU) WITHIN THE CORE AREA OF THE HWY 42 REVITALIZATION DISTRICT FOR 3 APARTMENTS AND 8 LIVE-WORK UNITS.

WHEREAS, there has been submitted to the Louisville Planning Commission an application for approval of a replat for 4.39 acres which includes a 1.91 acre final PUD, and a Special Review Use (SRU) within the core area of the HWY 42 Revitalization District for 33 apartments and 8 live-work units; and

WHEREAS, the subject property is in the Highway 42 Revitalization Area; and

WHEREAS, the City Staff has reviewed the information submitted and found it to comply with the applicable regulations and design guidelines including LMC Sec. 16.12.030, Sec. 17.14.090, and Sec. 17.28.120; and

WHEREAS, after duly noticed public hearings on October 13, 2016 and November 10, 2016 where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Reports dated October 13, 2016 and November 10, 2016, the Planning Commission finds the Delo Lofts SRU, Final Subdivision Plat, and Final PUD Plan, should be approved with the following conditions:

1. The proposed signage shall be modified to comply with the Downtown Sign Manual.
2. The applicant shall address all issues in the Department of Public Works October 4, 2016 memo prior to the City Council hearing.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of an SRU, Final Subdivision Plat, and Final PUD for the Delo Lofts Subdivision with the following conditions:

1. The proposed signage shall be modified to comply with the Downtown Sign Manual.
3. The applicant shall address all issues in the Department of Public Works October 4, 2016 memo prior to the City Council hearing.

PASSED AND ADOPTED this 10th day of November, 2016.

By: _____
Chris Pritchard, Chair
Planning Commission

ATTEST:

Steve Brauneis, Secretary
Planning Commission

LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: DeLo East, LLC

Contact: Justin McClure

Address: 21 S. Sunset St.
Longmont, CO 80503

Mailing Address: Same as above

Telephone: 720-524-3620

Fax: _____

Email: Justinmcs@gmail.com

OWNER INFORMATION

Firm: Boom, LLC

Contact: Elizabeth Law-Evans

Address: _____

Mailing Address: 1045 Emerald
Broomfield, CO 80020

Telephone: _____

Fax: _____

Email: elizabeth.lawevans@gmail.com

REPRESENTATIVE INFORMATION

Firm: RMCS, Inc.

Contact: Justin McClure

Address: 21 S. Sunset St.
Longmont, CO 80503

Mailing Address: Same as above

Telephone: 720-524-3620

Fax: _____

Email: Justinmcs@gmail.com

PROPERTY INFORMATION

Common Address: 1301 Courtesy Road

Legal Description: Lot 101, 2, 3, 4, 5 Blk A

Subdivision Industrial Area - Lo

Area: 4.39 a/c Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: A proposal for the redevelopment of a 4.39 acre industrial property located within the Core Project area. The revitalization of this property will exceed the standards proposed in the MUDDSG. The project will consist of multi-family residential homes, and live-wok units.

Current zoning: I Proposed zoning: MU-R/C/C

SIGNATURES & DATE

Applicant: [Signature]

Print: Justin McClure

Owner: [Signature]

Print: Randy Law

Representative: [Signature]

Print: Justin McClure

CITY STAFF USE ONLY

- Fee paid: _____
- Check number: _____
- Date Received: _____

DeLo East, LLC
21 S. Sunset St.
Longmont, CO 80503

August 2, 2016

Mr. Scott Robinson, Planner II
City of Louisville Planning Department
749 Main Street
Louisville, CO 80027

RE: Submittal for the Final PUD and Plat for the DeLo Lofts

Mr. Robinson,

DeLo East, LLC would like to thank the Planning Commission for giving us the opportunity to present the Final PUD and Plat for the DeLo Lofts. This property is bounded to the north by Griffith Street, to the west by Cannon Street and Highway 42 to the east. The property was previously zoned industrial and is centrally located within the Highway 42 Revitalization Area. The Core Project Area, as identified within the Highway 42 Framework Plan, includes several blighted properties that are no longer eligible for industrial uses. The purpose of this proposed plan is to promote local objectives with respect to appropriate downtown land use, private investment and public improvements that will help to provide a variety of land use and product types that have the ability to respond to market changes over time. This application requests the approval of the Final Plat and PUD for the DeLo Lofts, the zoning for which is in conformance with the City of Louisville Municipal Code and Hwy 42 Framework Plan, thus acting as a catalyst to future development. The DeLo Lofts will make a significant contribution to the DeLo Neighborhood while enhancing the already vibrant, Historic Downtown Louisville.

The DeLo Lofts will consist of 33 apartment homes and 33,600 square feet of adaptable space inclusive of 8 live/work units. The DeLo Lofts is adjacent to the DeLo Neighborhood located along Cannon Street with easy access to Nawatny Greenway, Caledonia Plaza and the Cannon Street Woonerf to the southwest. Additionally, the apartment homes are within easy walking distance of the South Street Pedestrian Gateway, Miners Field, and Historic Downtown Louisville. DeLo East, LLC is proud to partner with the City of Louisville to further the revitalization of the Core Project Area.

Respectfully,



Alex Carlson

DEDICATION

HAS LAID OUT, SUBDIVIDED AND PLATTED SAID LAND AS PER DRAWING HEREON CONTAINED UNDER THE NAME AND STYLE OF DeLo LOFTS SUBDIVISION, A SUBDIVISION OF A PART OF THE CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE USE OF THE CITY OF LOUISVILLE AND THE PUBLIC, THE INGRESS--EGRESS AND PEDESTRIAN EASEMENTS, IF ANY, AS SHOWN ON THE ACCOMPANYING PLAT FOR THE PUBLIC USE THEREOF; FURTHER, DO FURTHER DEDICATE TO THE USE OF THE CITY OF LOUISVILLE AND ALL EMERGENCY SERVICES PROVIDERS, THE FIRE LANE AND EMERGENCY ACCESS EASEMENTS, IF ANY, AS SHOWN ON THE ACCOMPANYING PLAT, FOR PROVISION OF SUCH SERVICES; DO DEDICATE TO THE CITY OF LOUISVILLE THE EXCLUSIVE CITY UTILITY EASEMENTS AS SHOWN ON THE ACCOMPANYING PLAT FOR THE PROVISION OF CITY SERVICES; AND DO FURTHER DEDICATE TO THE USE OF THE CITY OF LOUISVILLE AND ALL MUNICIPALLY OWNED AND/OR FRANCHISED UTILITIES AND SERVICES THOSE OTHER EASEMENTS AS SHOWN ON THE ACCOMPANYING PLAT FOR THE CONSTRUCTION, INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT FOR ALL UTILITY SERVICES, INCLUDING BUT NOT LIMITING TO THE GENERALITY OF THE FOREGOING, TELEPHONE AND ELECTRIC LINES, WORKS, POLES AND UNDERGROUND CABLES, GAS PIPELINES, WATER PIPELINES, SANITARY SEWER LINES, STREET LIGHTS, CULVERTS, HYDRANTS, DRAINAGE DITCHES AND DRAINS AND ALL APPURTENANCES THERE TO, AS SHOWN ON THE ACCOMPANYING PLAT, IF ANY.

IT BEING EXPRESSLY UNDERSTOOD AND AGREED BY THE UNDERSIGNED THAT ALL EXPENSES AND COSTS INVOLVED IN CONSTRUCTING AND INSTALLING SANITARY SEWER SYSTEM WORKS AND LINES, GAS SERVICE LINES, ELECTRICAL SERVICE WORKS AND LINES, STORM SEWERS AND DRAINS, STREET LIGHTING, GRADING AND LANDSCAPING, CURBS, GUTTERS, STREET PAVEMENT, SIDEWALKS AND OTHER SUCH UTILITIES AND SERVICES ON SAID REAL PROPERTY SHALL BE PROVIDED FOR AS SET FORTH IN THE SUBDIVISION AGREEMENT FOR THE SUBDIVISION AS MAY BE AMENDED FROM TIME TO TIME, AND THAT ANY ITEM SO CONSTRUCTED OR INSTALLED WHEN ACCEPTED BY THE CITY OF LOUISVILLE, COLORADO, SHALL BECOME THE SOLE PROPERTY OF SAID CITY OF LOUISVILLE, COLORADO, EXCEPT PRIVATE ROADWAY CURBS, GUTTER AND PAVEMENT AND ITEMS OWNED BY MUNICIPALLY FRANCHISED UTILITIES WHICH WHEN CONSTRUCTED OR INSTALLED, SHALL REMAIN THE PROPERTY OF THE OWNER OR MUNICIPALLY FRANCHISED UTILITIES, AS APPLICABLE AND SHALL NOT BECOME THE PROPERTY OF THE CITY OF LOUISVILLE, COLORADO.

LEGAL DESCRIPTION

LOT 101, LOUISVILLE TRADE CENTER, LOTS 2 THROUGH 5, BLOCK A, INDUSTRIAL AREA SUBDIVISION AND A PORTION OF LOT 4, BLOCK 13, CALEDONIA PLACE LOCATED IN THE NORTHEAST ¼ OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING AT THE NORTHWEST CORNER OF SAID LOT 101: THENCE NORTH 90°00'00" EAST A DISTANCE OF 152.50 FEET ALONG THE SOUTH RIGHT-OF-WAY LINE OF GRIFFITH STREET TO THE NORTHEAST CORNER OF SAID LOT 101; THENCE SOUTH 00°00'00" EAST, 120.00 FEET ALONG THE EAST LINE OF SAID LOT 101 TO THE SOUTHEAST CORNER OF SAID LOT 101 BEING A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE NORTH 90°00'00" EAST, 207.50 FEET ALONG THE NORTH LINE OF SAID LOT 2 TO THE NORTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 00°00'00" EAST A DISTANCE OF 480.00 FEET ALONG THE EAST LINE OF SAID INDUSTRIAL AREA SUBDIVISION TO THE SOUTHEAST CORNER OF SAID LOT 5; THENCE NORTH 90°00'00" WEST, 360.00 FEET ALONG THE SOUTH LINE OF SAID LOT 5 TO THE SOUTHWEST CORNER OF SAID LOT 5; THENCE NORTH 00°00'00" WEST, 600.00 FEET ALONG THE WEST LINE OF SAID LOTS 5, 4, 3, 2 AND 101 TO THE NORTHWEST CORNER OF SAID LOT 101, THE POINT OF BEGINNING.

CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

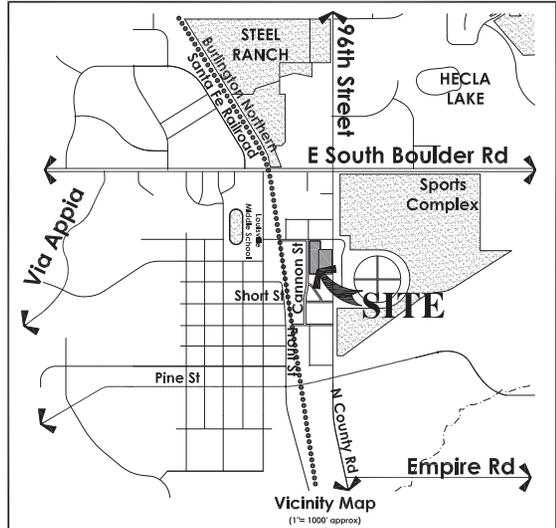
AREA = 4.39 ACRES (MORE OR LESS)

NOTES

1. BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE BASED ON THE ASSUMPTION THAT THE EASTERLY RIGHT-OF-WAY LINE OF THE BURLINGTON NORTHERN SANTA FE (BNSF) RAILROAD BEARS NORTH 08 DEGREES, 11 MINUTES AND 00 SECONDS WEST BETWEEN A FOUND NO. 4 REBAR AT THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF SOUTH STREET AND THE EASTERLY RIGHT-OF-WAY LINE OF SAID BNSF RAILROAD AND A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED EPP & ASSOCIATES, LS 14815 AT THE NORTHWEST CORNER OF LOT 2, BLOCK C, INDUSTRIAL AREA.
2. SURVEY INFORMATION SHOWN HEREON AS PROVIDED BY ROCK CREEK SURVEYING, LLC DATED AUGUST 25, 2013. ROCK CREEK SURVEYING, LLC IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. ROCK CREEK SURVEYING, LLC RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING OR, OR ADJACENT TO THE SUBJECT PROPERTY.
3. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
4. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT, IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON. ORS 13-80-105.
5. PROPOSED VEHICULAR CONNECTIONS MAY BE REFINED, WITH FUTURE CONSTRUCTION PLAN SUBMITTALS.
6. ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS FOR EMERGENCY, PUBLIC AND PRIVATE VEHICULAR ACCESS. PUBLIC ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL SIDEWALKS ALONG CANNON STREET AND GRIFFITH STREET.
7. DISTANCES SHOWN HEREON ARE BASED UPON THE U.S. SURVEY FOOT.
8. EXISTING ENCUMBRANCES AND USES ARE NOTED ON THE DRAWINGS AND ARE NOT SUPERSEDED BY THE OWNERSHIP/USE TABLE.
9. THE CITY OF LOUISVILLE SHALL REVIEW AND APPROVE THE LOCATIONS OF UTILITY LINES, PEDESTALS AND CABINETS WITHIN PUBLIC PROPERTY AND EXCLUSIVE CITY UTILITY EASEMENTS.
10. PUBLIC WET UTILITIES LOCATED ON PRIVATE PROPERTY, IF ANY, SHALL BE WITHIN A CITY EXCLUSIVE UTILITY EASEMENT (C.U.E.)
11. EXCLUSIVE CITY UTILITY EASEMENTS ARE RESERVED FOR CITY OF LOUISVILLE EXCLUSIVE USE FOR CITY WATER, SANITARY SEWER AND STORM SEWER FACILITIES. DRY UTILITIES COMPANIES AND/OR PRIVATE OWNERS OF STORM DRAINAGE AND IRRIGATION LINES MUST OBTAIN PRIOR WRITTEN APPROVAL FROM THE CITY FOR ANY PROPOSED CROSSING OF ANY CITY WET UTILITY EASEMENTS AND MUST EXECUTE AN AGREEMENT WHICH STIPULATES THE DRY UTILITIES, STORM DRAINAGE, AND/OR IRRIGATION LINES APPROVED TO CROSS CITY EASEMENTS ARE SUBJECT TO RELOCATION AT THE COMPANY'S OR OWNER'S EXPENSE AT THE DISCRETION OF THE CITY. DRY UTILITIES, STORM DRAINAGE, AND/OR IRRIGATION LINES THAT ARE APPROVED TO CROSS CITY EASEMENTS SHALL DO SO AT SUBSTANTIALLY RIGHT ANGLES. WET UTILITIES MAY TRAVEL DRY UTILITIES EASEMENTS WITHOUT REQUIREMENT FOR FURTHER PERMISSION, NO JOINT USE OF ANY CITY EXCLUSIVE UTILITY EASEMENTS IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE CITY AND EXECUTION OF A JOINT USE AGREEMENT, WHICH SHALL BE AT THE CITY'S DISCRETION.
12. THE MINIMUM SEPARATION BETWEEN WATER AND SANITARY SHALL BE 10' OUTSIDE OF PIPE TO OUTSIDE OF PIPE. SEPARATION BETWEEN ALL OTHER UTILITIES SHALL NOT BE LESS THAN 7' TO THE EXTENT PRACTICAL BASED ON CONTRACTABILITY, COST, RIGHT-OF-WAY AND ASSOCIATED STREET WIDTHS, ETC. THE CITY WILL WORK WITH THE SUBDIVIDER TO GENERATE PRACTICAL SOLUTIONS FOR AREAS OF UTILITY SEPARATION CONCERNS.
13. THE PRIVATE UTILITY EASEMENTS (P.U.E.) SHALL BE CONVEYED TO THE DeLo LOFTS HOA AND SHALL ALLOW FOR THE ACCESS TO AND MAINTENANCE AND/OR REPLACEMENT OF THE PRIVATE STORM PIPING CONTAINED THEREIN.
14. EASEMENTS ON SOME LOTS, AS WELL AS OTHER EASEMENTS, ARE PROVIDED FOR IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF DeLo LOFTS, TO BE RECORDED IN THE CITY OF LOUISVILLE, COUNTY OF BOULDER, COLORADO.

DeLo LOFTS FINAL SUBDIVISION PLAT

A Replat of a Portion of Lots 2 Through 5, Block A, Industrial Area Subdivision, Lot 101, Louisville Trade Center and Lot 4, Block 13, Caledonia Place located in the Northeast ¼ of Section 8, Township 1 South, Range 69 West of the 6th P.M, County of Boulder, City of Louisville, State of Colorado



LEGEND:

○	FOUND 5/8" REBAR W/ALUMINUM CAP STAMPED "RMCS LS 28667"	DRY U.E.	DRY UTILITY EASEMENT
●	SET 5/8" REBAR W/ALUMINUM CAP STAMPED "ROCK CREEK LS 28283"	C.U.E.	CITY OF LOUISVILLE EXCLUSIVE UTILITY EASEMENT
□	FOUND #5 REBAR	A.E.	ACCESS EASEMENT
●	FOUND #4 REBAR NO CAP	D.U.E.	DRAINAGE AND UTILITY EASEMENT
		P.U.E.	PRIVATE UTILITY EASEMENT
			PROPOSED EASEMENT
			LOT AND TRACT LINE WORK
			EXISTING R.O.W.
			PROPERTY BOUNDARY
			EXISTING EASEMENT

OWNERSHIP CERTIFICATE:
OWNER: BOOM, LLC, A COLORADO LIMITED LIABILITY COMPANY
BY: ELIZABETH LAW-EVANS, MANAGER
DATE: _____

ACKNOWLEDGEMENT:
STATE OF COLORADO)
COUNTY OF BOULDER) SS
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____
WITNESS MY HAND AND SEAL.
MY COMMISSION EXPIRES _____
NOTARY PUBLIC

SHEET INDEX

NUMBER	TITLE
1	COVER SHEET
2	FINAL PLAT

PARCEL SUMMARY

PARCEL	TOTAL AREA	OWNERSHIP	MAINTENANCE
TRACT A	0.14	DELO EAST, LLC	DELO LOFTS OA
TRACT B	0.38	DELO EAST, LLC	DELO LOFTS OA
TRACT C	0.55	DELO EAST, LLC	DELO LOFTS OA
TRACT D	0.04	DELO EAST, LLC	DELO LOFTS OA
TRACT E	0.08	DELO EAST, LLC	DELO LOFTS OA
OUTLOT 1	0.17	BOOM, LLC	DELO LOFTS OA

NOTE: EXISTING ENCUMBRANCES AND USES ARE NOTED ON THE DRAWINGS AND ARE NOT SUPERSEDED BY THE OWNERSHIP/USE TABLE.

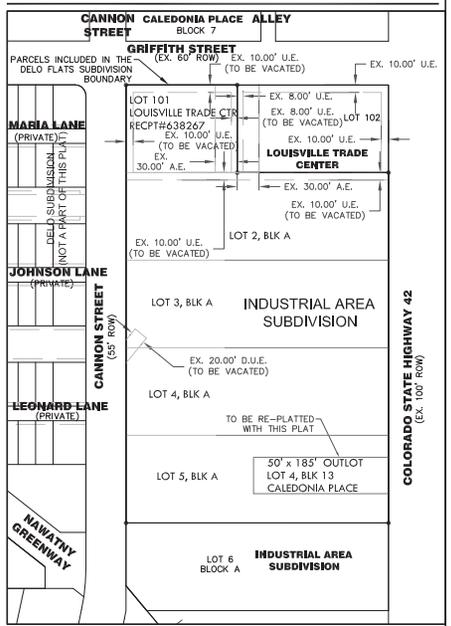
SURVEYOR'S CERTIFICATE:

I, ROBERT A. RICKARD, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THE SUBDIVISION PLAT OF DELO LOFTS TRULY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION WAS DONE IN ACCORDANCE WITH APPLICABLE STATE OF COLORADO REQUIREMENTS FOR LAND SURVEYORS.

ROBERT A. RICKARD, PLS NO. 28283 DATE _____
FOR AND ON BEHALF OF
ROCK CREEK SURVEYING, LLC

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

DELO LOFTS SUBDIVISION EXISTING PLAT INFORMATION



PLANNING COMMISSION CERTIFICATE:

RECOMMENDED APPROVAL THIS _____ DAY OF _____, 20____ BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

CITY COUNCIL CERTIFICATE:

APPROVED THIS _____ DAY OF _____, 20____ BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

MAYOR: _____ CITY CLERK: _____

CLERK AND RECORDERS CERTIFICATE:

STATE OF COLORADO)
COUNTY OF BOULDER) SS
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK AT _____ M. ON THIS _____ DAY OF _____, 20____ AND IS RECORDED IN PLAN FILE _____, FEE _____
PAID: _____ FILM NO. _____
RECEPTION NO. _____
RECORDER: _____ DEPUTY: _____

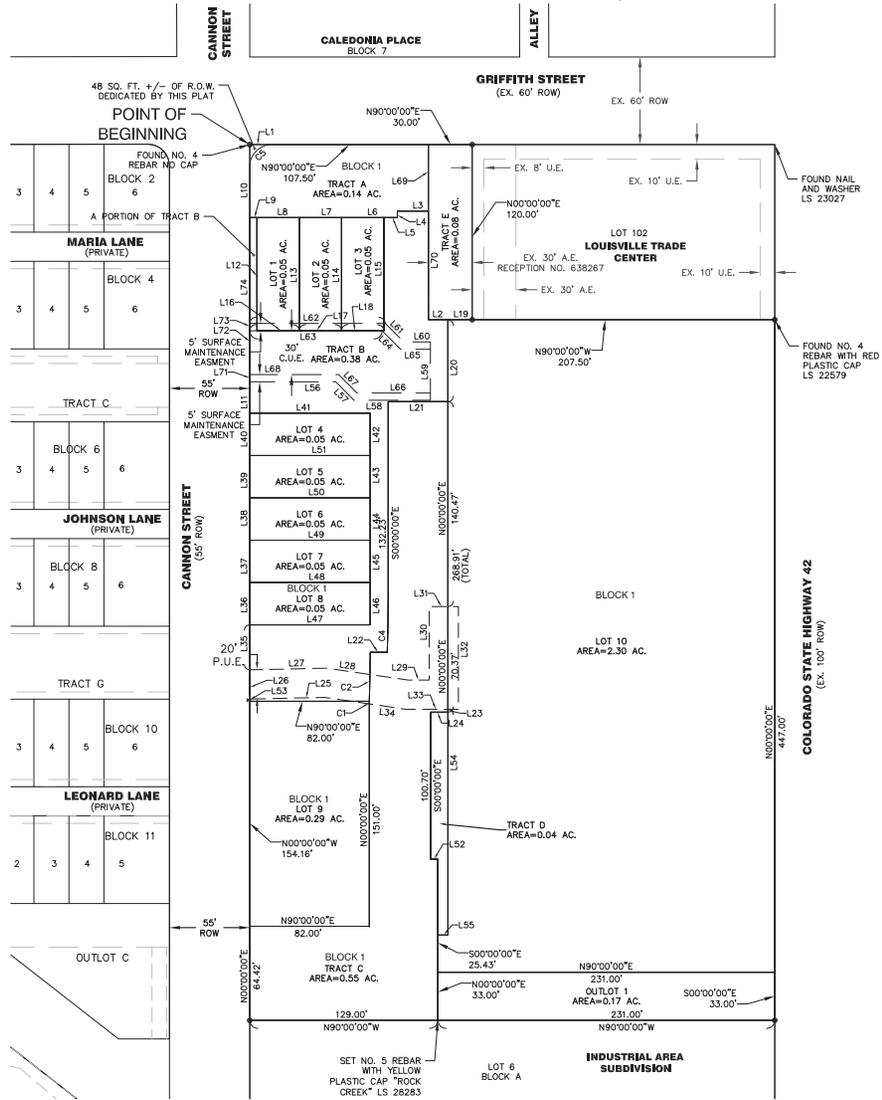
SITE BENCHMARK:
CITY OF LOUISVILLE, COLORADO "LP 4", TOP OF 3.25" ALUMINUM CAP SURVEY MONUMENT IN RANGE BOX AT THE EAST QUARTER CORNER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, AT THE INTERSECTION OF COLORADO STATE HIGHWAY 42 AND SOUTH STREET WITH PUBLISHED ELEVATION OF 5320.64 FEET (NAVD, 88 VERTICAL DATUM)

ROCK CREEK SURVEYING, LLC
3021 GARDENIA WAY
SUPERIOR, COLORADO 80027
(303) 521-7376

09/16/2016 SHEET 1 OF 2

DeLo LOFTS FINAL SUBDIVISION PLAT

A Replat of a Portion of Lots 2 Through 5, Block A, Industrial Area Subdivision, Lot 101, Louisville Trade Center and Lot 4, Block 13, Caledonia Place located in the Northeast 1/4 of Section 8, Township 1 South, Range 69 West of the 6th P.M., County of Boulder, City of Louisville, State of Colorado

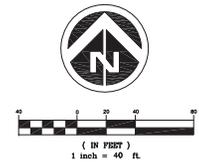


LINE #	BEARING	DISTANCE
L1	N90°00'00"W	15.00
L2	N90°00'00"W	13.35
L3	N90°00'00"E	21.25
L4	N00°00'00"E	4.50
L5	N90°00'00"E	9.25
L6	N90°00'00"E	29.00
L7	N90°00'00"E	29.00
L8	N90°00'00"E	29.00
L9	N90°00'00"E	5.00
L10	N00°00'00"E	35.00
L11	N00°00'00"E	21.50
L12	N00°00'00"E	77.50
L13	N00°00'00"E	77.50
L14	N00°00'00"E	77.50
L15	N00°00'00"E	77.50
L16	N90°00'00"E	29.00
L17	N90°00'00"E	29.00
L18	N90°00'00"E	29.00
L19	N90°00'00"E	16.65
L20	N00°00'00"E	56.08
L21	N90°00'00"W	40.85
L22	N90°00'00"W	11.55
L23	N00°00'00"E	1.99
L24	N90°00'00"E	11.80
L25	S88°45'55"W	51.76

LINE #	BEARING	DISTANCE
L26	N00°00'00"E	20.00
L27	N88°45'55"E	53.02
L28	S81°36'12"E	56.09
L29	N89°59'36"E	14.64
L30	N00°00'21"W	50.37
L31	N89°59'39"E	20.00
L32	S00°00'21"E	70.37
L33	S89°59'36"W	36.11
L34	N81°36'12"W	55.87
L35	N00°00'00"E	30.87
L36	N00°00'00"E	29.00
L37	N00°00'00"E	29.00
L38	N00°00'00"E	29.00
L39	N00°00'00"E	29.00
L40	N00°00'00"E	29.00
L41	N90°00'00"E	82.50
L42	S00°00'00"E	29.00
L43	S00°00'00"E	29.00
L44	S00°00'00"E	29.00
L45	S00°00'00"E	29.00
L46	S00°00'00"W	29.00
L47	N90°00'00"E	82.50
L48	N90°00'00"E	82.50
L49	N90°00'00"E	82.50
L50	N90°00'00"E	82.50

LINE #	BEARING	DISTANCE
L51	N90°00'00"E	82.50
L52	N90°00'00"E	4.95
L53	N00°00'00"E	1.54
L54	S00°00'00"E	152.66
L55	N89°59'58"W	6.85
L56	N90°00'00"E	58.89
L57	S45°00'00"E	17.90
L58	N90°00'00"E	52.30
L59	N00°00'00"E	40.00
L60	N00°00'00"W	18.27
L61	N45°00'00"W	17.90
L62	N90°00'00"W	92.92
L63	N90°00'00"E	90.85
L64	S45°00'00"E	17.90
L65	N90°00'00"E	20.34
L66	N90°00'00"E	50.23
L67	S45°00'00"E	17.90
L68	N90°00'00"E	60.96
L69	S00°00'00"E	45.50
L70	S00°00'00"E	74.50
L71	N00°00'00"E	5.00
L72	N00°00'00"E	30.00
L73	N00°00'00"E	5.00
L74	N00°00'00"E	72.50

CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	3.16	1025.43	00°10'37"	S00°05'22"W	3.16
C2	33.64	1013.25	00°15'49"	S01°07'49"W	33.64
C4	39.48	1002.34	00°21'52"	N01°07'42"E	39.47
C5	23.56	15.00	09°00'00"	S45°00'00"W	21.21



ROCK CREEK SURVEYING, LLC
3021 GARDENIA WAY
SUPERIOR, COLORADO 80027
(303) 521-7376

09/16/2016 SHEET 2 OF 2

de|o Final Planned Unit Development

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado

LOFTS

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planning & ia
PCS Group Inc.
1001 16th Street, 3B-180
Denver, CO 80202
Phone (303) 531-4905
www.pcsgroupco.com

engineering
J3 Engineering Consultants
2011 Cherry Street
Suite 206
Louisville, CO 80027
Phone (720) 975-0177
www.j3engineering.net

architecture
OZ Architecture
3003 Larimer Street
Denver, CO 80205
Phone (303) 861-5704
WWW.OZARCH.COM

owner's representative
Foundry Builders, Inc.
21 South Sunset Street
Longmont, CO 80501
Phone: (720) 524-3620

de|o

LOFTS

COVER SHEET

SUBMITTAL	no	date	description
	1	03.11.2016	Initial Submittal
	2	07.29.2016	Second Submittal
	2	09.16.2016	Third Submittal

designed by: sta
drawn by: kim
checked by: pms
project #: 8675309

CITY COUNCIL SIGNATURE BLOCK

APPROVED THIS ____ DAY OF _____, 201__ BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.

MAYOR _____ CITY CLERK _____

PLANNING COMMISSION CERTIFICATION

RECOMMENDED APPROVAL THIS ____ DAY OF _____, 201__ BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. _____ SERIES _____

CHAIRMAN _____

CLERK & RECORDER CERTIFICATE - COUNTY OF BOULDER, STATE OF COLORADO

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT ____ O'CLOCK ____ M, THIS ____ DAY OF _____ OF 201__ AND IS RECORDED IN PLAN FILE _____, FEE _____, PAID _____, FILM NO. _____, RECEPTION _____

RECORDER _____ DEPUTY _____

OWNERSHIP SIGNATURE BLOCK

BY SIGNING THIS FOP/PPUD, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH BY THIS FOP/PPUD. WITNESS OUR HANDS AND SEALS THIS ____ DAY OF _____, 201__.

OWNER: DELO EAST, LLC
JUSTIN McCLURE, MANAGER

NOTARY _____

(NOTARY SEAL)

louisville, colorado

de lo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado

LEGAL DESCRIPTION

LOT 101, LOUISVILLE TRADE CENTER AND A PORTION OF LOT 2, BLOCK A, LOT 3, BLOCK A, LOT 4, BLOCK A AND LOT 5, BLOCK A, INDUSTRIAL AREA SUBDIVISION LOCATED IN THE NORTHEAST ¼ OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 101;
THENCE NORTH 90°00'00" EAST A DISTANCE OF 152.50 FEET ALONG THE SOUTH RIGHT-OF-WAY LINE OF GRIFFITH STREET TO THE NORTHEAST CORNER OF SAID LOT 101;
THENCE SOUTH 00°00'00" EAST, 120.00 FEET ALONG THE EAST LINE OF SAID LOT 101 TO THE SOUTHEAST CORNER OF SAID LOT 101 BEING A POINT ON THE NORTH LINE OF SAID LOT 2;
THENCE NORTH 90°00'00" WEST, 16.66 FEET ALONG THE SOUTH LINE OF SAID LOT 101;
THENCE SOUTH 00°00'00" EAST A DISTANCE OF 268.90;
THENCE NORTH 90°00'00" WEST, 11.80 FEET;
THENCE SOUTH 00°00'00" EAST A DISTANCE OF 100.70 FEET;
THENCE NORTH 90°00'00" EAST, 4.95 FEET;
THENCE SOUTH 00°00'00" EAST A DISTANCE OF 110.40 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 5;
THENCE NORTH 90°00'00" WEST, 129.00 FEET ALONG THE SOUTH LINE OF SAID LOT 5 TO THE SOUTHWEST CORNER OF SAID LOTS;
THENCE NORTH 00°00'00" EAST, 600.00 FEET ALONG THE WEST LINE OF SAID LOTS 5, 4, 3, 2 AND 101 TO THE NORTHWEST CORNER OF SAID LOT 101, THE POINT OF BEGINNING.

CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.
AREA = 1.87 ACRES
(SURVEY BY ROCK CREEK, DATED AUGUST 25th 2013)

PROJECT DESCRIPTION

PLATTED AREA: 44.39 AC.
TOTAL GROSS PROJECT AREA: 11.91 AC.

CURRENT ZONING: MIXED USE RESIDENTIAL (MU-R)
PROPOSED ZONING: MIXED USE RESIDENTIAL (MU-R)
ACCESS: CANNON STREET (FULL MOVEMENT)

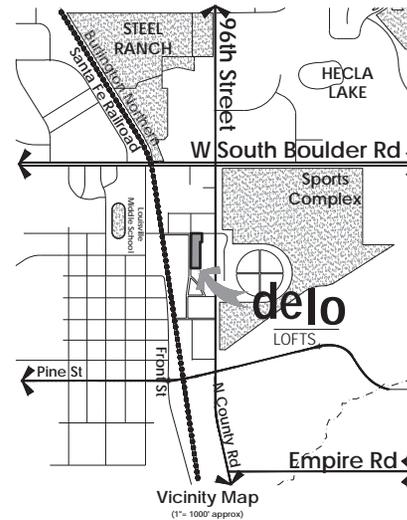


1 MASTER PLAN - DELO LOFTS

OWNERSHIP AND LAND USE SUMMARY

PARCEL	TOTAL AREA ACRES	OWNERSHIP	PRIMARY USES	MAINTENANCE
TRACT A	0.17	DELO EAST, LLC	PRIVATE UTILITIES, DRY UTILITY EASEMENTS, DRAINAGE, OUTDOOR USES, PUBLIC ACCESS, MONUMENTATION AND DRAINAGE	DELO LOFTS 0A
TRACT B	0.43	DELO EAST, LLC	PRIVATE UTILITIES, DRY UTILITY EASEMENTS, DRAINAGE, OUTDOOR USES, PUBLIC ACCESS, MONUMENTATION AND DRAINAGE	DELO LOFTS 0A
TRACT C	0.55	DELO EAST, LLC	PRIVATE UTILITIES, PRIVATE PARKING, ACCESS, DRY UTILITY EASEMENTS, MONUMENTATION AND DRAINAGE	DELO LOFTS 0A
TRACT D	0.04	DELO EAST, LLC	PRIVATE UTILITIES, DRY UTILITY EASEMENTS, DRAINAGE, OUTDOOR USES, AND PUBLIC ACCESS	DELO LOFTS 0A
OUTLOT 1	0.17	BOOM, LLC	PRIVATE UTILITIES, DRY UTILITY EASEMENTS, DRAINAGE, AND PUBLIC ACCESS	DELO LOFTS 0A

NOTE: EXISTING ENCUMBRANCES AND USES ARE NOTED ON THE DRAWINGS AND ARE NOT SUPERSEDED BY THE OWNERSHIP / USE TABLE.



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LOFTS

SHEET TITLE PROJECT INTRODUCTION

SUBMITTAL	no	date	description	scale
1	03.11.2016	Final Submittal	1"=50'	
2	07.25.2016	Second Submittal		
3	09.16.2016	Third Submittal		

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owner's representative
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 21 South Sunset Street
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 Phone (720) 524-3620

de|lo Final Planned Unit Development

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado
BULK & DIMENSION STANDARDS

LOFTS

PRINCIPAL USE GROUP	USES ¹	LOCATION
RESIDENTIAL	MULTI-UNIT DWELLING APARTMENTS/CONDOMINIUMS	LOT 9
COMMERCIAL / LIVE WORK	PROFESSIONAL BUSINESS OFFICES, RETAIL AND LIVE WORK	LOT 18

¹ ALL USES PER TABLE 1 OF SECTION 17.14.050.A ARE ALLOWED, WHICH MAY FURTHER DIVERSIFY THE RANGE OF USES WITHIN THE PROJECT.

DENSITY SUMMARY

TOTAL GROSS PROJECT AREA:	44.39 AC. ²		
GROSS LAND AREA:	42.36 AC. ²		
		UNITS	DENSITY ¹
TOTAL:	42.36 AC.	41 DU	17.37 DU/ACRE
		COMMERCIAL USE	15,840 sf ³

¹ THE DENSITY CALCULATION IS CONSISTENT WITH CITY OF LOUISVILLE CODE SECTION 17.14.06.C.1.A.

² TOTAL GROSS PROJECT AREA INCLUDES ALL PLATTED AREA PLUS ONE HALF OF RIGHT-OF-WAY AREA FOR THE DIRECTLY ADJACENT STREETS. GROSS LAND AREA IS SYNONYMOUS WITH THE AREA CONSISTENT WITH CODE (OUTLINED IN FOOTNOTE).

³ SQUARE FOOTAGE IS BASED ON 8 LIVE WORK UNITS USING 66% OF THE SPACE AS A COMMERCIAL USE

	COMMERCIAL / LIVE WORK	RESIDENTIAL
MIN. LOT AREA	1,500 SF	NA
MIN. LOT WIDTH	25'	NA
MIN. LOT COVERAGE	40%	40%
MIN. LANDSCAPE COVERAGE	10%	10%
MAX. FOOTPRINT	15,000 SF ⁴	15,000 SF ⁴
MAX. LENGTH ALONG STREET	200'	200'
MIN. % STREET FRONTAGE	60%	60%
BUILDING SETBACKS		
MIN. & MAX. PUBLIC STREET/TRACT ^{5,4} SETBACK (PRINCIPAL USES)	MAXIMUM: 50' MINIMUM: 0'	MAXIMUM: 50' MINIMUM: 0'
MIN. SIDE YARD SETBACK (PRINCIPAL & ACCESSORY USES)	0'	0'
MIN. STREET SIDE YARD SETBACK (PRINCIPAL & ACCESSORY USES)	0'	0'
MIN. REAR YARD SETBACK ⁶ (PRINCIPAL USES)	20'	0'
MIN. REAR YARD SETBACK ² (ACCESSORY USES)	0'	0'
MAX. BUILDING HEIGHT		
PRINCIPAL USES ⁷	MIN. 2 STORIES/28'	MIN. 2 STORIES/30'
ACCESSORY USES ^{7,3}	MAX. 3 STORIES/45'	MAX. 3 STORIES/45'
PARKING SETBACK		
GRIFFITH ST. & CANNON ST. R.O.W.	10'	
PROPERTY LINE	5'	

¹ FEE SIMPLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.

² ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES

³ SHALL BE SUBJECT TO HUDUD, SECTION 8 RESIDENTIAL PROTECTION AND TRANSITIONAL STANDARDS

⁴ TO BE ADMINISTERED SOLELY AS A FRONT SETBACK.

⁵ REAR SETBACKS SHALL BE MEASURED FROM EXTERNAL PROPERTY LINES OF THE DEVELOPMENT.

⁶ A SRU IS REQUIRED FOR BUILDING FOOTPRINTS OVER 10,000 SF.



1 BULK & DIMENSION KEY MAP



de|lo

LOFTS

SHEET TITLE

MASTER PLAN AND GENERAL NOTES

GENERAL NOTES AND STANDARDS

- DELO LOFTS IS A MASTER PLANNED DEVELOPMENT AND IS COMPRISED OF TWO SEPARATE AND DISTINCT PRODUCT TYPES: RESIDENTIAL, MULTI-UNIT DWELLING APARTMENTS AND/OR CONDOMINIUMS; AND COMMERCIAL / LIVE WORK, SPACE.
- ANY AND ALL TRACTS, AS DEPICTED ON THE PROJECT PLAN, SHALL BE MAINTAINED BY THE HOA. THE DEVELOPER MAY CONDUCT ACTIVITIES INCLUDING BUT NOT LIMITED TO GRADING ON ALL DEDICATED LANDS FOR THE PURPOSE OF CONSTRUCTING PUBLIC AND PRIVATE IMPROVEMENTS.
- ENTRY MONUMENTS, PROJECT IDENTITY AND WAY-FINDING SIGNAGE ARE CONCEPTUAL IN NATURE AT THE LOCATIONS SHOWN WITHIN THIS DEVELOPMENT PLAN. FINAL LOCATIONS SHALL BE DETERMINED DURING THE CONSTRUCTION DOCUMENTATION PROCESS, BUT SHALL CONFORM TO THE STANDARDS WITHIN THIS DEVELOPMENT PLAN AND SHALL BE LOCATED ON PRIVATE PROPERTY.
- THERE ARE NO HISTORIC STRUCTURES WITHIN THE DELO LOFTS PROJECT AREA.
- ACCESSIBLE SIDEWALKS AND PEDESTRIAN WAYS SHALL BE PROVIDED THAT MEET ADA STANDARDS FOR RUNNING SLOPE AND CROSS SLOPE.
- AMENITY / RECREATION STRUCTURES, IF ANY, ARE NOT INCLUDED IN DENSITY CALCULATIONS, HOWEVER MAY BE INCLUDED IN LOT COVERAGE CALCULATIONS. SUCH STRUCTURES ARE SUBJECT TO BULK AND DIMENSION STANDARDS SPECIFIED FOR ACCESSORY STRUCTURES AS DESCRIBED IN THIS DEVELOPMENT PLAN.
- PARKING STRUCTURES, CARPORTS, AND PARKING GARAGES, WHEN DETACHED, SHALL BE APPROVED AS ACCESSORY STRUCTURES AND USES NECESSARY AND CUSTOMARILY INCIDENTAL TO THE RESIDENTIAL USE, SUBJECT TO BULK AND DIMENSION STANDARDS AS DESCRIBED IN THIS DEVELOPMENT PLAN. PARKING STRUCTURES, GARAGES AND SIMILAR STRUCTURES ARE NOT INCLUDED IN DENSITY CALCULATIONS, HOWEVER ARE INCLUDED IN LOT COVERAGE CALCULATIONS. FURTHERMORE, IT IS UNDERSTOOD THAT LIVING SPACES ARE NOT PERMITTED IN OR ABOVE DETACHED GARAGES, OR AS AN ACCESSORY USE.
- NO RESTRICTIONS ARE IMPOSED WITH REGARD TO PROJECT PHASING OTHER THAN AS EXPRESSLY SET FORTH IN THIS DEVELOPMENT PLAN OR IN ANY DEVELOPMENT AGREEMENT BETWEEN THE OWNER AND THE CITY.
- THE GROUND FLOOR PROGRAM MAY BE RESIDENTIAL SUBJECT TO THE SRU CRITERIA, AND/OR COMMERCIAL, AND SHALL BE INTERCHANGEABLE, PROVIDED THAT THE TOTAL NUMBER OF DWELLING UNITS DOES NOT EXCEED THE MAXIMUM NUMBER OF DWELLING UNITS DESCRIBED HEREIN.
- RESIDENTIAL MULTI-UNIT DWELLING APARTMENTS SHALL BE ALLOWED TO TRANSITION TO CONDOMINIUMS, AT THE SOLE DISCRETION OF THE DEVELOPER, WITHOUT ADDITIONAL REQUIREMENTS.
- THE LIGHTING CONFIGURATION, DESIGN, FIXTURE TYPES, ETC. AS DEPICTED HEREIN IS SUBJECT TO FURTHER ANALYSIS, DESIGN AND AVAILABILITY, AND AS SUCH MAY VARY FROM THE FINAL PUD TO FINAL CONSTRUCTION DOCUMENTS WHILE PROVIDING ILLUMINATION LEVELS SUBSTANTIALLY SIMILAR TO THOSE APPROVED IN THE PHOTOMETRIC PLAN. PROPOSED LIGHTING WILL INCLUDE DIRECTIONAL COVERS AND SHALL BE DIRECTED AWAY FROM THE RESIDENCES.
- DELO LOFTS PROJECT CALCULATIONS, INCLUDING LANDSCAPING AND PARKING SHALL BE CALCULATED ON THE AGGREGATE DELO LOFTS PROJECT AREAS, EXCLUDING LOT 10.
- STREETSCAPE TREES AND THEIR PLANTING LOCATIONS SHALL RESPECT ALL PROPOSED AND EXISTING UTILITIES AND BE INSTALLED TO AVOID ANY AND ALL SERVICE LINES.
- ALL IMAGERY IS CONCEPTUAL IN NATURE.
- THE PROJECT MAY BE BUILT/PHASED IN ANY ORDER OF CONSTRUCTION SO LONG AS TWO POINTS OF ACCESS ARE PROVIDED.

SUBMITTAL	no	date	description
	1	05.11.2016	Final Submittal
	2	07.29.2016	Second Submittal
	3	09.16.2016	Third Submittal



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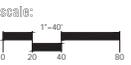


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north

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3 of 10

de|o Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



1 COMMERCIAL / LIVE WORK AREA-INTERIM CONDITION

BULK & DIMENSION STANDARDS - COMMERCIAL / LIVE WORK

	STANDARD	PROVIDED ¹
MIN. LOT AREA	1,500 SF	2,392.5 SF
MIN. LOT WIDTH	25'	29'
MIN. LOT COVERAGE	40%	70%
MIN. LANDSCAPE COVERAGE ²	10%	18.5%
MAX. FOOTPRINT	15,000 SF ³	8,414 SF
MAX. LENGTH ALONG STREET	200'	145'
MIN. % STREET FRONTAGE	70%	62% ⁴
BUILDING SETBACKS		
MIN. & MAX. PUBLIC STREET / TRACT SETBACK (PRINCIPAL USES)	MAXIMUM: 10' MINIMUM: 0'	MAXIMUM: 10' MINIMUM: 0'
MIN. SIDE YARD SETBACK ^{1,2} (PRINCIPAL & ACCESSORY USES)	0'	5'
MIN. STREET SIDE YARD SETBACK (PRINCIPAL & ACCESSORY USES)	0'	5'
MIN. REAR YARD SETBACK ¹ (PRINCIPAL USES)	20'	70'
MIN. REAR YARD SETBACK ¹ (ACCESSORY USES)	0'	4'
MAX. BUILDING HEIGHT		
PRINCIPAL USES ³	MIN. 3 STORIES/20' MAX. 3 STORIES/45'	3 STORIES / 39'
ACCESSORY USES ³	20' MAX	11'
PARKING SETBACK		
GRIFFITH ST. & CANNON ST. R.O.W.	10'	13'
PROPERTY LINE	5'	1.5'

¹ FREE SIMPLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.
² ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES.
³ SHALL BE SUBJECT TO MUDDSG, SECTION 8, RESIDENTIAL PROTECTION AND TRANSITIONAL STANDARDS.
⁴ TO BE ADMINISTERED SOLELY AS A FRONT SETBACK.
⁵ REAR SETBACKS SHALL BE MEASURED FROM EXTERNAL PROPERTY LINES OF THE DEVELOPMENT.
⁶ A SRU IS REQUIRED FOR BUILDING FOOTPRINTS OVER 10,000 SF.
⁷ LANDSCAPE COVERAGE IS BASED ON TOTAL PROJECT AREA.
⁸ MINIMUM % OF STREET FRONTAGE IS BASED ON A TOTAL SITE CALCULATION AND NOT ITEMIZED BY USES.
⁹ THE INFORMATION PROVIDED IS DEPICTING GENERAL INTENT AND MAY VARY WITHIN THE CONSTRUCTION DOCUMENTS, BUT SHALL NOT DEVIATE FROM THE STANDARDS SET FORTH AS PRESCRIBED WITHIN THE FINAL P.U.D.

USE CHART

PRINCIPAL ¹ USE GROUP	USES ²	LOCATION	UNITS
COMMERCIAL / OFFICE/ RETAIL/ LIVE WORK	PROFESSIONAL/ BUSINESS OFFICE/ RETAIL/ LIVE WORK	LOT 1-8	8

¹ THE ANTICIPATED PRINCIPAL USES EXCEED THE MLR MINIMUM REQUIREMENTS OF TWO USES AND PROVIDES A PUBLIC BENEFIT.
² ALL USES PER TABLE 1 OF SECTION 17.14.050A ARE ALLOWED, WHICH MAY FURTHER DIVERSIFY THE RANGE OF USES WITHIN THE PROJECT.

PARKING SUMMARY

COMMERCIAL & LIVE WORK CRITERIA	GROSS LEASEABLE AREA (GLA)	REQUIRED	PROVIDED	
			INTERIM	FINAL CONDITION
COMMERCIAL 1 SP / 300 SF	1,430 SF per UNIT ¹	32	OFF STREET= 16 ON STREET= 14 INDOOR/ OUTDOOR= 32 BICYCLE= 4	OFF STREET= 24 ON STREET= 14 INDOOR/ OUTDOOR= 32 BICYCLE= 4
LIVE WORK	2,770 per UNIT ¹	16		
TOTAL	33,600 SF	48 ^{2,4}	62 ^{2,4} RATIO: 1:515 SF ¹	70 ^{2,4} RATIO: 1:455 SF ¹

¹ GLA IS ASSIGNED TO BE 8% OF TOTAL COMMERCIAL AREA AS PROPOSED.
² THE COMMERCIAL / LIVE WORK BUILDINGS ARE COMPATIBLE WITH THE OVERALL USES WITHIN DELO SUBDIVISION AND MAY ALSO SHARE EXISTING PARKING FROM DELO PHASE 1, PHASE 1A, AND PHASE 3.
³ SQUARE FOOTAGE FOR COMMERCIAL AND LIVE WORK USES ARE BASED ON AN ANTICIPATED AVERAGE AND NOT A REQUIRED OR ALLOWABLE AMOUNT. SO LONG AS THE MAXIMUM AMOUNT OF RESIDENTIAL AREA DOES NOT EXCEED 60% OF THE TOTAL OCCUPYABLE SPACE.
⁴ ALL PARKING FOR DELO LOFTS SHALL BE CALCULATED ON AN AGGREGATE BASIS FOR THE PROJECT AND NOT BY INDIVIDUAL UNITS.

COMMERCIAL / LIVE WORK AREA NOTES

- THE COMMERCIAL / LIVE WORK BUILDINGS ARE ORGANIZED AROUND TWO PRIMARY POINTS OF ACCESS KNOWN AS CANNON STREET. ADDITIONALLY THIS SITE LAYOUT ENHANCES ACCESS TO EXISTING AND FUTURE PUBLIC PLAZAS, GREEN SPACES, GREENWAYS, AND MULTI-MODAL TRANSPORTATION OPPORTUNITIES.
- REFER TO THE LAND USE SUMMARY AND/OR SUBDIVISION AGREEMENT FOR TRACT OWNERSHIP AND GENERAL MAINTENANCE INFORMATION INCLUDING DELINEATION OF MAINTENANCE RESPONSIBILITIES.
- USES ALLOWED BY RIGHT; ALL USES AS PERMITTED IN THE LOUISVILLE MUNICIPAL CODE SECTION 17.14.050A, TABLE 1 IN ADDITION TO THOSE NOTED ON THE MASTER PLAN AND GENERAL NOTES.
- BUILDINGS MAY BE BUILT AT TWO OR THREE STORY HEIGHTS, OR COMBINATIONS THEREOF AND MAY INCLUDE OUTDOOR LIVING SPACES.
- LANDSCAPING WILL MEET THE INTENT OF THE APPROVED PLAN AND WITH MUDDSG REQUIREMENTS.
- THE PROPOSED COMMERCIAL AND LIVE WORK BUILDINGS SHALL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM THAT SHALL BE OFF A LOOPED MAIN SUCH THAT NO MORE THAN ONE SERVICE IS OFF A DEAD-END LINE.
- ALL BUILDING HEIGHTS RELATIVE TO ASSOCIATED GRADE SHALL BE MEASURED PER THE CITY OF LOUISVILLE MUNICIPAL CODE.
- BLOCKS AND TRACTS DO NOT CONSTITUTE A FIRM DELINEATION OF PARKING AND SHALL BE SHARED BETWEEN RESIDENTIAL AND COMMERCIAL / LIVE WORK USES.
- THE COMMERCIAL / LIVE WORK UNITS SHALL HAVE ADDITIONAL CONDITIONS, COVENANTS AND RESTRICTIONS (CCRs) THAT WILL BE CREATED BY DELO LOFTS H.O.A.
- IT IS ENCOURAGED TO PLANT DROUGHT TOLERANT, LOW GROWING PLANT MATERIAL IN THE ISLANDS BETWEEN THE PAVEMENT STRIPS CREATED BY DRIVE APRONS AND EDGE OF LANE / GARAGE. EVERGREEN AND DECIDUOUS SHRUB PLANTINGS WILL AID IN CREATING A MORE INVITING SPACE BY SOFTENING MANY OF HARDSCAPE ELEMENTS, AND SHALL COMPLY WITH ESTABLISHED SETBACKS.
- ALL SNOW REMOVAL SHALL BE THE RESPONSIBILITY OF THE OWNERS ASSOCIATION PER THE CITY OF LOUISVILLE'S CITY STANDARDS



2 COMMERCIAL / LIVE WORK AREA-FINAL CONDITION
SCALE: 1"=40'

SHEET TITLE COMMERCIAL / LIVE WORK AREA

SUBMITTAL	no	date	description
	1	03.11.2016	Final Submittal
	2	07.29.2016	Second Submittal
	3	09.16.2016	Third Submittal

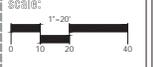
designed by: sta
drawn by: kim
checked by: pms
project #: 8675309

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4 of 21

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LOFTS

de|o Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



BULK & DIMENSION STANDARDS - RESIDENTIAL

	STANDARD	PROVIDED ¹
MIN. LOT AREA	NA	12,641.5 SF
MIN. LOT WIDTH	NA	82'
MIN. LOT COVERAGE	40%	77%
MIN. LANDSCAPE COVERAGE ²	13%	22%
MAX. FOOTPRINT	15,000 SF ⁴	9,828 SF
MAX. LENGTH ALONG STREET	200'	151'
MIN. % STREET FRONTAGE	70%	62% ⁴
BUILDING SETBACKS		
MIN. & MAX. PUBLIC STREET ¹ /TRACT ^{2,4} SETBACK (PRINCIPAL USES)	MAXIMUM: 10' MINIMUM: 0'	4.5'
MIN. SIDE YARD SETBACK ^{1,2} (PRINCIPAL & ACCESSORY USES)	0'	0'
MIN. STREET SIDE YARD SETBACK ^{1,2} (PRINCIPAL & ACCESSORY USES)	0'	NA
MIN. REAR YARD SETBACK ^{1,2} (PRINCIPAL USES)	0'	63'
MIN. REAR YARD SETBACK ² (ACCESSORY USES)	0'	0'
MAX. BUILDING HEIGHT		
PRINCIPAL USES ³	MIN. 2 STORIES/35'	3 STORIES/45'
ACCESSORY USES ^{3,5}	20' MAX.	11'
PARKING SETBACK		
GRIFFITH ST. & CANNON ST. R.O.W.	10'	13'
PROPERTY LINE	5'	5'

¹ SEE SIMPLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.
² ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES.
³ SHALL BE SUBJECT TO MUDDSG, SECTION 8, RESIDENTIAL PROTECTION AND TRANSITIONAL STANDARDS.
⁴ TO BE ADMINISTERED AS PER 14.05.01.02 AS A FRONT SETBACK.
⁵ REAR SETBACKS SHALL BE MEASURED FROM EXTERNAL PROPERTY LINES OF THE DEVELOPMENT.
⁶ A SRU IS REQUIRED FOR BUILDING FOOTPRINTS OVER 10,000 SF.
⁷ LANDSCAPE COVERAGE IS BASED ON TOTAL PROJECT AREA.
⁸ MINIMUM % OF STREET FRONTAGE IS BASED ON A TOTAL SITE CALCULATION AND NOT ITEMIZED BY USES.
⁹ THE INFORMATION PROVIDED IS DEPICTING GENERAL INTENT AND MAY VARY WITHIN THE CONSTRUCTION DOCUMENTS, BUT SHALL NOT DEVIATE FROM THE STANDARDS SET FORTH AS PRESCRIBED WITHIN THIS FINAL PUD.

USE CHART

PRINCIPAL USE GROUP	USES ¹	LOCATION
RESIDENTIAL	MULTI-UNIT DWELLING (APARTMENTS/CONDOMINIUMS)	LOT 9

¹ ALL USES PER TABLE 1 OF SECTION 17.14.05.01 ARE ALLOWED, WHICH MAY FURTHER DIVERSIFY THE RANGE OF USES WITHIN THE PROJECT.

PARKING SUMMARY

RESIDENTIAL CRITERIA	DWELLING UNITS	REQUIRED	PROVIDED	PARKING RATIO
STUDIO / 1 BR X 1 SP / DU	27	27	OFF STREET=45	
2 & 3 BR X 2 SP / DU	2 & 3 BR X 2 : 6	12	LOADING=1	
GUEST 1 SP / 8 DU		4	BICYCLE=6	
TOTAL	33 UNITS	43	48	1.4

RESIDENTIAL NOTES AND STANDARDS

- THE RESIDENTIAL (MULTI DWELLING UNITS) WILL BE ORGANIZED AROUND TWO PRIMARY POINTS OF ACCESS: KNOWN AS CANNON STREET. THIS SITE LAYOUT ENHANCES ACCESS TO PUBLIC PLAZAS, GREEN SPACES, GREENWAYS, AND MULTI-MODAL TRANSPORTATION OPPORTUNITIES.
- REFER TO THE LAND USE SUMMARY AND/OR SUBDIVISION AGREEMENT FOR TRACT OWNERSHIP AND GENERAL MAINTENANCE INFORMATION INCLUDING DELINEATION OF MAINTENANCE RESPONSIBILITIES.
- USES ALLOWED BY RIGHT: ALL USES AS PERMITTED IN THE LOUISVILLE MUNICIPAL CODE SECTION 17.14.05.01, TABLE 1 IN ADDITION TO THOSE NOTED ON THE MASTER PLAN AND GENERAL NOTES.
- BUILDINGS MAY BE BUILT AT TWO OR THREE STORY HEIGHTS, OR COMBINATIONS THEREOF AND MAY INCLUDE OUTDOOR LIVING SPACES.
- THE PROPOSED RESIDENTIAL (MULTI DWELLING UNITS) SHALL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM THAT SHALL BE OFF A LOOPED MAIN SUCH THAT NO MORE THAN ONE SERVICE IS OFF A DEAD-END LINE.
- BLOCKS AND TRACTS DO NOT CONSTITUTE A FIRM DELINEATION OF PARKING AND SHALL BE SHARED BETWEEN RESIDENTIAL AND COMMERCIAL / LIVE WORK USES.
- LANDSCAPING WILL MEET THE INTENT OF THE APPROVED PLAN AND WITH THE MUDDSG REQUIREMENTS.
- ALL SNOW REMOVAL SHALL BE THE RESPONSIBILITY OF THE OWNERS ASSOCIATION PER THE CITY OF LOUISVILLE'S CITY STANDARDS



de|o

LOFTS

1 RESIDENTIAL AREA

SHEET TITLE

RESIDENTIAL AREA

SUBMITTAL	no	date	description
1	03.11.2016	03.11.2016	Final Submittal
2	07.25.2016	07.25.2016	Second Submittal
3	09.16.2016	09.16.2016	Third Submittal

designed by: sta
 drawn by: kim
 checked by: pms
 project #: 8675309

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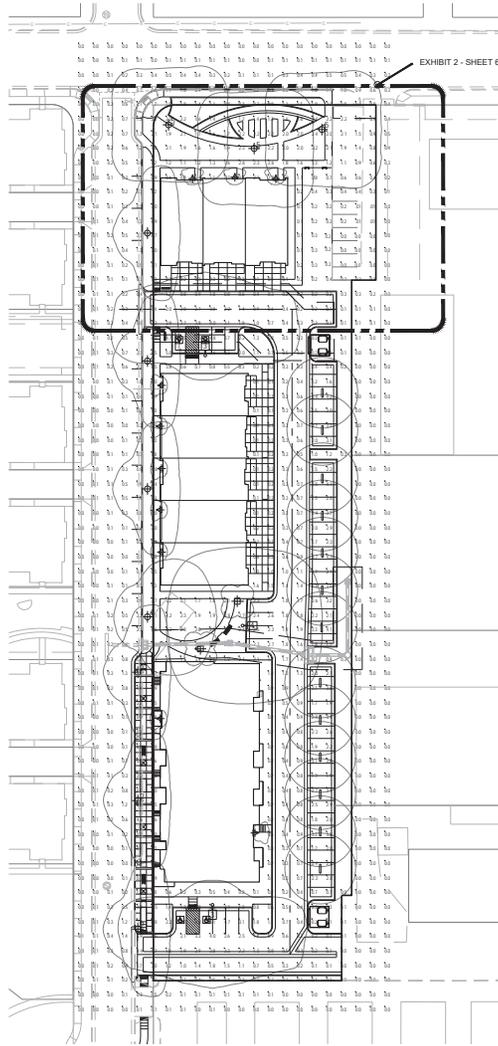
Foundry Builders, Inc.
 21 South Sunset Street
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 Phone (720) 524-3620

10/10/2016 11:27am 108767.dwg
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de|o Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



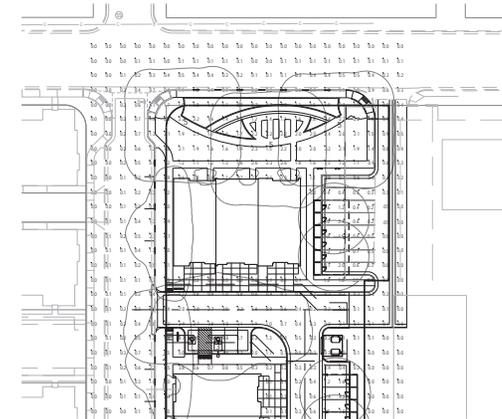
1 PHOTOMETRIC PLAN - INTERIM SITE PLAN CONDITION
SCALE: 1"=40'

Luminaire Schedule							
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
+	10	Eurofase Vello Wall Sconce	0.900	28282-013	5.1	189	8'
+	2	Landscape Forms Bollard	0.900	HW-012L5-035F-40K	15.44	718	3'
+	3	Lumec Metroscope Type 5	0.900	MPTR-80W48LED4K-T-LE5	81	7138	12'
-	13	EELP Canopy Light	0.750	_VR4-70M-GT_	95	3754	10'
+	6	Lumec Metroscope Type 2	0.900	MPTR-80W48LED4K-T-LE2	81	6833	12'
+	1	Lumec Metroscope Type 4	0.900	MPTR-80W48LED4K-T-LE4	81	6784	12'
+	2	Gardco StenderForm Type 3	0.900	SFRA-3-130LA-8053-NW	127.9	11174	20'
+	1	Gardco StenderForm Type 5	0.900	SFRA-SW-130LA-8053-NW	128.6	12495	20'

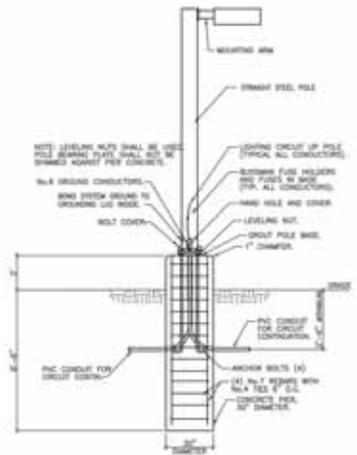
2 LUMINAIRE SCHEDULE - INTERIM SITE CONDITION

Luminaire Schedule							
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
+	10	Eurofase Vello Wall Sconce	0.900	28282-013	5.1	189	8'
+	2	Landscape Forms Bollard	0.900	HW-012L5-035F-40K	15.44	718	3'
+	3	Lumec Metroscope Type 5	0.900	MPTR-80W48LED4K-T-LE5	81	7138	12'
-	15	EELP Canopy Light	0.750	_VR4-70M-GT_	95	3754	10'
+	6	Lumec Metroscope Type 2	0.900	MPTR-80W48LED4K-T-LE2	81	6833	12'
+	1	Lumec Metroscope Type 4	0.900	MPTR-80W48LED4K-T-LE4	81	6784	12'
+	2	Gardco StenderForm Type 3	0.900	SFRA-3-130LA-8053-NW	127.9	11174	20'
+	1	Gardco StenderForm Type 5	0.900	SFRA-SW-130LA-8053-NW	128.6	12495	20'

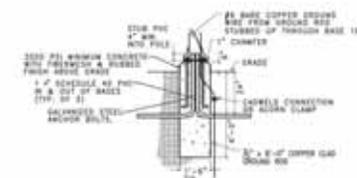
3 LUMINAIRE SCHEDULE - FINAL SITE CONDITION



4 PHOTOMETRIC PLAN - FINAL SITE CONDITION
SCALE: 1"=40'



2 TALL POLE DETAIL
SCALE: 3/8\"/>



3 SHORT POLE DETAIL
SCALE: 3/8\"/>

de|o

LOFTS

SHEET TITLE

PHOTOMETRIC PLAN

SUBMITTAL	no	date	description	scale:
	1	03.11.2016	Initial Submittal	
	2	07.29.2016	Second Submittal	
	3	09.16.2016	Third Submittal	

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owner's representative
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21 South Sunset Street
Longmont, CO 80501
Phone (720) 524-3620

scale:
0 20 40 80
1"=40'

north

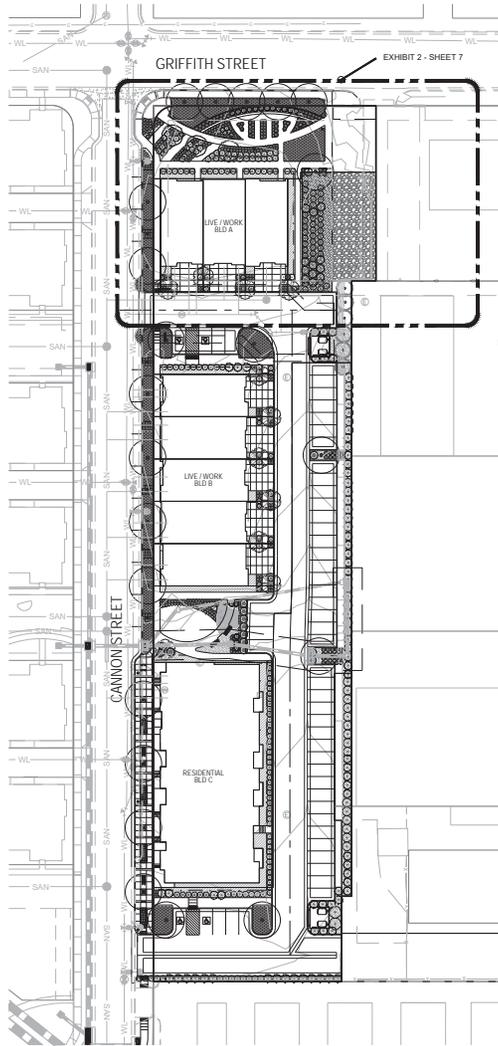
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6 of 21

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delo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado

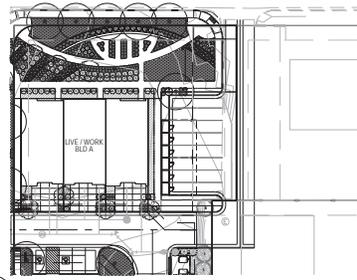


SUGGESTED PLANT PALETTE:

BOTANICAL NAME	COMMON NAME
DECIDUOUS TREES	
ACER MYABEI STATE STREET	STATE STREET MAPLE
CELTIS OCCIDENTALIS	WESTERN HACKBERRY
QINQUO BLODA SAKATOYA	MADONNAR TREE
GLEDITSIA TRICANTHOS IMPERIAL	IMPERIAL HONEYLOCUST
TILIA CORDATA GREENSPIRE	GREENSPIRE LITTLELEAF LINDEN
ULMUS X FRONTIER	FRONTIER ELM
EVERGREEN TREES	
PRINUS HELDREICHI	BOSNIAN PINE
PRINUS NIGRA	AUSTRIAN BLACK PINE
ORNAMENTAL TREE	
ACER GRINOLA FLAME	FLAME AMAR MAPLE
AMELANCHIER CANDENSIS AUTUMN BRILLIANCE	AUTUMN BRILLIANCE SERVICEBERRY
PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR
DECIDUOUS SHRUBS	
AMELANCHIER ALNIFOLIA REGENT	SASKATOON SERVICEBERRY
BERBERIS THUNBERGI HELMOND PILLAR	COLUMBAR BARBERRY
CARYOPHTERIS X CLAUDONENSIS DARK KNIGHT	BLUE MIST SPIREA
CORNUS SERICEA ISANTI	ISANTI REDOSIDER DOGWOOD
CORNUS SERICEA KEELSEY	KEELSEY DOGWOOD
EDONYMUS ALATUS COMPACTUS	COMPACT BURNING BUSH
HYDRANGEA ARBORESCENS ANNABELLE	ANNABELLE SMOOTH HYDRANGEA
PHYSCOCARPUS ORPULIDIS DART S GOLD	YELLOW NINEBARK
RHUS TRILOBATA GRO LOW	SKUNKBUS SUMAC
ROSA X PARK ENCKECKIT	ROSE
SPIRAEA JAPONICA ANTHONY WATERER	SPIREA
VELURNUM LENTAGO	NANNYBERRY
EVERGREEN SHRUBS	
EDONYMUS FORTUNEI COLORATA	PURPLE LEAF WINTER CREEPER
JUNIPERUS CHINENSIS HOLBERT	HOLBERT JUNIPER
JUNIPERUS HORIZONTALIS BLUE CHIP	BLUE CHIP JUNIPER
JUNIPERUS HORIZONTALIS HUGHES	HUGHES JUNIPER
JUNIPERUS SABINA ARCADIA	ARCADIA JUNIPER
JUNIPERUS SCOPULORUM COLOGREEN	COLOGREEN JUNIPER
JUNIPERUS SCOPULORUM MOONGLOW	MOONGLOW JUNIPER
JUNIPERUS X MEDIA SEA GREEN	SEA GREEN JUNIPER
TAXUS X MEDIA TAUNTONI	TAUNTON VEW
GRASSES	
CALAMAGROSTIS BRACHYTRICHA	REED GRASS
CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER	FEATHER REED GRASS
HELICTROSTION SEMIPERENNIS	BLUE OAT GRASS
MISCANTHUS SINENSIS MORNING LIGHT	EULALIA GRASS
MISCANTHUS SINENSIS YAKU JIMA	DWARF TADPOLE GRASS
PENISTEMUM ALPELUCURIDES WAKELY	HAWKBIT DWARF FOUNTAIN GRASS
PENISTEMUM ALPELUCURIDES RED HEAD	RED HEAD FOUNTAIN GRASS
ANNUAL/SPEERENIALS	
ACHILLEA X MOONSHINE	MOONSHINE YARROW
COREOPSIS VERTICILLATA MOONBEAM	THREADEAF COREOPSIS
ECHINACEA PURPUREA MAGNUS	MAGNUS PURPLE CONEFLOWER
HEMEROCALLIS STELLA DE ORO	STELLA DE ORO DAYLILY
RODOLPHIA FULGIDA GOLDSTURM	GOLDSTURM BLACK EYED SUSAN

LANDSCAPE KEY

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- SOD - IRRIGATED
- ROCK MULCH - NON IRRIGATED
- WOOD MULCH - IRRIGATED
- CRUSHER FINES-GRAY
- EDGER - PERFORATED



2 LANDSCAPE PLAN AREA-FINAL CONDITION
SCALE: 1"=40'

LANDSCAPE REQUIREMENTS

STREET TREES	REQUIREMENT	LF	REQUIRED	PROVIDED
GRIFFITH STREET	1 TREE / 20 L.F.	116	6	5 WITHIN ROW 1 ON SITE
CANNON STREET	1 TREE / 20 L.F.	512	26	10 WITHIN ROW 16 ON SITE
PARKING LOT				
INTERIOR	5% OF THE TOTAL INTERIOR AREA LANDSCAPED	30,924	1,546 SF	2,907 SF
TREES	1 TREE/200 SF OF INTERNAL LANDSCAPED AREA	1,546	6	7

SITE TOTAL*	REQUIRED	PROVIDED (INTERIM COND.)	PROVIDED (#FINAL COND.)
TREES	38	46	44
PERENNIALS/GRASSES	NA	668	616
	NA	423	423

*SITE TOTAL INCLUDES TREES LOCATED WITHIN THE ROW, PARKING LOT ISLANDS AS WELL AS THE PROPOSED GREEN SPACES, WHICH MEETS AND EXCEEDS THE TREE AND SHRUB REQUIREMENTS FOR THE SITE PER THE CITY OF LOUISVILLE'S MUDSG.

GENERAL LANDSCAPE NOTES:

- FINAL CONSTRUCTION DOCUMENTS SHALL CONFORM TO THE REQUIREMENTS OUTLINED WITHIN THIS PUD SUBMITTAL.
- LANDSCAPE PLANS ARE SCHEMATIC IN NATURE AND ARE SUBJECT TO MODIFICATIONS TO MEET THE CITY'S REQUIREMENTS, THE DEVELOPER'S PROGRAM, THE BUILDING AND ARCHITECTURE AND TARGET DEMOGRAPHIC OR OTHER NECESSARY REQUIREMENTS.
- THE LOCATION OF LANDSCAPE PLANTINGS MAY BE ALTERED TO PROVIDE ADEQUATE CLEARANCE FROM THE FINAL LOCATION OF UNDERGROUND UTILITIES. HOWEVER SHALL NOT BE USED AS A MEANS OF REDUCING THE NUMBER OF TREES AND SHRUBS AS REQUIRED PER THE MUDSG. THE BASE OF DECIDUOUS TREES SHALL BE PLANTED NO CLOSER THAN 5' FROM WET UTILITIES. THE BASE OF EVERGREEN TREES SHALL BE PLANTED NO CLOSER THAN 10' FROM ALL WET UTILITIES UNLESS OTHERWISE DIRECTED BY THE CITY.
- GRASS AREAS DESIGNATED AS IRRIGATED TURF SHALL BE SEEDED OR SODDED WITH A DROUGHT TOLERANT GRASS MIXTURE.
- THE SIZE OF DECIDUOUS TREES SHALL BE A MINIMUM OF 2 1/2" CALIPER AND THE SIZE OF EVERGREEN TREES SHALL BE A MINIMUM OF 6-8" IN HEIGHT.
- THE SIZE OF DECIDUOUS AND EVERGREEN SHRUBS SHALL BE A MINIMUM OF 5 GALLONS.
- WHENEVER POSSIBLE, MECHANICAL DEVICES SHALL BE SCREENED WITH LANDSCAPE MATERIAL.
- SITE MONUMENTATION AND AMENITIES THROUGHOUT THE DEVELOPMENT WILL BE CONSTRUCTED IN CONCERT WITH ASSOCIATED PHASE IMPROVEMENTS.
- RIGHT OF WAY PRIVATE PARKING AND THEIR ASSOCIATED IMPROVEMENTS WILL BE PRIVATELY MAINTAINED BY THE OWNERS ASSOCIATION WHICH SHALL INCLUDE LANDSCAPE MAINTENANCE AND SNOW REMOVAL OTHER PUBLIC OR PRIVATE IMPROVEMENTS, INCLUDING CAPITAL IMPROVEMENTS TO THE ROW AND THEIR ASSOCIATED MAINTENANCE SHALL BE FURTHER DEFINED IN THE SUBDIVISION AGREEMENT.
- ALL LANDSCAPE IMPROVEMENTS SHALL BE DESIGNED AND INSTALLED WITH THE INTENT TO PRESERVE THE PEDESTRIAN EXPERIENCE WHILE ENSURING PUBLIC SAFETY AND MAINTAINING A HIGH AESTHETIC QUALITY WITHIN THE SITE.
- PLANT DIVERSITY SHOULD BE CONSIDERED WHEN SELECTING STREET TREES. THE MAXIMUM PERCENTAGE OF ANY ONE TREE SPECIES ON SITE SHOULD NOT EXCEED 33%.
- EACH STREET TREE SHALL BE IRRIGATED VIA DRIP IRRIGATION OR A DRIP RING EMITTER.
- A LOW WATER PLANT PALETTE IS PROPOSED. ADDITIONAL PLANTS MAY BE PROPOSED IN SUBSEQUENT PROCESSES.
- THE USE OF ROOT BARRIERS IS REQUIRED FOR CANOPY TREES PLANTED IN PARKWAYS THAT ARE LESS THAN 10' IN WIDTH.
- THE QUANTITY AND LOCATION OF LANDSCAPE AND HARDSCAPE ELEMENTS DEPICTED MAY BE ALTERED WITHIN THE CONSTRUCTION DOCUMENTS.
- THE LANDSCAPE PLAN DEPICTED HEREIN SHALL BE USED AS THE GUIDING DOCUMENT FOR THE LANDSCAPE CONSTRUCTION DRAWINGS, BUT MAY BE ALTERED TO ACCOMMODATE UTILITIES, WALLS, GRADING, ADA ACCESSIBILITY AND OTHER HORIZONTAL AND VERTICAL REFINEMENTS.



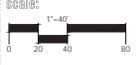
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LOFTS

SHEET TITLE

LANDSCAPE PLAN

SUBMITTAL	no	date	description
	1	03.11.2016	Initial Submittal
designed by: sta	2	07.29.2016	Second Submittal
drawn by: kim	3	09.16.2016	Third Submittal
project #: 8675309			



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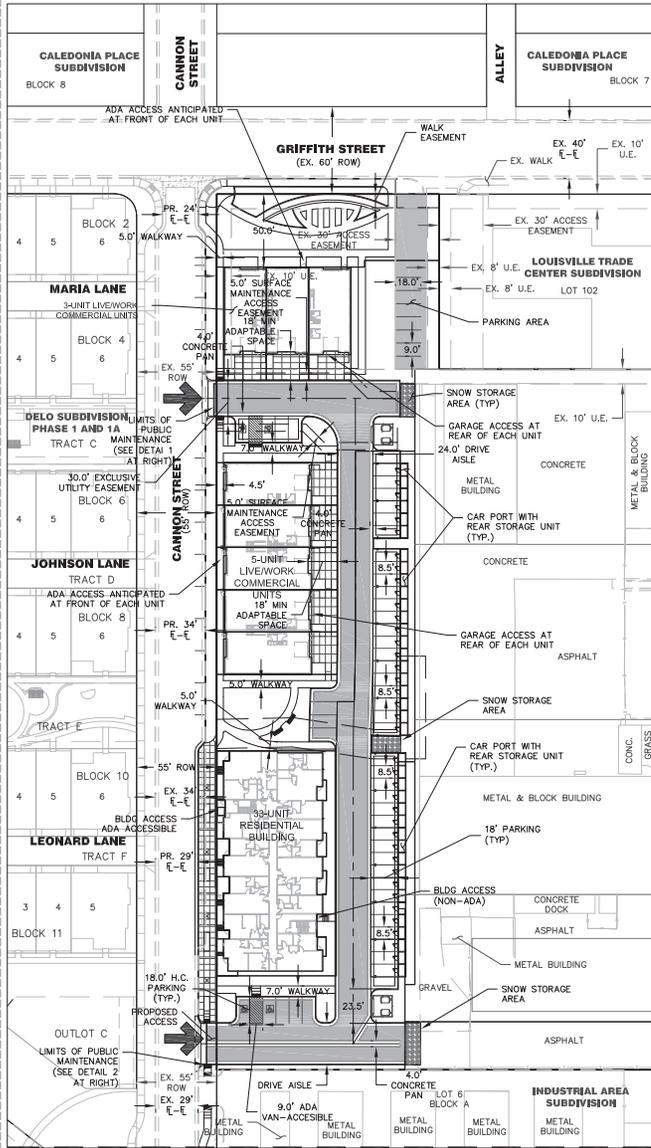
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1 LANDSCAPE PLAN
SCALE: 1"=40'

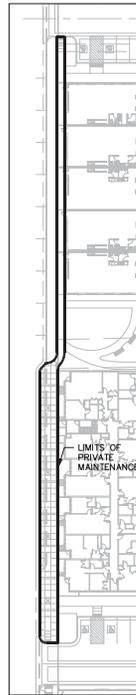
delo Final Planned Unit Development

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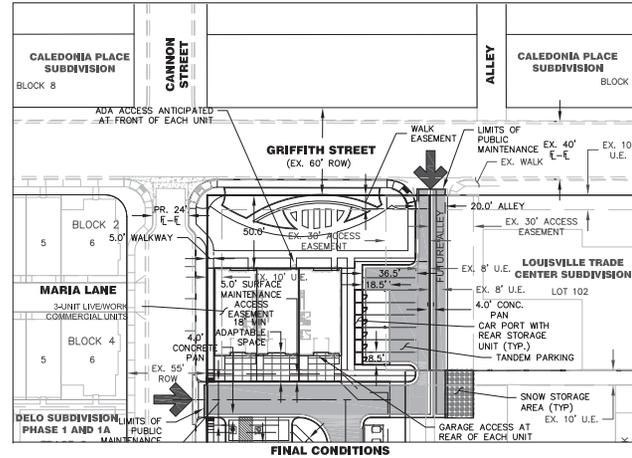
LOFTS



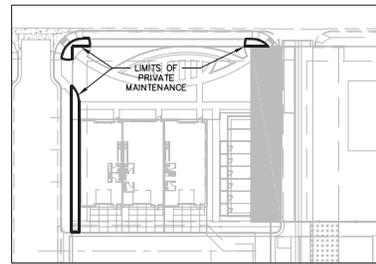
INTERIM CONDITIONS



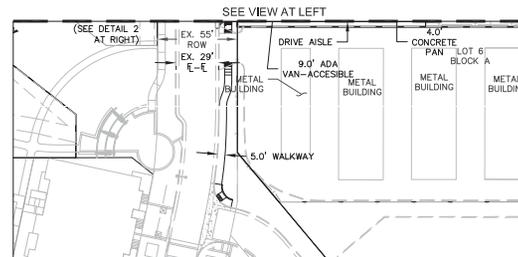
PRIVATE MAINTENANCE DETAIL



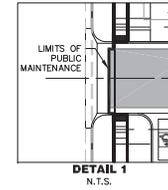
FINAL CONDITIONS



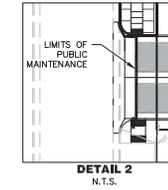
MAINTENANCE CONDITIONS DETAIL (FINAL CONDITIONS)



EXTENDED WALK DETAIL



DETAIL 1
N.T.S.



DETAIL 2
N.T.S.

LEGEND

- CENTER LINE OF STREET
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- WOOD PANEL FENCE
- CURB & GUTTER
- EX. CURB & GUTTER
- CURB, GUTTER, CROSSSPAN SIDEWALK & RAMP
- STREET LIGHT
- STREET SIGN
- SNOW STORAGE AREA
- THICKER ASPHALT PAVEMENT FOR EMERGENCY VEHICLES PER GEOTECHNICAL REPORT (TIPS)
- LIMITS OF PUBLIC MAINTENANCE

NOTE:
THE HORIZONTAL LAYOUT PRESENTED IN THIS PLAN IS A REPRESENTATION OF THE DESIGN INTENT FOR THE LOFTS AT DELO DEVELOPMENT. SPECIFIC ELEMENTS ARE SUBJECT TO REVISION IN ORDER TO ACCOMMODATE UNFORSEEN CIRCUMSTANCES AND CHANGING PROJECT CONDITIONS.

delo

LOFTS

SHEET TITLE
HORIZONTAL CONTROL PLAN

SUBMITTAL	no	date	description
	1	03.11.2016	Initial Submittal
	2	07.14.2016	Second Submittal
	3	09.16.2016	Third Submittal

designed by: sta
drawn by: km
checked by: gms
project #: 8675309



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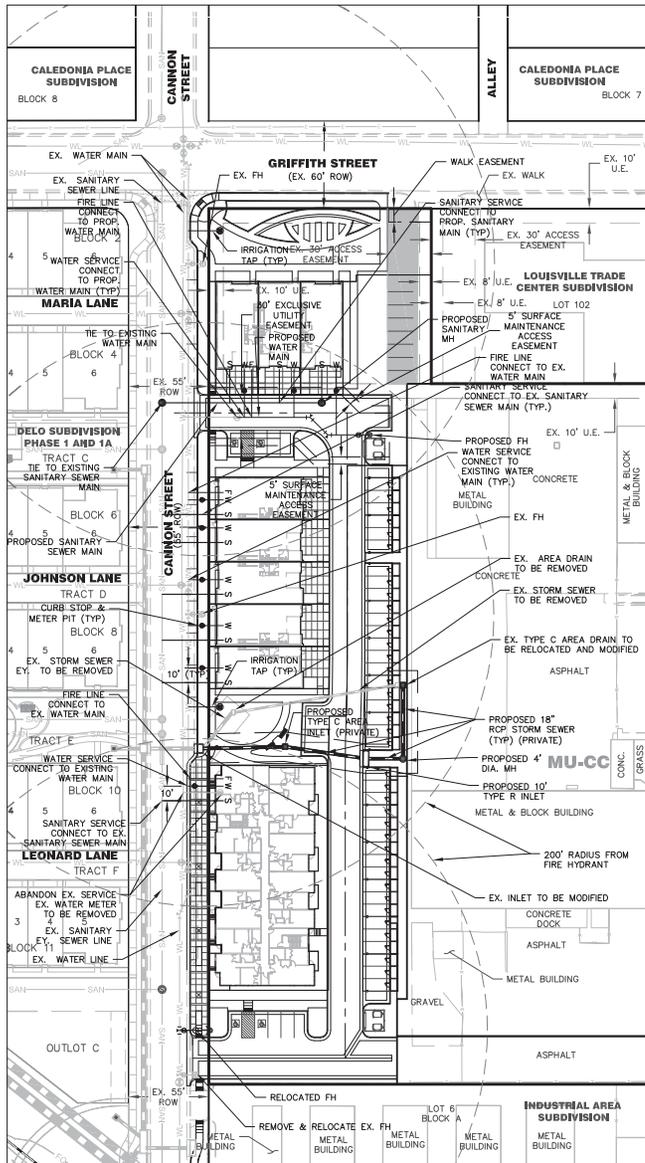
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sheet
9 of 21

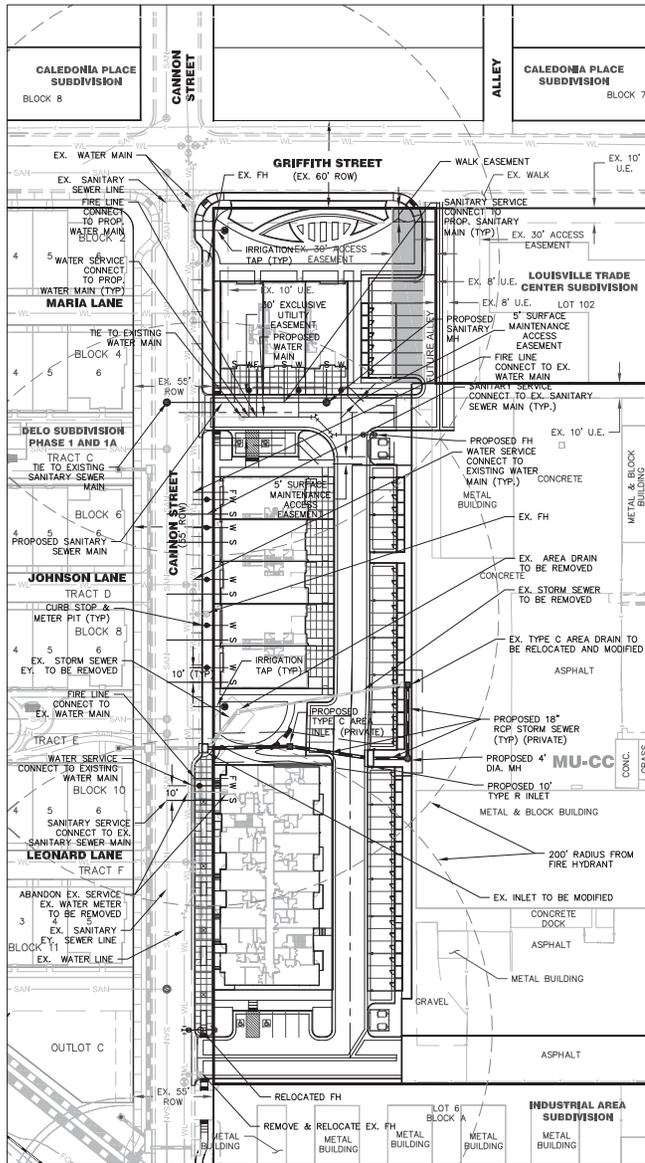
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LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



INTERIM CONDITIONS



FINAL CONDITIONS

SYMBOLS AND LINETYPES LEGEND

CENTER LINE OF STREET	EX. WATERLINE W/ VALVE & TEE
BOUNDARY LINE	EX. SANITARY SEWER W/ MANHOLE
RIGHT OF WAY LINE	EX. SANITARY SEWER FORCE MAIN
LOT LINE	EX. STORM SEWER W/ INLET & F.E.S.
EASEMENT LINE	EX. UNDERGROUND ELECTRICITY LINE
PROPOSED CONTOURS 5800	EX. OVERHEAD ELECTRICITY LINE
EXISTING CONTOURS 5200	EX. GAS LINE
WATERLINE W/ GATE VALVE & TEE	EX. TELEPHONE LINE
SANITARY SEWER W/ MANHOLE	EX. FIBER OPTIC LINE
STORM SEWER W/ INLET & F.E.S.	EX. FIRE HYDRANT
CURB, GUTTER, CROSSPAN SIDEWALK & RAMP	FIRE HYDRANT
SWALE	METER PIT
	CURB STOP
	FLOW ARROW
	SLOPE ARROW 2.0%
	STREET LIGHT
	STREET SIGN
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	CURB & GUTTER
	EX. CURB & GUTTER

NOTES

1. THE UTILITY LAYOUT PRESENTED IN THIS PLAN IS A REPRESENTATION OF THE DESIGN INTENT FOR THE LOFTS AT DE LO DEVELOPMENT. SPECIFIC ELEMENTS ARE SUBJECT TO REVISION IN ORDER TO ACCOMMODATE UNFORESEEN CIRCUMSTANCES AND CHANGING PROJECT CONDITIONS.
2. FOR THE PURPOSES OF CLARITY, CERTAIN EXISTING UTILITIES ARE NOT SHOWN ON THIS PLAN. THESE INCLUDE MOST DRY UTILITIES, UTILITIES BEING ABANDONED OR REMOVED AS A PART OF THIS PROJECT.
3. WATER VALVES AND MANHOLE LIDS SHALL NOT BE PLACED IN THE CURB AND GUTTER.

de lo

LOFTS

SHEET TITLE

UTILITY PLAN

SUBMITTAL	no	date	description
	1	03.11.2016	Final Submittal
	2	07.14.2016	Second Submittal
	3	09.16.2016	Third Submittal

designed by: sta
drawn by: klm
checked by: pms
project #: 8675309



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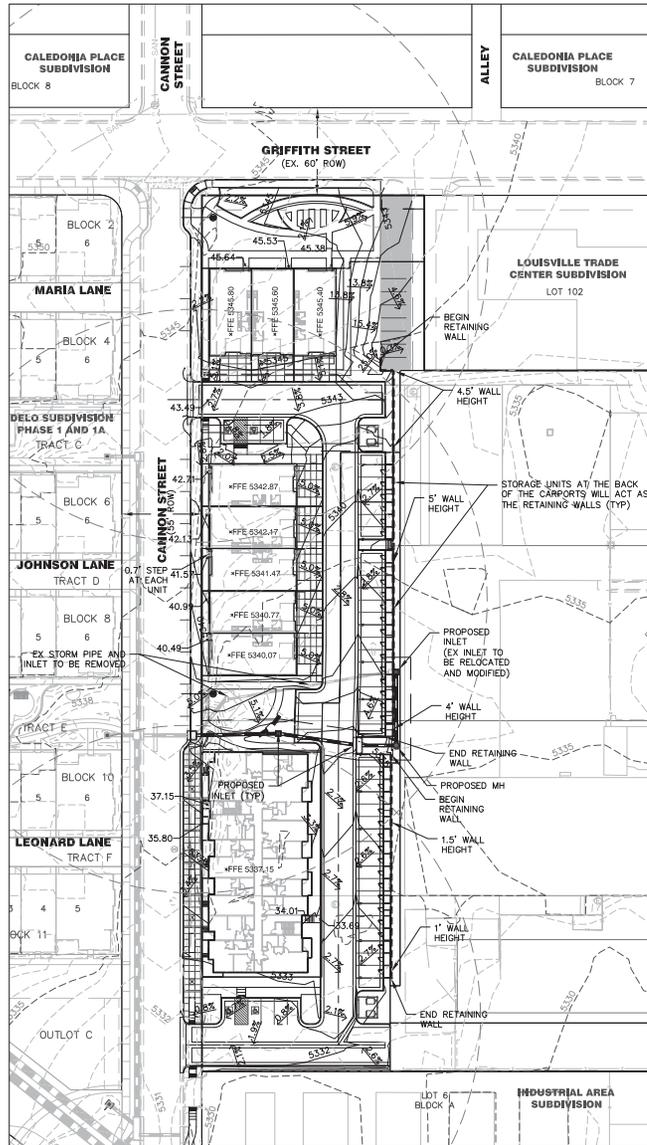
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of
21

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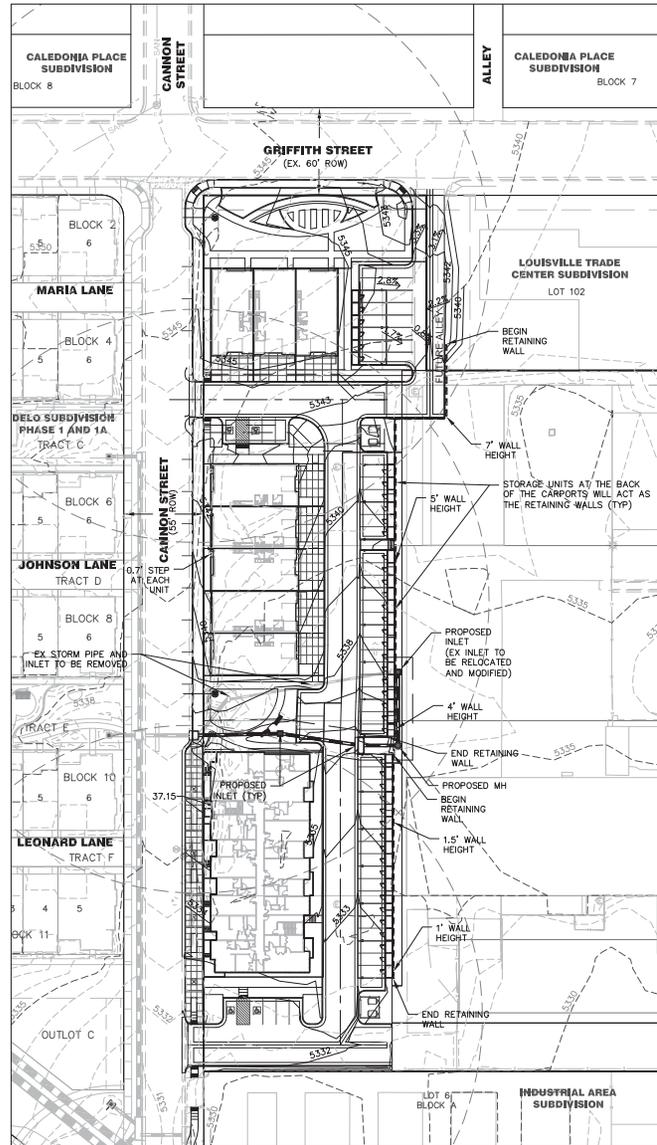
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LOFTS

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INTERIM CONDITIONS



FINAL CONDITIONS

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CURB, GUTTER, CROSSWALK & RAMP	FIRE HYDRANT
SWALE	FLOW ARROW
	SLOPE ARROW 2.0%
	STREET LIGHT
	STREET SIGN
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	CURB & GUTTER
	EX. CURB & GUTTER

NOTE
THE GRADING PRESENTED IS CONCEPTUAL BUT SHALL BE CONSIDERED THE BASIS FOR SUBSEQUENT GRADING PLANS.

delo

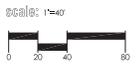
LOFTS

GRADING PLAN

SHEET TITLE

SUBMITTAL	no	date	description
	1	03.11.2016	Final Submittal
	2	07.14.2016	Second Submittal
	3	09.16.2016	Third Submittal

designed by: sta
drawn by: klm
checked by: pms
project #: 8675309



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DATE: 09/16/2016 10:25:00 AM
 USER: klm
 PROJECT: 8675309

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LOFTS

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City of Louisville, County of Boulder, State of Colorado



SOUTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

MATERIAL PALETTE

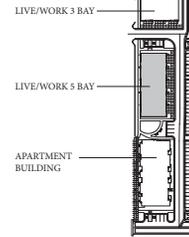
-  BR1. BRICK, RUNNING BOND, COLOR: MEDIUM BROWN
-  BR2. BRICK, RUNNING BOND, COLOR: DARK BROWN
-  LS2. CEMENT LAP SIDING OR STUCCO, COLOR: ORANGE
-  LS1. CEMENT LAP SIDING OR STUCCO, COLOR: LIGHT GREY/TBD
-  MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING, COLOR: MEDIUM GREY
-  WS1. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN 8" ROUGH SAWN CEDAR STAINED & SEALED
-  SS1. STANDING SEAM METAL PANEL SIDING, COLOR: CHARCOAL
-  SS2. STANDING SEAM METAL PANEL SIDING, COLOR: LIGHT GREY
-  W01. ALUMINUM CLAD WINDOW FRAME, COLOR: CHARCOAL
-  TP1. PAINTED ACCENT TRIM, COLOR: DARK GREY
-  MS3. PAINTED FAUX METAL EXPOSED BEAM, COLOR: BLACK
-  GR1. POWDERCOATED METAL GUARDRAIL, COLOR: BLACK
-  ST1. STOREFRONT SYSTEM, COLOR: CHARCOAL
-  MT1. METAL CANOPY

NOTES

ALL BUILDING MATERIALS AND COLORS ARE FROM THE BUILDING MATERIAL PALETTE ARE ELIGIBLE FOR USE IN THE CONSTRUCTION DOCUMENTATION PROCESS.

THE ARCHITECT WILL VARY THE COLORS ON THE EXTERIOR BALCONIES OF THE RESIDENTIAL BUILDINGS PROPOSING TO USE COMPLEMENTARY COLORS SELECTED OUT OF THE MATERIAL PALETTE FOR EACH BUILDING. THE ACTUAL COLOR ASSIGNMENT WILL BE FINALIZED IN SUBSEQUENT BUILDING CONSTRUCTION DOCUMENTS.

KEY PLAN



SHEET TITLE:
ELEVATIONS - 5 BAY COMMERCIAL/LIVE WORK

SUBMITTAL	no	date	description	scale: 1/8"=1"
	2	07.29.2016	Second Submittal	
	3	09.16.2016	Third Submittal	

planning & design
 PCS Group Inc.
 1001 16th Street, 38-180
 Denver, CO 80202
 Phone (303) 531-4905
 www.pcsgroupco.com

architecture
 OZ Architecture
 3003 Loimer Street
 Denver, CO 80205
 Phone (303) 861-5704
 www.OZarch.com

engineering
 J3 Engineering Consultants
 2011 Cherry Street
 Suite 206
 Louisville, CO 80027
 Phone (720) 974-0177
 www.j3engineering.net

foundry submitters
 Foundry Submitters, Inc.
 21 South Sunset Street
 Longmont, CO 80501
 Phone (720) 524-3620



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delo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



NORTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"

MATERIAL PALETTE

 BR1. BRICK, RUNNING BOND, COLOR: MEDIUM BROWN	 SS2. STANDING SEAM METAL PANEL SIDING, COLOR: LIGHT GREY
 BR2. BRICK, RUNNING BOND, COLOR: DARK BROWN	 W01. ALUMINUM CLAD WINDOW FRAME, COLOR: CHARCOAL
 LS2. CEMENT LAP SIDING OR STUCCO, COLOR: ORANGE	 TP1. PAINTED ACCENT TRIM, COLOR: DARK GREY
 LS1. CEMENT LAP SIDING OR STUCCO, COLOR: LIGHT GREY/TBD	 MS3. PAINTED FAUX METAL EXPOSED BEAM, COLOR: BLACK
 MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING, COLOR: MEDIUM GREY	 GR1. POWDERCOATED METAL GUARDRAIL, COLOR: BLACK
 WS1. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN 8" ROUGH SAWN CEDAR STAINED & SEALED	 ST1. STOREFRONT SYSTEM, COLOR: CHARCOAL
 SS1. STANDING SEAM METAL PANEL SIDING, COLOR: CHARCOAL	 MT1. METAL CANOPY

NOTES

ALL BUILDING MATERIALS AND COLORS ARE FROM THE BUILDING MATERIAL PALETTE ARE ELIGIBLE FOR USE IN THE CONSTRUCTION DOCUMENTATION PROCESS.

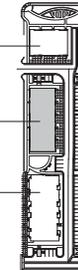
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KEY PLAN

LIVE/WORK 3 BAY

LIVE/WORK 5 BAY

APARTMENT BUILDING



SHEET TITLE: ELEVATIONS - 5 BAY COMMERCIAL/LIVE WORK

SUBMITTAL	no	date	description	scale: 1/8"=1'
	2	07.29.2016	Second Submittal	
	3	09.16.2016	Third Submittal	

designed by: OZ
Drawn by: KA
checked by: RR
project #: 8675309

<p>planning & design PCS Group Inc. 1001 16th Street, 38-180 Denver, CO 80202 Phone (303) 531-4905 www.pcsgruopco.com</p>	<p>architecture OZ Architecture 3003 Loimer Street Denver, CO 80205 Phone (303) 861-5704 www.OZarch.com</p>	<p>engineering J3 Engineering Consultants 2011 Cherry Street Suite 206 Louisville, CO 80027 Phone (720) 974-0177 www.j3engineering.net</p>	<p>foundry representatives Foundry Builders, Inc. 21 South Sunset Street Longmont, CO 80501 Phone (720) 524-3620</p>
--	--	---	---



north

8 11 0 0 1

13 of 21

delo

LOFTS

delo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



EAST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

MATERIAL PALETTE

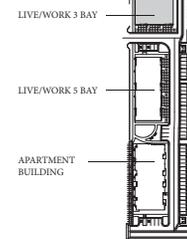
 BR1. BRICK, RUNNING BOND, COLOR: MEDIUM BROWN	 SS2. STANDING SEAM METAL PANEL SIDING, COLOR: LIGHT GREY
 BR2. BRICK, RUNNING BOND, COLOR: DARK BROWN	 W01. ALUMINUM CLAD WINDOW FRAME, COLOR: CHARCOAL
 LS2. CEMENT LAP SIDING OR STUCCO, COLOR: ORANGE	 TP1. PAINTED ACCENT TRIM, COLOR: DARK GREY
 LS1. CEMENT LAP SIDING OR STUCCO, COLOR: LIGHT GREY/TBD	 MS3. PAINTED FAUX METAL EXPOSED BEAM, COLOR: BLACK
 MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING, COLOR: MEDIUM GREY	 GR1. POWDERCOATED METAL GUARDRAIL, COLOR: BLACK
 WS1. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN, COLOR: 8" ROUGH SAWN CEDAR STAINED & SEALED	 ST1. STOREFRONT SYSTEM, COLOR: CHARCOAL
 SS1. STANDING SEAM METAL PANEL SIDING, COLOR: CHARCOAL	 MT1. METAL CANOPY

NOTES

ALL BUILDING MATERIALS AND COLORS ARE FROM THE BUILDING MATERIAL PALETTE ARE ELIGIBLE FOR USE IN THE CONSTRUCTION DOCUMENTATION PROCESS.

THE ARCHITECT WILL VARY THE COLORS ON THE EXTERIOR BALCONIES OF THE RESIDENTIAL BUILDINGS PROPOSING TO USE COMPLEMENTARY COLORS SELECTED OUT OF THE MATERIAL PALETTE FOR EACH BUILDING. THE ACTUAL COLOR ASSIGNMENT WILL BE FINALIZED IN SUBSEQUENT BUILDING CONSTRUCTION DOCUMENTS.

KEY PLAN



SHEET TITLE: ELEVATIONS - 3 BAY COMMERCIAL/LIVE WORK

SUBMITTAL	no	date	description	scale: 1/8"=1'
	2	07.29.2016	Second Submittal	
	3	09.16.2016	Third Submittal	

designed by: OZ
 Drawn by: KA
 checked by: RR
 project #: 8675309

 PCS Group Inc. 1001 16th Street, 38-180 Denver, CO 80202 Phone (303) 531-4905 www.pcsgroupco.com	 OZ Architecture 3003 Loimer Street Denver, CO 80205 Phone (303) 861-5704 www.OZarch.com	 Foundry Builders, Inc. 21 South Sunset Street Longmont, CO 80501 Phone (720) 524-3620
 3E Engineering Consultants 2011 Cherry Street Suite 206 Louisville, CO 80027 Phone (720) 974-0177 www.3Eengineering.net	north 	

delo Final Planned Unit Development

LOFTS

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City of Louisville, County of Boulder, State of Colorado



GENERAL NOTES

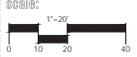
1. THE INTERIM SITE PLAN CONDITION AND FINAL SITE PLAN CONDITION SHALL BE CONSTRUCTED TO MEET THE CITY OF LOUISVILLE STANDARDS
2. EASEMENTS AND ROW, LAND VACATIONS AND DEDICATIONS SHALL FOLLOW THE FINAL CONDITION DEPICTED WITHIN THE FINAL PLAN.
3. IN BOTH THE INTERIM SITE PLAN CONDITION AND FINAL SITE PLAN CONDITION, ACCESS IS GRANTED HEREIN OVER AND ACROSS ALL PAVED AREAS FOR EMERGENCY, PUBLIC AND PRIVATE VEHICULAR ACCESS. PUBLIC ACCESS IS GRANTED HEREIN OVER AND ACROSS ALL SIDEWALKS ALONG CANNON STREET AND GRIFFITH STREET
4. EXCLUSIVE CITY EASEMENTS ARE RESERVED FOR CITY OF LOUISVILLE UTILITY SERVICES

delo

LOFTS

SHEET TITLE INTERIM & FINAL SITE PLAN CONDITIONS

SUBMITTAL	no	date	description
	3	09.16.2016	Third Submittal



planning & la
PCS Group Inc.
1001 16th Street, #3 B-180
Denver, CO 80205
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engineering
J3 Engineering Consultants
2011 Cherry Street
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Louisville, CO 80027
Phone: (720) 975-0177
www.j3engineering.net

owner's representative
Foundry Builders, Inc.
21 South Sunset Street
Longmont, CO 80501
Phone (720) 524-3620

sheet
18
of 21

1 INTERIM SITE PLAN CONDITION

2 FINAL SITE PLAN CONDITION

10/16/2016 12:27pm 0267104
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de|lo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



Central Green Space Perspective



North Park Plaza Perspective



Condominium Streetscape Perspective



Live/Work Space Perspective



Central Green Space Perspective



North Park Plaza Perspective



Live/Work Space Perspective



Central Green Space Perspective

de|lo

LOFTS

SHEET TITLE

CHARACTER SKETCHES

SUBMITTAL	no	date	description	scale:
	1	03.11.2016	Initial Submittal	
designed by: sfa	2	07.29.2016	Second Submittal	
drawn by: kim	3	09.16.2016	Third Submittal	
checked by: pms				
project #: 8675309				

planning & ls

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north

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owner's representative

 Foundry Builders, Inc.
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sheet
21 of 21



Planning Office
 303-245-5794
 Fax: 303-447-5118
www.bvdsd.org

6500 East Arapahoe, PO Box 9011
 Boulder, CO 80301

June 1, 2016

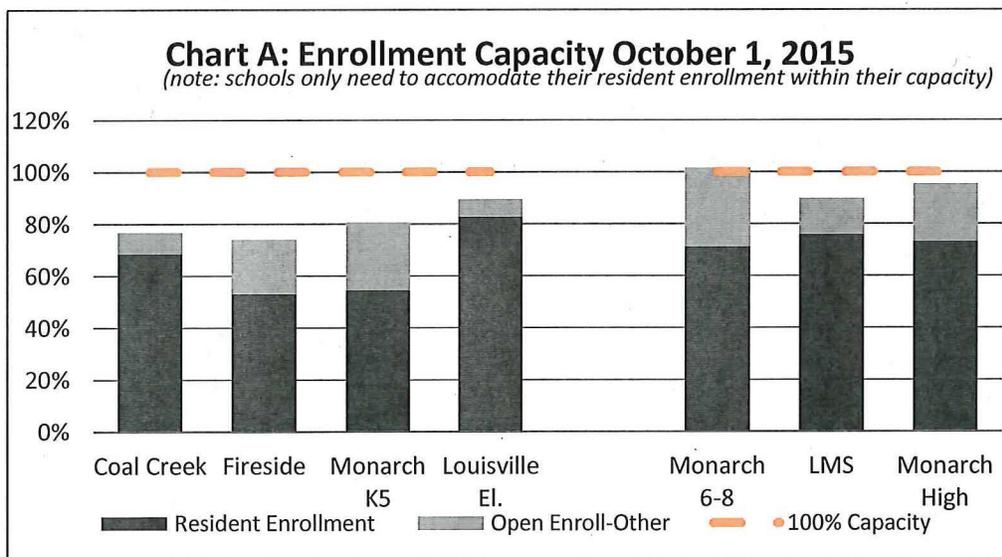
City of Louisville
 Dept. of Planning and Building Safety
 Attn: Scott Robinson
 749 Main St.
 Louisville, CO 80027

RE: Lofts at DeLo Final Plat, PUD, and SRU

Dear Scott:

Thank you for submitting The Lofts at DeLo Final Plat, PUD, and SRU materials for review by the Boulder Valley School District (BVSD). BVSD reviews development application in terms of capacity impacts on neighborhood schools and impacts on school land or facilities.

Chart A below shows the current program capacity and enrollment composition for each school in Louisville. On the whole, Louisville schools possess a sizeable ability to accommodate additional students, particularly when considering the level of current capacity being occupied by open enrolled students (those from outside a school's attendance area that a school is not required to accommodate). As the chart shows, however, the capacity to accommodate additional students does vary between schools.



The Lofts at DeLo Final Plat, PUD, and SRU application proposes to add 33 additional apartment and 13 live-work units with an anticipated student impact of 8 additional students on this feeder. This includes 4 students on Louisville Elementary, 1 student on Louisville Middle, and 3 students on Monarch High school.

When considering all development activity in Louisville (Attachment A), and resident enrollment growth within the attendance areas of Louisville schools, these facilities are able to accommodate projected growth. Louisville Elementary (Chart B), however, will likely reach its program capacity within 5 years should growth within the existing housing stock of central Louisville continue at the pace of recent years. Elementary capacity in Louisville as a whole, however, is ample to accommodate continued enrollment growth. Louisville Middle and Monarch High school will also approach their program capacities, however current enrollment at these schools include sizeable populations of open enrolled students (88 and 402 students respectively) that can be effectively managed through future restrictions on new open enrollment applications.

CHART B

School	Program Capacity	Projected Enrollment					
		2015-16	2016-17	2017-18	2018-19	2019-20	2020-21
Louisville El.	651	582	615	636	655	647	650
% capacity		89.4%	94%	98%	101%	99%	100%
Louisville M.S.	691	621	630	657	675	662	653
% capacity		89.8%	91%	95%	97%	96%	95%
Monarch H.S.	1833	1,749	1,820	1,825	1,826	1,789	1,794
% capacity		95%	99%	100%	100%	98%	98%

Projection notes and assumptions:

- Capacity methodology held over from 2012 and currently under review.
- Only the impacts of housing units expected during projection period are included.
- Enrollment growth in existing neighborhoods is assumed to be near current levels over the next 5 years.
- Louisville El. will graduate out the last significant number of open enrolled (O.E.) students in 2018.
- Louisville Middle and Monarch High may see increasing restrictions on O.E. through the projections period but will still retain sizeable O.E. populations at the end of the 5 year projection period shown above.

Enrollment growth at Louisville Elementary also continues to be managed by restricting new open enrollment thus reducing the proportion of enrollment from outside the school's attendance area. As of the October 1, 2015 count, 38 open enrolled students occupied seats at the school and continued restrictions will eventually make these seats available to new resident students. Should actual enrollment growth meet or exceed projected growth and open enrollment restrictions alone prove inadequate, other options to manage enrollment growth may be considered by the District. These could include additional changes in offered programming, the addition of portable classrooms, the addition of permanent classrooms, busing of students, or changes to attendance boundaries.

If you have any other questions, concerns, or further clarifications, feel free to contact me at 303-245-5794 or via e-mail at glen.segrue@bvsvd.org.

Sincerely,



Glen Segrue, A.I.C.P.
Senior Planner

ATTACHMENT A: Planned Residential Development and Student Yield

Louisville Schools (revised 6/1/16)

ELEM Att. Area	Unbuilt Residential Units*						Elem Yld	MS Yld	HS Yld
	SFD	Dup	Twnhm	Condo	Apt	All			
COAL CREEK									
Platted or Under Construction									
Copper Hill	2	0	0	0	0	2	1	0	0
Village Square	0	0	0	0	111	111	10	3	4
						113	11	4	5
	2	0	0	0	111	113	11	4	5
Eldorado K-5									
Platted or Under Construction									
CALMANTE	0	0	(2)	0	0	(2)	0	0	0
						(2)	0	0	0
Additional Residential Development Potential									
Eldorado K-5 CP Units	0	48	61	0	0	109	16	7	9
						109	16	7	9
	0	48	59	0	0	107	16	7	9
Louisville									
Platted or Under Construction									
Parkwood Minor	1	0	0	0	0	1	0	0	0
						1	0	0	0
	1	0	0	0	0	1	0	0	0
Louisville El.									
Platted or Under Construction									
917 Main St	0	2	0	0	0	2	0	0	0
Coal Creek Station	0	51	0	0	0	51	10	4	4
Concord Partners LLC	3	0	0	0	0	3	1	0	1
DELO Phase I	0	0	43	0	0	43	5	2	3
DELO Phase II	0	0	5	0	130	135	12	4	6
Kestrel	0	0	0	0	129	129	12	4	5
North End	13	12	0	60	0	85	10	4	10
North End Market	0	0	0	34	0	34	2	1	3
North End Phase II	10	0	6	36	0	52	6	3	6
The Foundary	0	0	0	8	0	8	0	0	1
The Lanterns	0	24	0	0	0	24	5	2	2
						566	63	24	41
In Development Review									
Alkonis Annex SFD	24	0	0	0	0	24	7	4	5
Lofts at DELO	0	0	0	13	33	46	4	1	3
North End Phase III	18	0	0	0	0	18	5	3	4
North End Phase IV	10	0	0	0	0	10	3	2	2
						98	19	9	13
Additional Residential Development Potential									

*lots unbuilt as indicated in parcel records as of 5/01/15 and periodic site inspections

ATTACHMENT A: Planned Residential Development and Student Yield

Louisville Schools (revised 6/1/16)

ELEM Att. Area	Unbuilt Residential Units*						Elem Yld	MS Yld	HS Yld
	SFD	Dup	Twnhm	Condo	Apt	All			
Zoned for Additional Density	65	0	118	0	0	183	33	16	22
						183	33	16	22
	143	89	172	151	292	847	114	49	76
Monarch K-5									
Platted or Under Construction									
Coal Creek Crossing	38	0	0	0	0	38	11	6	8
Discover Office Park	0	0	23	0	0	23	3	1	2
Superior Town Center	0	0	643	0	0	643	77	32	51
						704	91	39	61
In Development Review									
Superior Town Center	400	0	0	356	0	756	137	67	116
Varra Estates	11	0	0	0	0	11	3	2	2
						767	141	69	118
Additional Residential Development Potential									
Monarch K-5 CP Units	76	0	0	0	0	76	22	11	15
						76	22	11	15
	525	0	666	356	0	1,547	254	119	194
Superior EI									
Additional Residential Development Potential									
Superior EI CP Units	62	56	52	0	0	170	35	16	21
						170	35	16	21
	62	56	52	0	0	170	35	16	21
	733	193	949	507	403	2,785	430	195	305

*lots unbuilt as indicated in parcel records as of 5/01/15 and periodic site inspections

TO: Scott Robinson, Planner III
Lauren Trice, Planner II

FROM: Craig Duffin, City Engineer 

DATE: October 4, 2016

SUBJECT: Delo Lofts Third Submittal

Public Works staff received the request to review the third submittal of the Plat and PUD for Delo Lofts on September 19, 2016. Below are previous comments in black from 2nd Submittal memorandum dated 8/30/16. Third Submittal comments are in blue.

Sheet 1 of 20

Item 3 - The 30% Design SH42 Improvement Plan information shall be added to the PUD because this impacts the portion of the development adjacent SH42. Staff requests the properties adjacent SH42 bear the expense of new curbing, street lighting, extension of walk consistent with the SH 42 plan as well as utility undergrounding. Considering the entire Delo Lofts project, will all property owners participate in the costs mentioned in this item? Will funds be escrowed for the future work? Information shall be provided in the Subdivision Agreement. **The offsite improvements mentioned will impact the development of property adjacent SH42, Block 1, Lot 10 and Outlot 1. Staff comment was provided upon review of the second submittal of the PUD. Comment is consistent with previous referral comments made for the Foundry, Kestrel and Delo Plaza. If the improvements mentioned are "Offsite" from Delo Lofts (but lots are included on Plat), then the owners of Block 1 Lot 10 and Outlot 1 will need to address this comment upon development.**

Sheet 5 of 20

Item 1 - Applicant shall discuss pedestrian movements between Delo Lofts and Delo 2 along the eastside of Cannon St. Currently the walk along east side of the street ends at Delo 2. There is no public walk connection behind the Deborski parcel. Please show the public walk adjacent the Deborski property on Sheet 5 as well.

Sheet 8 of 20

Item 1 - Turning Movement – Leaving Site Plan, noted exiting truck ladder/bumper overhang crosses into the southbound parking lane. Hence, vehicles in southbound parking area are in conflict with truck turning movements. Applicant to provide discussion. **Still note the bumper/overhang still crosses into the Cannon St. southbound parking lane. Chris Mestes to approve the turning movement plans.**

Sheet 9 of 20

Item 5 - If Cannon Street is closed to traffic the development does not have another access to a public street. Is there a plan for SH42 access in future? Will Outlot 1 be used by this development for access to SH42? If so, CDOT must approve the change in use of the access to the highway. [Response understood. Upon development of parcels adjacent SH42, City will confirm with CDOT that the requirements of access control plan are met.](#)

Sheet 10 of 20

Item 3 - Provide 10' clearance between water and sewer services in right of way. Revise plan. [There are a couple utility services that appear in conflict with clearance requirements. Will address during Civil Plan review process.](#)

Item 4 - Abandon two (2) existing water services(s) at City main. If needed, reconnect the services to new main or existing water main on SH42. [Label existing water service line within north drive. The service needs abandonment. Revise plan as requested.](#)

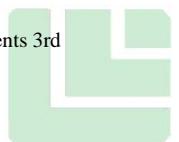
Item 5 - Water main within Tract B with fire hydrant and fire line connection is non-conforming. Only one fire protection measure (Fire Hydrant or Fire Service) can be connected to a dead end line. [Consider eliminating the water main within Tract B and connecting services and fire line to Cannon Street water main. This will reduce the width of the C.U.E.](#)

PLAT

Sheet 2 of 2

Item 1 - Add pedestrian access and walk easements along Cannon St. for walks on private property. HOA to maintain, repair, replace private walks. The private walks shall be maintained by the adjacent property owner or HOA similar to walk within right of way. Add note to PUD. [Add pedestrian access easement for walk on private property.](#)

- [1. There appears to be an unmarked tract west of Lot 1. If so, please label and add to parcel summary table.](#)
- [2. South property line dimensions - the dimensions provided for the south property line and north line of Outlot 1 do not scale \(-2'\). Check dimensions and revise as needed.](#)



New comments:

PUD

Sheet 2 of 21

1. Master Plan – Delo Lofts, Please add call out for “Tract D”.

Sheet 4 of 21

1. Commercial/Live Work Area Notes, 11, add language, “Snow removal from walk in right of way and in public access easement on private property shall be consistent with the requirements of the City Code”.

Sheet 5 of 21

1. Revise Note 8 per comment above.

Sheet 9 of 21

Private Maintenance Detail

1. For bordered area add Note – Improvements this area maintained, repaired and replaced by HOA.
2. Increase the bordered area by inclusion of the parkway between back of curb and walk.

Maintenance Conditions Detail

1. Increase the bordered areas to include the remaining area within the right of way (Griffith- back of public walk to right of way and Cannon - back of curb to walk within public access easement).
2. Limits of private maintenance of walk shall terminate at concrete joint line located at back of handicap ramps and at transverse walk joint as directed by City.



ITEM: Case #16-014-FS, Centennial Pavilions Replat, 133-165 S. McCaslin Boulevard

PLANNER: Lauren Trice, AICP, Planner II

APPLICANT: Sean Sjodin
NexGen Properties, LLC
One Denver Tech Center
5251 DTC Parkway, Suite 800
Greenwood Village, CO 80111

OWNER: Centennial Pavilion Holdings, LLC
Waldorado Partners, LLC
Centennial Pavilion Lofts Condominium Association

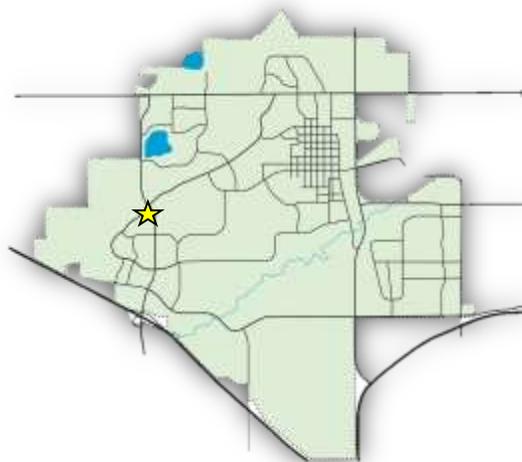
EXISTING ZONING: Commercial Community (CC)

LOCATION: 133-165 S. McCaslin Boulevard; Lot 1, Centennial Pavilions Filing No. 1

TOTAL SITE AREA: 9.4 acres

REQUEST: Approval of Resolution No. 30, Series 2016, a resolution recommending approval of a replat to subdivide a single 9.4 acre lot into four separate lots zoned Commercial Community (CC), located at 133-165 S. McCaslin Boulevard; Lot 1, Centennial Pavilions Filing No. 1.

VICINITY MAP:



PROPOSAL:

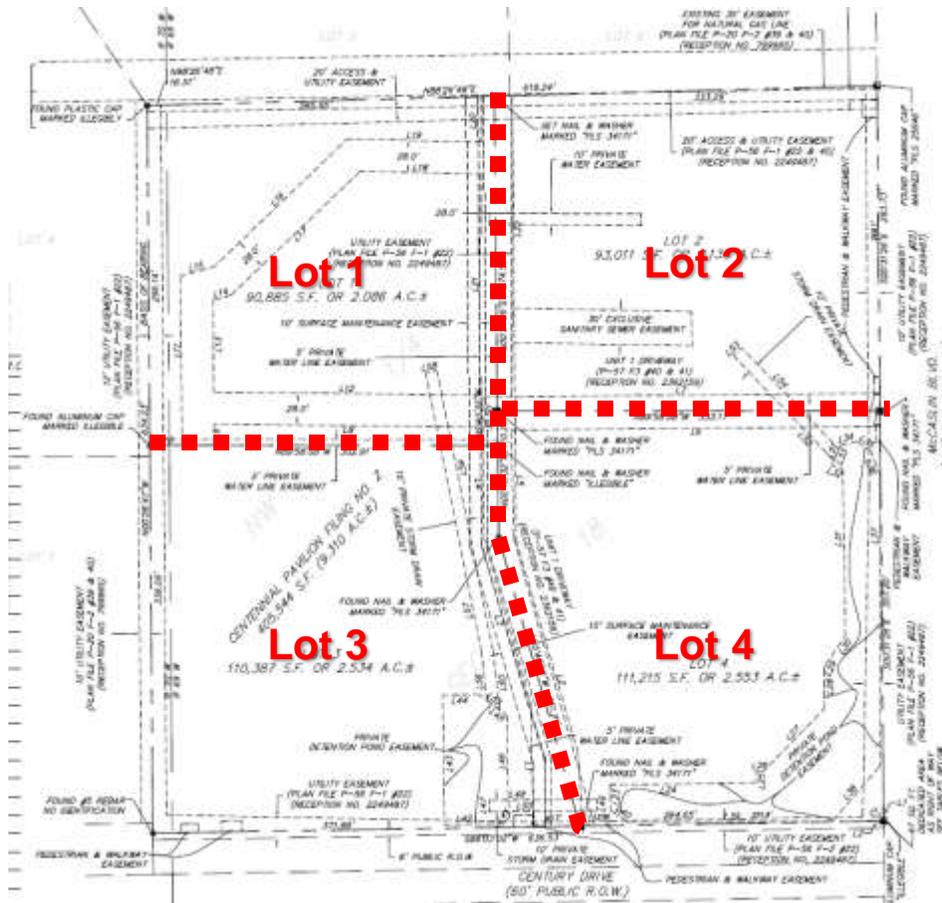
The replat request is to divide the single 9.4-acre lot into four lots. The proposed lots would maintain the orientation and addressing of the existing buildings. The only proposed change to the plat is the addition of the new dividing lot lines. Parking, cross access, drainage and landscaping will be managed through a shared maintenance agreement.

BACKGROUND:

The site is located on the west side of McCaslin Boulevard and on the north side of the intersection with W. Century Drive. The property is mostly retail, including Walgreen's, Grease Monkey, Busaba, and Lamar's Donuts. The southwest portion of the lot is the 66-unit Centennial Pavilion Lofts.



The Centennial Pavilion Condominium map recorded with Boulder County on November 25, 2002 divided the lot into sixteen units. Walorado Partners, LLC owns Unit 1 and there is currently a Walgreens store on the unit. Centennial Pavilion Holdings, LLC ("NexGen") owns units 2-15 and there is a commercial center on these units (Lamar's, Busaba, Grease Monkey, etc.). Centennial Pavilion Lofts Condominium Association, Inc. owns unit 16. NexGen is representing all of the owners in this application.



ANALYSIS:

Title 16 of the Louisville Municipal Code regulates the subdivision of property in Louisville. Since this is a replat with no public right-of-way or public easements, staff reviewed the application against the criteria established in Sections 16.16.010 (General design and construction standards) and 16.16.050 (Lots).

Section 16.16.010

This section of the code applies seven general design criteria regarding the compatibility and functionality of the site. The proposed lot minor subdivision is in compliance with the 2013 Comprehensive Plan which recommends smaller parcels east of Centennial Parkway. Approval of the proposed additional lot lines would not cause any changes to the existing site.

Staff believes that the application meets the standards set forth in Section 16.16.010.

Section 16.16.050

Lot requirements are as follows:

- A. *Lots shall meet all applicable zoning requirements.*

The proposed lots and existing structures would comply with the Centennial Pavilions Planned Unit Development and the underlying C-C Zone District. There are no changes to the existing building height, setbacks, or lot coverage.

B. *Each lot shall have vehicular access to a public street.*

The proposed lots have access to McCaslin Boulevard and W. Century Drive through private driveways. A cross access easement for the driveways will be recorded along with the approved replat.

C. *The maximum depth of all residential lots shall not exceed 2½ times the width thereof. For all other lots, the depth shall not exceed three times the width.*

Lot	Depth	Width	Ratio
1	302.91	296.14	1.02
2	333.17	283.73	1.17
3	371.88	338.09	1.09
4	357.2	264.65	1.35

D. *The minimum lot frontage, as measured along the front lot lines shall be 50 feet, except for lots abutting a cul-de-sac, in which case such lot frontage may be reduced to 35 feet.*

All lots exceed the 50-foot minimum lot frontage.

Staff believes the application meets each of the seven criteria established in Section 16.16.050.

Parking

Based on the required parking analysis for the current uses, the proposed lots 2 and 4 do not have the required parking whereas lots 1 and 3 have an excess of parking.

Lot	Required Parking	Existing Parking	Need/Excess
1	54	85	+31
2	75	59	-16
3	132	161 (132 underground)	+29
4	65	64 (2 EV charging stations)	-1

Staff recommends a condition of approval that requires an agreement between the four lots to establish shared parking, cross access, and overall maintenance be recorded prior to the recordation of the plat. The applicant has agreed to the condition.

STAFF RECOMMENDATION:

Staff recommends Planning Commission approve of Resolution No. 30, Series 2016, a resolution recommending approval of a replat to subdivide a single 9.4 acre lot into four separate lots zoned Commercial Community (CC), located at 133-165 S. McCaslin Boulevard; Lot 1, Centennial Pavilions Filing No. 1, with the following condition:

1. Prior to the recordation of the plat, the applicant shall record an agreement between the four lots to establish shared parking, cross access, and overall maintenance.

The Planning Commission may recommend approval (with or without conditions) or denial of the request, or may continue the request.

ATTACHMENT(S):

1. Resolution No. 30, Series 2016
2. Application materials
3. Final Plat

**RESOLUTION NO. 30
SERIES 2016**

A RESOLUTION RECOMMENDING APPROVAL OF A REPLAT TO SUBDIVIDE A SINGLE 9.4 ACRE LOT INTO FOUR SEPARATE LOTS ZONED COMMERCIAL COMMUNITY (CC),LOCATED AT 133-165 S. MCCASLIN BOULEVARD; LOT 1, CENTENNIAL PAVILIONS FILING NO. 1.

WHEREAS, there has been submitted to the Louisville Planning Commission an application for approval of a replat to subdivide a single 9.4 acre lot into four separate lots zoned Commercial Community (CC),located at 133-165 S. McCaslin Boulevard; Lot 1, Centennial Pavilions Filing No. 1.

WHEREAS, the City Staff has reviewed the information submitted and found it to comply with Louisville Municipal Code Chapters 16.12.110 and 17.12.050; and

WHEREAS, after a duly noticed public hearing on November 10, 2016, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated November 10, 2016, the Planning Commission finds the final Plat should be approved without condition:

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a replat to subdivide a single 9.4 acre lot into four separate lots zoned Commercial Community (CC),located at 133-165 S. McCaslin Boulevard; Lot 1, Centennial Pavilions Filing No. 1., with the following condition:

1. Prior to the recordation of the plat, the applicant shall record an agreement between the four lots to establish shared parking, cross access, and overall maintenance.

PASSED AND ADOPTED this ____ day of November, 2016

By: _____
Chris Pritchard, Chairman
Planning Commission

Attest: _____
Steve Brauneis, Secretary
Planning Commission

LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: NexGen Properties, LLC

Contact: Sean Sjodin

Address: One Denver Tech Center
5251 DTC Parkway, Suite 800

Mailing Address: Greenwood Village, Colorado
80111

Telephone: (303) 751-9230

Fax: (303) 751-9210

Email: ssjodin@nexgen-properties.com

OWNER INFORMATION

Firm: Centennial Pavilion Holdings, LLC

Contact: See applicant information

Address: _____

Mailing Address: _____

Telephone: _____

Fax: _____

Email: _____

REPRESENTATIVE INFORMATION

Firm: Otten Johnson Robinson Neff & Ragonetti, PC

Contact: Allison Altaras / Jim Johnson

Address: 950 17th Street
Suite 1600

Mailing Address: Denver, Colorado 80202

Telephone: (303) 825-8400

Fax: (303) 825-6525

Email: aaltaras@ottenjohnson.com
jjohnson@ottenjohnson.com

PROPERTY INFORMATION

Common Address: 133-165 S. McCaslin Blvd.

Legal Description: Lot see attached Blk _____
 Subdivision _____

Area: 9.4 acres Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: Re-plat of Centennial Pavilion Filing No. 1
to create three separate legal lots (Centennial
Pavilion Filing No. 2)

Current zoning: PUD Proposed zoning: No change

SIGNATURES & DATE

Applicant: 

Print: Sean Sjodin

Owner: 

Print: Sean Sjodin

Representative: 

Print: Allison P. Altaras

CITY STAFF USE ONLY

- Fee paid: _____
- Check number: _____
- Date Received: _____

LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: _____

Contact: _____

Address: _____

Mailing Address: _____

Telephone: _____

Fax: _____

Email: _____

OWNER INFORMATION

Firm: Centennial Pavilion Lofts Assoc. Inc.

Contact: CYRIL SADOWSKY, President

Address: 1057 W. Century Drive #121
Louisville, CO 80027

Mailing Address: same

Telephone: 847-846-1813

Fax: _____

Email: cyril.sadowsky@galakos.com

REPRESENTATIVE INFORMATION

Firm: _____

Contact: _____

Address: _____

Mailing Address: _____

Telephone: _____

Fax: _____

Email: _____

PROPERTY INFORMATION

Common Address: _____

Legal Description: Lot _____ Blk _____

Subdivision _____

Area: _____ Sq. Ft.

TYPE (S) OF APPLICATION

Annexation

Zoning

Preliminary Subdivision Plat

Final Subdivision Plat

Minor Subdivision Plat

Preliminary Planned Unit Development (PUD)

Final PUD

Amended PUD

Administrative PUD Amendment

Special Review Use (SRU)

SRU Amendment

SRU Administrative Review

Temporary Use Permit

CMRS Facility:

Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: _____

Current zoning: _____

Proposed zoning: _____

SIGNATURES & DATE

Applicant: _____

Print: _____

Owner: Signil Adomsky 5.6.16

Print: CYRIL SADOWSKY, President

Representative: HOA

Print: _____

CITY STAFF USE ONLY

Fee paid: _____

Check number: _____

Date Received: _____

OTTENJOHNSON
ROBINSON NEFF + RAGONETTI PC

May 5, 2016

ALLISON P. ALTARAS
303.575.7516
AALTARAS@OTTENJOHNSON.COM

City of Louisville
Department of Planning and Building Safety
749 Main Street
Louisville, Colorado 80027
Attn: Lauren Trice, Planner 8

Dear Lauren:

Enclosed with this letter are plan sheets and supporting materials associated with the proposed resubdivision plat (the "Application") of Centennial Pavilion Condominiums ("CPC"). The subject property is an approximately 9.4-acre parcel at the northwest corner of Century Drive and McCaslin Boulevard.

The original CPC Condominium Map was recorded on November 25, 2002 at reception number 2362159 in Boulder County. The Condominium Map of Centennial Pavilions Condominiums Phase II was recorded on September 15, 2004 at reception number 2627018 in Boulder County. Though individual units were created by the original CPC Condominium Map and Phase II Map, the subject property has always been one legal lot.

CPC is divided into sixteen (16) units, all on a single lot. CPC Unit 1 is owned by Walorado Partners, LLC ("Walorado") and there is currently a Walgreens store on the unit. CPC Units 2-15 are owned by Centennial Pavilion Holdings, LLC ("NexGen") and there is currently a commercial center on the unit. CPC Unit 16 is owned by Centennial Pavilion Lofts Condominium Association, Inc. (the "Lofts Association") and there is a currently a condominium complex on the unit. CPC Unit 16 also has approximately seventy (70) individual unit holders that have purchased condominium interests in the condominium building pursuant to the Centennial Pavilion Lofts Condominiums Map recorded on March 9, 2006 at reception number 2761819 in Boulder County. NexGen, Walorado, and the Lofts Association have mutually agreed that NexGen will process the Application on behalf of all of the CPC unit owners.

The purpose of the Application is to dissolve the CPC unit scheme and instead create individual legal lots for each of Unit 1 (future Lot 3), Units 2-15 (future Lot 1), and Unit 16 (future Lot 2). The Application's proposed lot lines generally correspond to the areas associated with each of the respective CPC units. The Application has no impact on the Centennial Pavilion Lofts Condominium Map or the Lofts Association, which will remain in place following division of the land into individual lots.

There are no changes being proposed to the points of access, internal circulation routes, driveways and parking areas, locations of utilities and utility easement areas, grading and water detention infrastructure, landscaped areas, signage, architectural elements, or lighting. Arrangements for maintenance obligations and cross-access easements related to all internal circulation routes and driveways, parking lots, light poles, landscaped areas,

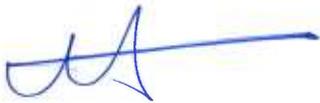
May 5, 2016
Page 2

utility easement areas, and detention ponds will be set forth in separate easement agreements to be recorded in Boulder County prior to final plat approval.

Pending any comments received from the City, the Application does not anticipate requesting exceptions to any City zoning requirements or design standards. The subject property is zoned as part of an approved PUD and will remain zoned as such. Street right-of-way for McCaslin Boulevard and Century Drive were acquired by the City at the time those roads were constructed. Additional right-of-way was dedicated by the original CPC Plat for the Century Drive public sidewalk. There is no additional land dedication currently contemplated as part of the Application.

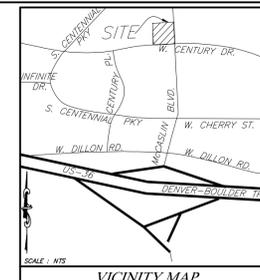
We look forward to working with you and responding to the City's comments and any additional requirements associated with the Application. Please do not hesitate to contact me with any questions.

Sincerely,



Allison P. Altaras
for the Firm

CENTENNIAL PAVILION FILING NO. 2
 A REPLAT OF LOTS 1 & 2, CENTENNIAL PAVILION, LOCATED IN THE
 NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 AND THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 1 SOUTH, RANGE 70 WEST OF THE 6TH. PRINCIPAL MERIDIAN
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



LEGAL DESCRIPTION:

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING THE OWNERS OR WITH THE AUTHORITY OF THE OWNERS OF A REPLAT OF LOTS 1 & 2, CENTENNIAL PAVILION, LOCATED IN THE NW 1/4 OF SECTION 18, T1S, R69W OF THE 6TH PRINCIPAL MERIDIAN AND THE NORTHEAST 1/4 OF SECTION 13, T1S, R70W OF THE 6TH PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

UNITS 2 THROUGH 15, CENTENNIAL PAVILION CONDOMINIUMS, ACCORDING TO THE CONDOMINIUM MAP OF CENTENNIAL PAVILION CONDOMINIUMS PHASE II RECORDED SEPTEMBER 15, 2004 AT RECEPTION NO. 2627018, AND AS DEFINED AND DESCRIBED BY THE CONDOMINIUM DECLARATION FOR CENTENNIAL PAVILION CONDOMINIUMS RECORDED NOVEMBER 25, 2002 AT RECEPTION NO. 2362160, AND FIRST AMENDMENT THERE TO RECORDED SEPTEMBER 15, 2004 AT RECEPTION NO. 2627017, COUNTY OF BOULDER, STATE OF COLORADO

UNIT NUMBER 1, CENTENNIAL PAVILION CONDOMINIUMS, ACCORDING TO THE DECLARATION OF CONDOMINIUM FOR CENTENNIAL PAVILION CONDOMINIUMS, RECORDED NOVEMBER 25, 2002 AT RECEPTION NO. 2362160 AND, ACCORDING TO THE PLAT THEREOF RECORDED ON JANUARY 31, 2002 AT RECEPTION NO. 2249487 AND IN CONDOMINIUM MAP OF CENTENNIAL PAVILION CONDOMINIUMS RECORDED NOVEMBER 25, 2002 AT RECEPTION NO. 2362159, COUNTY OF BOULDER, STATE OF COLORADO

UNIT 16, CENTENNIAL PAVILION LOFTS CONDOMINIUMS PHASE II, ACCORDING TO THE CONDOMINIUM DECLARATION FOR CENTENNIAL PAVILION LOFTS CONDOMINIUMS RECORDED MARCH 9, 2006 AT RECEPTION NO. 2761818 AND PLAT THEREOF RECORDED ON SEPTEMBER 15, 2004 AT RECEPTION NO. 2627018 AND IN CONDOMINIUM MAP OF CENTENNIAL PAVILION LOFTS CONDOMINIUMS RECORDED MARCH 9, 2006 AT RECEPTION NO. 2761819, COUNTY OF BOULDER, STATE OF COLORADO.

HAS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND EASEMENTS UNDER THE NAME OF "LOTS 1, 2, 3, & 4 CENTENNIAL PAVILION FILING NO. 2,"

A SUBDIVISION OF A PART OF THE CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, AND BY THESE PRESENTS DOES HEREBY DEDICATE TO THE CITY OF LOUISVILLE AND THE PUBLIC, THE PUBLIC ACCESS EASEMENT AS SHOWN ON THE ACCOMPANYING PLAT FOR VEHICULAR, PEDESTRIAN AND EMERGENCY ACCESS FOR THE PUBLIC USE THEREOF FOREVER AND DOES FURTHER DEDICATE TO THE USE OF THE CITY OF LOUISVILLE UTILITY EASEMENTS AND RIGHT-OF-WAYS FOR THE CONSTRUCTION, INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT FOR ALL SERVICES, INCLUDING WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, TELEPHONE AND ELECTRIC LINES, WORKS, POLES AND UNDERGROUND CABLES, GAS PIPELINES, WATER PIPELINES, SANITARY SEWER LINES, STREET LIGHTS, CULVERTS, HYDRANTS, DRAINAGE DITCHES AND DRAINS AND ALL APPURTENANCES THERETO, IT BEING EXPRESSLY UNDERSTOOD AND AGREED BY THE UNDERSIGNED THAT ALL EXPENSES AND COSTS INVOLVED IN CONSTRUCTION AND INSTALLING SANITARY SEWER SYSTEM WORKS AND LINES, GAS SERVICE LINES, ELECTRICAL SERVICE WORKS AND LINES, STORM SEWER AND DRAINS, STREET LIGHTING, GRADING AND LANDSCAPING, CURBS, GUTTERS, STREET PAVEMENT, SIDEWALKS AND OTHER SUCH UTILITIES AND SERVICES SHALL BE GUARANTEED AND PAID FOR BY THE SUBDIVIDER OR ARRANGEMENTS MADE BY THE SUBDIVIDER THEREOF WHICH ARE APPROVED BY THE CITY OF LOUISVILLE, COLORADO, AND SUCH SUMS SHALL NOT BE PAID BY THE CITY OF LOUISVILLE, COLORADO, AND THAT THOSE ITEMS ARE THE SOLE PROPERTY OF SAID CITY OF LOUISVILLE, COLORADO, EXCEPT PRIVATE ROADWAY CURBS, GUTTER AND PAVEMENT AND ITEMS OWNED BY MUNICIPALLY FRANCHISED UTILITIES AND/OR QWEST COMMUNICATIONS, INC. WHICH WHEN CONSTRUCTED OR INSTALLED, SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL NOT BECOME THE PROPERTY OF THE CITY OF LOUISVILLE, COLORADO.

OWNER OF LOTS 1 & 2: CENTENNIAL PAVILION HOLDINGS, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY/OUR HAND(S) SEAL(S) THIS ___ DAY OF ___, 20__.

OWNER NAME & SIGNATURE

NOTARY NAME

NOTARY SIGNATURE

OWNER OF LOT 3: CENTENNIAL PAVILION LOFTS CONDOMINIUM ASSOCIATION, INC., A COLORADO NON-PROFIT CORPORATION, FOR AND ON BEHALF OF THE INDIVIDUAL UNIT HOLDERS OF THE CENTENNIAL PAVILION LOFTS CONDOMINIUM ASSOCIATION.

WITNESS MY/OUR HAND(S) SEAL(S) THIS ___ DAY OF ___, 20__.

OWNER NAME & SIGNATURE

NOTARY NAME

NOTARY SIGNATURE

OWNER OF LOT 4: WALORADO PARTNERS, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY/OUR HAND(S) SEAL(S) THIS ___ DAY OF ___, 20__.

OWNER NAME & SIGNATURE

NOTARY NAME

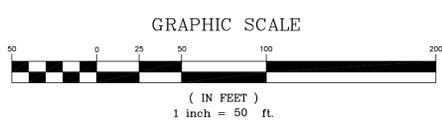
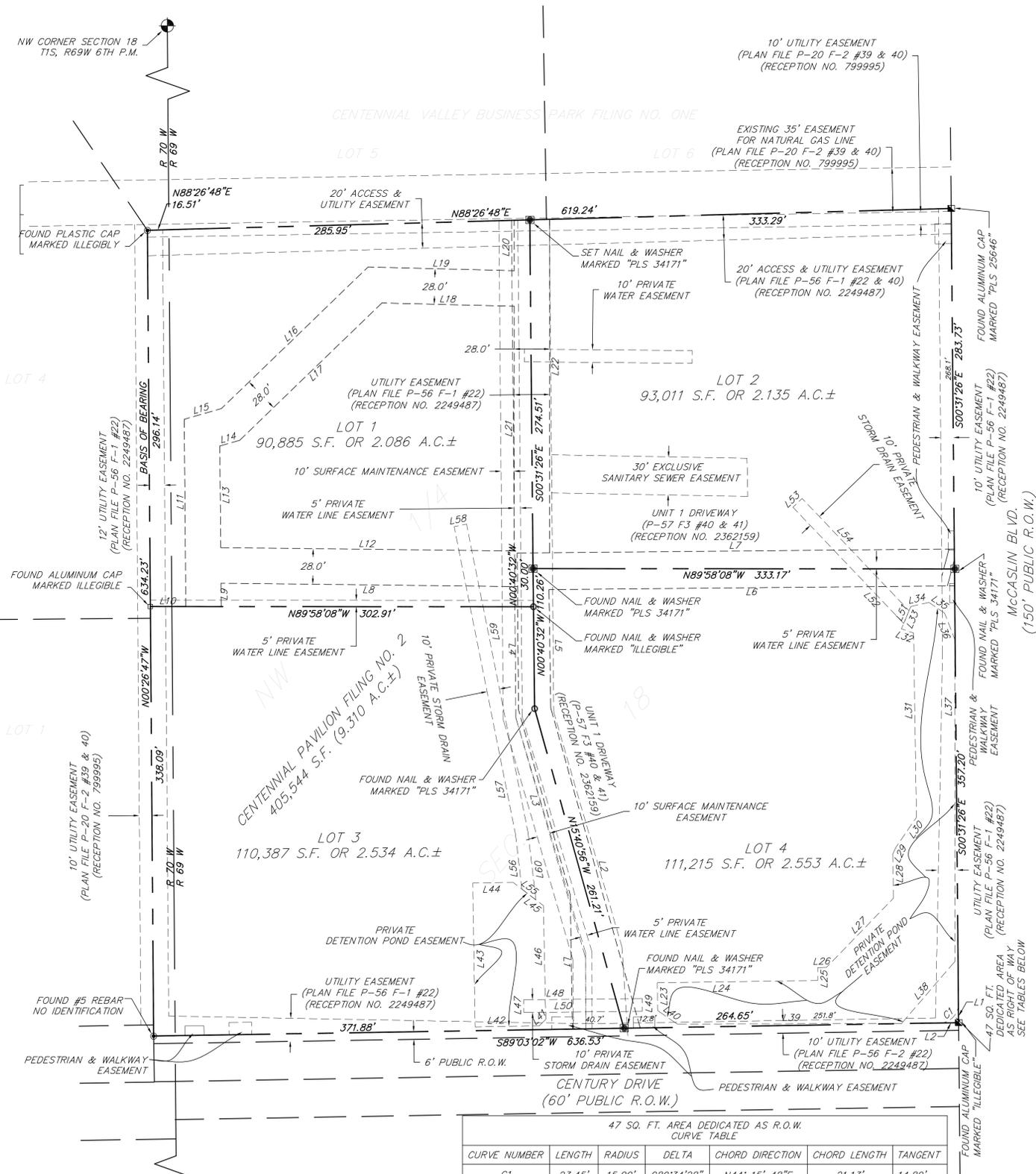
NOTARY SIGNATURE

DRIVEWAY EASEMENT LINE TABLE

LINE	LENGTH	BEARING
L1	105.88'	N00°56'58"W
L2	261.65'	N15°40'11"W
L3	151.23'	N15°41'32"W
L4	123.26'	N00°28'21"W
L5	93.15'	N00°32'27"W
L6	320.73'	N89°28'34"E
L7	345.58'	N89°28'34"E
L8	234.43'	S89°20'51"E
L9	18.42'	S00°28'18"E
L10	28.04'	N89°58'08"W
L11	147.40'	S00°28'18"E
L12	232.05'	S89°20'51"E
L13	79.96'	S00°28'18"E
L14	16.30'	S73°55'46"W
L15	30.63'	S73°55'46"W
L16	160.75'	S46°07'52"W
L17	156.00'	S46°07'52"W
L18	104.63'	S88°33'57"E
L19	115.62'	S88°33'57"E
L20	39.63'	S00°00'36"W
L21	192.60'	S00°00'36"W
L22	262.40'	S00°00'36"W

DETENTION POND & STORM DRAIN LINE TABLE

LINE	BEARING	LENGTH
L23	N0°26'54"W	21.88'
L24	N89°12'07"E	126.75'
L25	N0°06'45"E	10.20'
L26	N88°40'51"E	6.99'
L27	N44°11'25"E	75.70'
L28	N0°26'54"W	35.01'
L29	N24°50'40"E	5.82'
L30	N34°34'41"E	28.46'
L31	N0°53'14"W	145.16'
L32	N71°06'33"W	10.14'
L33	N22°57'39"E	10.89'
L34	N77°05'46"E	14.67'
L35	S55°33'08"E	14.93'
L36	S21°20'46"E	22.04'
L37	S0°01'37"E	253.69'
L38	S40°45'12"W	64.59'
L39	S89°54'19"W	177.45'
L40	N55°27'03"W	18.70'
L41	S44°22'06"W	7.20'
L42	S89°03'02"W	50.82'
L43	N0°56'58"W	113.23'
L44	N89°03'02"E	31.92'
L45	S52°39'51"E	30.09'
L46	S1°13'38"E	89.32'
L47	N0°34'20"W	10.00'
L48	N89°25'40"E	93.62'
L49	S0°34'20"E	10.00'
L50	S89°25'40"W	93.62'
L51	N22°57'39"E	10.89'
L52	S43°44'49"E	126.66'



REVISED 11/02/16

PER CITY COMMENTS

SAB

DRAWN BY: SAB
 CHECKED BY: ROK
 FIELD BOOK: #42

P.O. BOX 878
 ARDEN, COLO. 81620
 (970) 948-5072



PROJECT NO: 14-9013
 DATE ISSUED: 5/04/16
 SHEET NO. 1 OF 1

47 SQ. FT. AREA DEDICATED AS R.O.W. CURVE TABLE

CURVE NUMBER	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH	TANGENT
C1	23.45'	15.00'	089°34'28"	N44°15'48"E	21.13'	14.89'

47 SQ. FT. AREA DEDICATED AS R.O.W. LINE TABLE

LINE #	LENGTH	DIRECTION
L1	14.889	S00°31'26.00"E
L2	14.889	S89°03'02.00"W

STANDARD NOTES:

- BASIS OF BEARINGS: THE WEST LINE OF LOT 1, BETWEEN THE SOUTHWEST CORNER, BEING A REBAR AND 1.5" ALUMINUM CAP MARKED "25646" AND THE NORTHWEST CORNER, BEING A REBAR AND PLASTIC CAP ILLEGIBLY MARKED, SAID TO BEAR NORTH 00°26'47" WEST.
- INTER-MOUNTAIN ENGINEERING, LTD. RELIED UPON FIDELITY NATIONAL TITLE COMPANY, FILE NO. 597-F0546715-017-PN8, AMENDMENT NO. 2, EFFECTIVE DATE OF MAY 10, 2016 FOR RIGHTS OF WAY, EASEMENTS, AND OWNERSHIPS OF RECORD. NO TITLE SEARCH WAS MADE BY INTER-MOUNTAIN ENGINEERING, LTD TO DETERMINE OWNERSHIP, EASEMENTS, OR RIGHTS OF WAY OF RECORD.
- ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4.508. C.R.S.
- THE CONDOMINIUM COMMUNITY CREATED BY THE DECLARATION RECORDED NOVEMBER 26, 2002 AT RECEPTION NUMBER 2362160 AND THE MAP RECORDED NOVEMBER 26, 2002 AT RECEPTION NUMBER 2362159 AND ALL SUPPLEMENTS AND AMENDMENTS TO THAT DECLARATION AND MAP RECORDED AND TERMINATED BY THIS PLAT.
- MAINTENANCE OBLIGATIONS FOR AREAS SHOWN AS PUBLIC VEHICULAR, PEDESTRIAN, AND EMERGENCY ACCESS AREAS SHOWN HEREON SHALL BE GOVERNED AS SET FORTH IN AN AGREEMENT RECORDED OR TO BE RECORDED WITH THE BOULDER COUNTY CLERK AND RECORDER.
- MAINTENANCE OBLIGATIONS AND CROSS-ACCESS EASEMENTS RELATED TO DRIVEWAYS, PARKING LOTS, LIGHT POLES, LANDSCAPED AREAS, AND DETENTION PONDS SHOWN HEREON SHALL BE GOVERNED AS SET FORTH IN AN AGREEMENT RECORDED OR TO BE RECORDED WITH THE BOULDER COUNTY CLERK AND RECORDER.

SURVEYOR'S CERTIFICATE:

I, RICHARD G. KUJALA, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF "CENTENNIAL PAVILION FILING NO. 2" IS TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE UNDER MY DIRECTION.

RICHARD G. KUJALA
 COLORADO REGISTERED PROFESSIONAL
 LAND SURVEYOR NUMBER 34171

CITY COUNCIL CERTIFICATE

APPROVED THIS ___ DAY OF ___, A.D., 20___ BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO, RESOLUTION NO. ___, SERIES _____

MAYOR _____ CITY CLERK _____

PLANNING COMMISSION CERTIFICATE

APPROVED THIS ___ DAY OF ___, 20___ BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. ___, SERIES _____

CHAIRMAN _____ SECRETARY _____

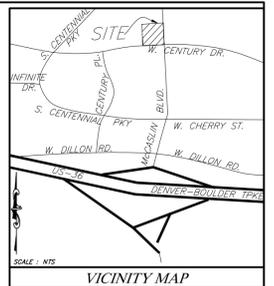
CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO)
)SS
 COUNTY OF BOULDER)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT ___ O'CLOCK ___, THIS ___ DAY OF ___, 20___ AND IS RECORDED IN PLAN FILE ___, FEE PAID ___, FILM NO. RECEPTION NO. _____

CLERK AND RECORDER _____ DEPUTY _____

IMPROVEMENT SURVEY PLAT
CENTENNIAL PAVILION FILING NO. 2
 A REPLAT OF LOTS 1 & 2, CENTENNIAL PAVILION, LOCATED IN THE
 NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 AND THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 1 SOUTH, RANGE 70 WEST OF THE 6TH. PRINCIPAL MERIDIAN
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



LEGAL DESCRIPTION:

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING THE OWNERS OR WITH THE AUTHORITY OF THE OWNERS OF A REPLAT OF LOTS 1 & 2, CENTENNIAL PAVILION, LOCATED IN THE NW 1/4 OF SECTION 18, T1S, R69W OF 6TH PRINCIPAL MERIDIAN AND THE NORTHEAST 1/4 OF SECTION 13, T1S, R70W OF THE 6TH PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

UNITS 2 THROUGH 15, CENTENNIAL PAVILION CONDOMINIUMS, ACCORDING TO THE CONDOMINIUM MAP OF CENTENNIAL PAVILION CONDOMINIUMS PHASE II RECORDED SEPTEMBER 15, 2004 AT RECEPTION NO. 2627018, AND AS DEFINED AND DESCRIBED BY THE CONDOMINIUM DECLARATION FOR CENTENNIAL PAVILION CONDOMINIUMS RECORDED NOVEMBER 25, 2002 AT RECEPTION NO. 2362160, AND FIRST AMENDMENT THERETO RECORDED SEPTEMBER 15, 2004 AT RECEPTION NO. 2627017, COUNTY OF BOULDER, STATE OF COLORADO

UNIT NUMBER 1, CENTENNIAL PAVILION CONDOMINIUMS, ACCORDING TO THE DECLARATION OF CONDOMINIUM FOR CENTENNIAL PAVILION CONDOMINIUMS, RECORDED NOVEMBER 25, 2002 AT RECEPTION NO. 2362160 AND, ACCORDING TO THE PLAT THEREOF RECORDED ON JANUARY 31, 2002 AT RECEPTION NO. 2249487 AND IN CONDOMINIUM MAP OF CENTENNIAL PAVILION CONDOMINIUMS RECORDED NOVEMBER 25, 2002 AT RECEPTION NO. 2362159, COUNTY OF BOULDER, STATE OF COLORADO

UNIT 16, CENTENNIAL PAVILION LOFTS CONDOMINIUMS PHASE II, ACCORDING TO THE CONDOMINIUM DECLARATION FOR CENTENNIAL PAVILION LOFTS CONDOMINIUMS RECORDED MARCH 9, 2006 AT RECEPTION NO. 2761818 AND PLAT THEREOF RECORDED ON SEPTEMBER 15, 2004 AT RECEPTION NO. 2627018 AND IN CONDOMINIUM MAP OF CENTENNIAL PAVILION LOFTS CONDOMINIUMS RECORDED MARCH 9, 2006 AT RECEPTION NO. 2761819, COUNTY OF BOULDER, STATE OF COLORADO.

STANDARD NOTES:

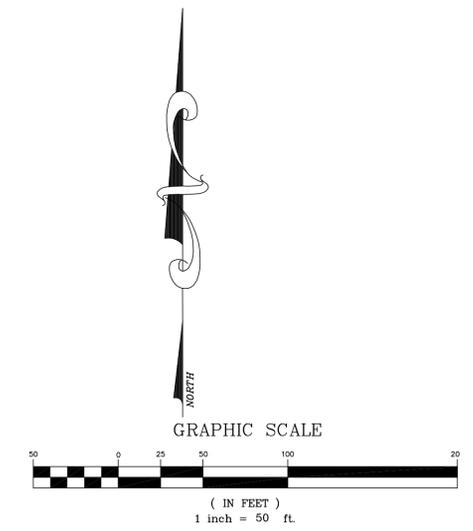
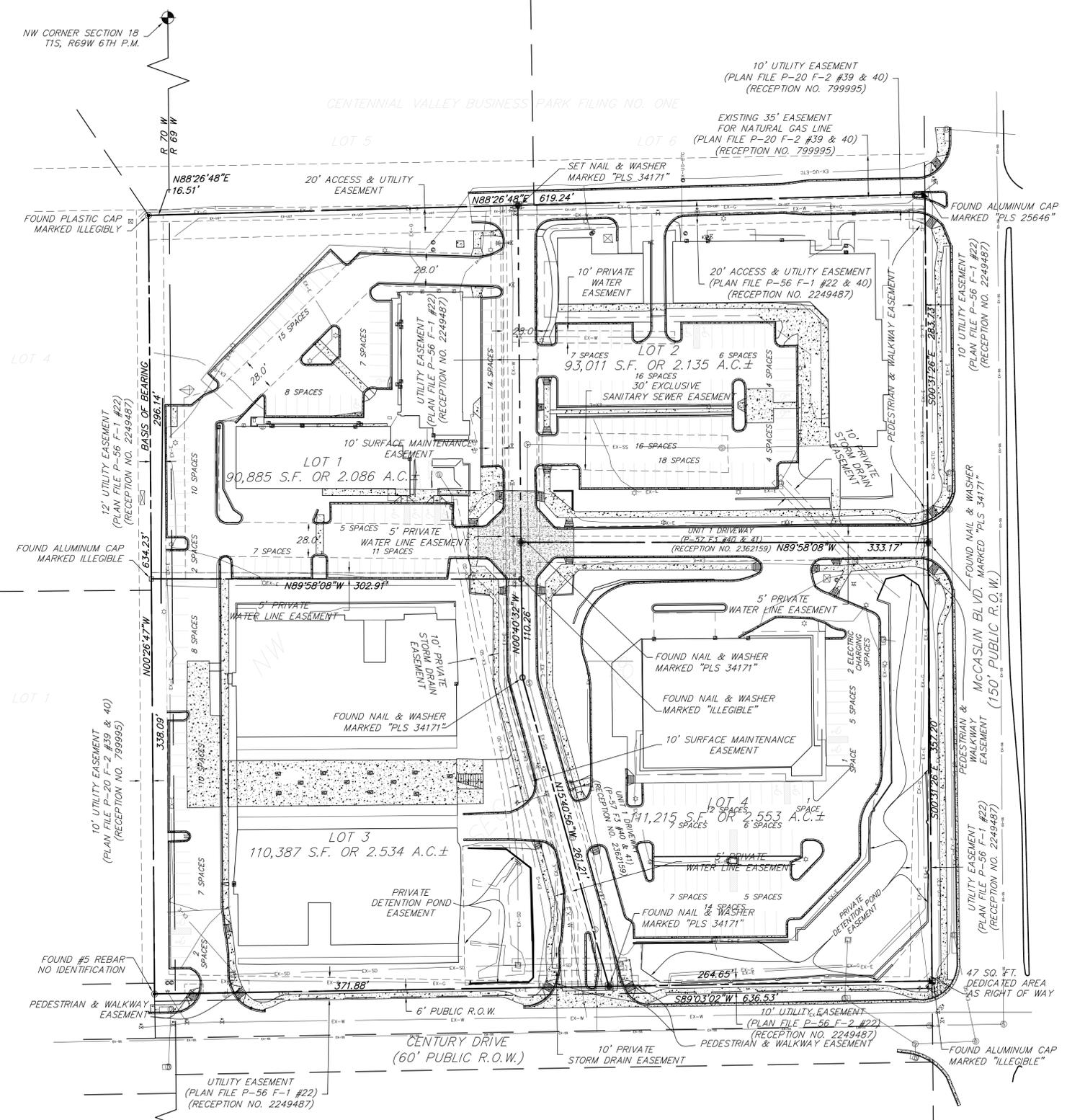
1. BASIS OF BEARINGS: THE WEST LINE OF LOT 1, BETWEEN THE SOUTHWEST CORNER, BEING A REBAR AND 1.5" ALUMINUM CAP MARKED "25646" AND THE NORTHWEST CORNER, BEING A REBAR AND PLASTIC CAP ILLEGIBLY MARKED, SAID TO BEAR NORTH 00°26'47" WEST.
2. INTER-MOUNTAIN ENGINEERING, LTD. RELIED UPON FIDELITY NATIONAL TITLE COMPANY, FILE NO. 597-F0546715-017-PN8, AMENDMENT NO. 2, EFFECTIVE DATE OF MAY 10, 2016 FOR RIGHTS OF WAY, EASEMENTS, AND OWNERSHIPS OF RECORD. NO TITLE SEARCH WAS MADE BY INTER-MOUNTAIN ENGINEERING, LTD TO DETERMINE OWNERSHIP, EASEMENTS, OR RIGHTS OF WAY OF RECORD.
4. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
5. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITTS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4.508. C.R.S.

LEGEND

- FND. MONUMENT AS DESCRIBED
- FND. BENCHMARK MONUMENT AS DESCRIBED
- ⊕ P.R.V. VAULT
- ⊕ WATER VALVE
- ⊕ WATER SHUT OFF
- ⊕ SANITARY SEWER MANHOLE
- ⊕ LIGHT POLE
- ⊕ STORM DRAIN MANHOLE
- ⊕ STORM DRAIN INLET
- ⊕ UTILITY POLE
- ⊕ TELEPHONE POLE
- ⊕ COMMUNICATION MANHOLE
- ⊕ ADA SPACE
- ⊕ TRANSFORMER
- ⊕ FIRE HYDRANT
- EX-G UNDERGROUND GAS LINE
- EX-E UNDERGROUND ELECTRIC LINE
- EX-CATV UNDERGROUND CATV LINE
- EX-T UNDERGROUND TELEPHONE
- EX-W WATER LINE
- EX-SANITARY SANITARY SEWER LINE
- EX-SD STORM SEWER LINE

CENTENNIAL VALLEY BUSINESS PARK FILING NO. ONE

NE 1/4 SEC. 13



REVISED 11/02/16

PER CITY COMMENTS

SAB

DRAWN BY: SAB	P.O. BOX 878 ARON, COLO. 80134 (970) 948-5072
CHECKED BY: RGK	
FIELD BOOK:	FAZ



PROJECT NO: 16-9013	DATE ISSUED: 5/05/16
SHEET NO. 1 OF 1	