

***Historic Preservation Commission
Agenda***

November 21, 2016

Council Chambers, 2nd floor of City Hall

City Hall, 749 Main Street

6:30 – 9:00 PM

- I. Call to Order
- II. Roll Call
- III. Approval of Agenda
- IV. Approval of Minutes - October 17th
- V. Public Comments on Items Not on the Agenda
- VI. Probable Cause Determination – 921 Main Street
- VII. **PUBLIC HEARING - 721 Grant Avenue Alteration Certificate (*continued from 10/17/16*)**
- VIII. **PUBLIC HEARING – 625 Lincoln Avenue Landmark/Grant/Alteration Certificate**
- IX. **PUBLIC HEARING – 701 Garfield Avenue Landmark/Grant/Alteration Certificate**
- X. Presentation – Historic Context Studies - PaleoWest
- XI. Committee Reports –
- XII. Updates from Staff
 - Demolition Updates
 - Upcoming Schedule
- XIII. Updates from Commission Members
- XIV. Discussion Items for future meetings – Public Outreach Subcommittee, Saving Places Conference
- XV. Adjourn

Historic Preservation Commission Meeting Minutes

**October 17, 2016
City Hall, Council Chambers
749 Main Street
6:30 PM**

Call to Order – Chairperson **Haley** called the meeting to order at 6:30 pm.

Roll Call was taken and the following members were present:

Commission Members Present:	Lynda Haley, Chair Peter Stewart Debbie Fahey Jessica Fasick Cyndi Thomas Chuck Thomas
Commission Members Absent:	Mike Koertje
Staff Members Present:	Lauren Trice, Planner II Susie Bye, Planning Clerk

Approval of Agenda:

Stewart makes a request to recuse himself from item 9 so he suggests moving items 10 and 11 of the agenda before item 9. **Stewart** made a motion to approve the October 17, 2016 agenda as amended, seconded by **Fahey**. Agenda approved as amended by voice vote.

Approval of Meeting Minutes:

Stewart made a motion to approve the September 19, 2016 minutes, seconded by **Cyndi Thomas**. The minutes were approved as written by voice vote.

Chuck Thomas made a motion to approve the September 28, 2016 minutes from the joint meeting with Historic Commission, seconded by **Cyndi Thomas**. The minutes were approved as written by voice vote.

Public Comments: None

Probable Cause Determination – 1034 LaFarge Avenue

A request to find probable cause for a landmark designation to allow for funding for a historic structure assessment for 1034 LaFarge Avenue.

Conflict of Interest and Disclosure:

Stewart says I have a conflict because I worked with the applicant on an addition to the back. I wish to remove myself from this discussion.

City of Louisville

Planning Department 749 Main Street Louisville CO 80027
303.335.4592 (phone) 303.335.4550 (fax) www.ci.louisville.co.us

Staff Report of Facts and Issues:

Trice presents from Power Point:

HISTORY AND LOCATION

- Between South Street and Short Street on LaFarge Avenue
- Built in Circa 1905
- DiFrancia built houses for his daughters' dowries
- Rosser, Jones and Thompson families

ARCHITECTURE

- Gable roof, t-shaped
- Folk Victorian style front porch
- Clad in vinyl siding
- Corrugated metal roof
- Loss of window pediment detail
- Brick chimney on south elevation
- Window openings reconfigured, smaller and larger
- 2-story rear addition constructed in 1997, addition is set back from the street and hardly visible from LaFarge Avenue due to trees and location

Social Significance - Exemplifies cultural, political, economic or social heritage of the community.

- This house is associated with several Louisville families, including the DiFrancia family.

Architectural Significance - Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.

- Vernacular structure with decorative Victorian details

Staff Recommendations:

Staff recommends finding there is probable cause to believe the building may be eligible for landmarking making the property eligible for up to \$900 for the cost of a historic structure assessment. HPC may, by motion, approve or deny the finding of probable cause.

Commission Questions of Staff: None.

Applicant Presentation:

Debra Berkelhammer, 1034 LaFarge Avenue, Louisville, CO

I have had a long interest in the history of the house. I love this house dearly. We have lived there for over 20 years and I would hate to see the house scraped off. We'd like to fix it up.

Commission Questions of Applicant: None.

Closed Public Hearing and Discussion by Commission:

Chuck Thomas says I agree that this structure warrants consideration for designation. It is a very attractive house and a good example of the vernacular that we are trying to save. As a resident, it adds value to be included in our list of historic properties.

Fahey says I agree with Chuck and the addition on the back is in keeping with our current requirements for additions to historic structures.

Chuck Thomas makes a motion to find probable cause to believe the structure at 1034 LaFarge Avenue may be eligible for landmarking under the criteria in Section 15.36.050 of the

Louisville Municipal Code based on architectural integrity and social history, seconded by **Fahey**. Roll call vote.

Name	Vote
Lynda Haley	Yes
Debbie Fahey	Yes
Peter Stewart	n/a
Mike Koertje	n/a
Jessica Fasick	Yes
Cyndi Thomas	Yes
Chuck Thomas	Yes
Motion passed/failed:	Pass

Motion passes 5-0. **Stewart** returns to the meeting at 6:40 pm.

Probable Cause Determination – 732 Grant Avenue

A request to find probable cause for a landmark designation to allow for funding for a historic structure assessment for 732 Grant Avenue.

Conflict of Interest and Disclosure:

None.

Staff Report of Facts and Issues:

Trice presents from Power Point:

LOCATION

- Located between Spruce Street and Pine Street along Grant Avenue
- Near Memory Square Park
- Built Circa 1895?
- Moved from Green Mountain Street, Boulder in 1950s
- Associated with the Hutsell family

ARCHITECTURE

- Craftsman bungalow
- Overhanging eaves, brackets
- Wood siding and cornerboards
- Battered wood surrounds on windows and door
- Wood shingles in gable end
- Brick porch supports and kneewall
- Enclosed rear porch

Social Significance - Exemplifies cultural, political, economic or social heritage of the community.

- Moving structures was a common practice in early Louisville. In addition the property was associated with the Hutsell family.

Architectural Significance - Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.

- The structure with overhanging eaves, brackets, and battered window surrounds is a higher style example of the Craftsman bungalow than is typical in Louisville.

Staff Recommendations:

Staff recommends finding there is probable cause to believe the building may be eligible for landmarking making the property eligible for up to \$900 for the cost of a historic structure assessment. HPC may, by motion, approve or deny the finding of probable cause.

Commission Questions of Staff:

Stewart says about the assessor's photo in 1954. What that taken at the site in Louisville?

Trice says it was taken in Louisville.

Chuck Thomas says my suspicion is that the bungalow style is associated more with the front porch. That may have been an add-on, so the original structure may have been of the vernacular.

Trice says in talking with people with Boulder, there are several similar structures in the Chautauqua neighborhood that have a similar wood surround. They were constructed in the 1920s.

Applicant Presentation:

Kelly Garcia, 732 Grant Street, Louisville, CO

I have lived in the home for 18 years. I have been intrigued with the house. It has a rare history. I went to the neighborhood where I believed it was moved from. It is a beautiful Craftsman house and I think it needs to be preserved. My husband whom I married three years ago has family rooted in Louisville, so it came to mean more to me. He is of the Lorenzi Garcia family. His grandfather was a miner.

Vince Garcia, 732 Grant Street, Louisville, CO

I know the Hutsell family. My mom was born in 1938 on Cherry Street. My grandfather moved into town in 1940 at 637 Grant Street. He would sit out in the cottonwood which is still there and watch the Labor Day Parade. I remember when Grant Street went straight through. I went to school at Louisville Elementary and St. Louis Catholic School. To see people doing things to houses that are here in town hurts me. I'd like to see them preserved.

Haley says preservation is a lot about sentiment, the history, who lived there before you, and what it means to our community. We appreciate that you have found that in your house. Thank you for sharing that with us.

Commission Questions of Applicant: None.

Closed Public Hearing and Discussion by Commission:

Chuck Thomas makes a motion to find probable cause to believe the structure at 732 Grant Street may be eligible for landmarking under the criteria in Section 15.36.050 of the Louisville Municipal Code based on architectural integrity and social history, seconded by **Cyndi Thomas**. Roll call vote.

Name	Vote
Lynda Haley	Yes
Debbie Fahey	Yes
Peter Stewart	Yes
Mike Koertje	n/a
Jessica Fasick	Yes
Cyndi Thomas	Yes
Chuck Thomas	Yes
Motion passed/failed:	Pass

Motion passes 6-0.

PUBLIC HEARING – 301 East Street Demotion, #2016-008-DEMO

A request to demolish the structure at 301 East Street. The request is being heard by the full Commission because it is part of a Planned Unit Development (PUD) and Plat application.

Conflict of Interest and Disclosure: None.

Staff Report of Facts and Issues:

Trice presents from Power Point:

LOCATION

- 301-333 East Street
- Between the railroad and Highway 42, North of Lock Street
- Five structures currently on the property
- HPC will focus on #1, #3, and #4 which were built prior to 1955



1. Frame structure, circa 1907 (encapsulated in brick post 1987) *Staff finds there is no architectural integrity left of the original 1907 structure based on the brick encapsulation. It is difficult the historic structure within it.*
2. Concrete block structure, post 1987
3. Wooden chicken coop, date unknown *Staff finds it is unclear how long this structure has been on this site. Staff does not find that it holds enough significance in order to make the property eligible for landmarking.*
4. "Boarder" House, constructed pre 1948 *Staff says it is possible it was moved to a different location on the property, or moved from somewhere elsewhere to the property. This structure is not in good shape. The siding is falling off or missing. It has different roofing materials. The windows and doors appear to still be there, but are not being used as windows or doors.*
5. Stone structure, post 1987

Social Significance - *Exemplifies cultural, political, economic or social heritage of the community.*

The property was the home of members of the Gelsomino and Annunciata Romano family for 80 years.

Staff Recommendations:

The HPC may release the permit, or place a stay on the application for up to 180 days from the date of date of issuance of the planning department referral, which was September 6, 2016. The stay would expire on March 5, 2017.

Based on the lack of architectural integrity and the condition of the structures, Staff recommends the Historic Preservation Commission release the demolition permit.

Commission Questions of Staff:

Haley asks about the assessor card. Is that the first house or the boarder house?

Trice says from all records I have from the previous property owner and from Bridget Bacon, the building is located inside the brick building.

Stewart says the only building that is border line is the boarder house. Have there been any costs estimates for repair? **Trice** says no.

Haley asks if the boarder house still has the two doors.

Trice says yes, you can slightly see them in the picture, but I'm not sure they are being used as doors at the moment. There is also a shed roof addition on the side of the building.

Haley says this is not in the Old Town Overlay. **Trice** says yes.

Stewart says if the demo permit requests are released, the actual demolition cannot take place until after the PUD is approved and finalized, is that correct?

Trice says yes. This is a preliminary PUD and plat application, so they will be coming back for a final PUD and plat.

Applicant Presentation: None.

Closed Public Hearing and Discussion by Commission:

Stewart says he agrees with Staff that the other buildings have lost any integrity they did have. The boarder house seems to have some integrity and may meet our criteria. An open question is whether the cost of repair is beyond reason for it. I am inclined to release all the permits except that one pending further cost analysis, but I can be persuaded otherwise.

Fahey says I agree with releasing all the other structures. I will vote to release the boarder house as well because of the extensive repair needed to be done. Nothing is original.

Chuck Thomas says leaving the border house might present a problem in redeveloping the property. I agree with releasing all the properties as well as the boarder house.

Cyndi Thomas says I agree and think the integrity is not there any longer.

Fasick says I agree that we can let the boarder house go. With the loss of the original house and the chicken coop, it is a loss of context.

Chuck Thomas makes a motion to approve **301 East Street Demotion, Demolition #2016-008-DEMO**, a request to demolish the structure at 301 East Street. The request is being heard by the full Commission because it is part of a Planned Unit Development (PUD) and Plat application, seconded by **Haley**. Roll call vote.

Name	Vote
Lynda Haley	Yes
Debbie Fahey	Yes
Peter Stewart	Yes
Mike Koertje	n/a
Jessica Fasick	Yes
Cyndi Thomas	Yes
Chuck Thomas	Yes
Motion passed/failed:	Pass

Motion passes 6-0.

Referral – Clementine Preliminary Plat/PUD

Conflict of Interest and Disclosure: None.

Staff Report of Facts and Issues:

Trice presents from Power Point:

- 301-333 East Street
- 44 townhomes, 3.6 acres
- Street names after Romano family
- Improve gateway park along 96th Street and Lock Street



Applicant Presentation:

Eric Hartronft, Hartronft Associated, 950 Spruce Street, Suite 2A, Louisville, CO

Michael Eisenstein, 487 Carmen Street, Louisville, CO

I am the architect and planner. **Mike Jones** has owned the majority of this site for years and has looked to development. Randy Luellin owned the corner site for years and he was not interested in developing. Randy sold his property to **Mike Jones** so he and **Mike Eisenstein** are moving together to develop. A couple of things of note are the density is a little less than zoning would allow. 46 units are allowable per the zoning and we have 44. Mike came up with an idea to honor the families with the street names. The names fairly unique such as Romano, Gelsomino, Clementina, Domenica, and Nuncieta. I think it is a way to have some history infused into this development. There is a leftover piece of right-of-way, a pie-shaped triangular piece to the east of East Street and to the west of Highway 42 and north of Lock Street. The owners left that as part of their community benefit for this site to develop gateway landscaping. Currently, it is a graded flat wheat patch. We have talked to Parks and Open Space about the ability of the developer to improve it, possibly provide a trail that could be connected up the north, and provide some landscaping that would be drought tolerant. It would be much nicer than what is there now. Parks and Open Space have indicated that they are open to it and have no plans for this property. To have the developer improve it has been seen as a benefit. We have talked

about gateways in Louisville for 30 years. We were involved with Louie, the miner signs around Downtown. There is another gateway that was improved probably in the 1990s at the McCaslin and South Boulder Road intersection at the southeast corner. When that development went through, the developer paid for some landscaping and connecting a meandering trail through there. It is understated and doesn't say Welcome to Louisville but it is a nice welcome piece of landscape as you enter the City. We have our other new gateway at Steel Ranch on the north side on Highway 42. That post sign was decided by the City and some committees. As you enter from the south, we feel some nice landscaping and whatever the City may want to do in terms of gateway announcement will be welcoming. This development will have townhomes with good setbacks from East Street. It is compact internally. There are 3 or 4 different unit types with main floor master plans which are good for people who wish to age in place. Any input you would like to give us is appreciated as we are in the preliminary stage.

Commission Questions of Applicant:

Fahey asks you are proposing a possible bike path on the east side of the property. Would it be possible to do that on the west side instead?

Hartronft says we looked at that very closely but the problem is the Sunnyside Boulder County Housing Authority development to the north. They filled every space inch of the property so there are improvements right up to the railroad. There is no physical space to get past that property. There is a potential to negotiate with BNSF but that could be years in the making. The existing sidewalk on East Street is an attached narrow sidewalk up to the curb. It is not very comfortable. The Highway 42 plan shows a bike path attached to it along this corridor. We felt you could have a little bit of space, detach it, and make it a multi-use path. There is opportunity as another large parcel north of this on East Street that is likely to be developed in the future. As that develops, there is an opportunity to piggy-back on what we've started to connect across that property and end up along the tracks and through that area. If you look at the south end of where we've proposed this trail, we get people out to the intersection. There is a path that leads in front of the storage units straight south to Coal Creek Trail. It would take you to Community Park to the west. We feel this is a good place to connect. We are trying to discourage people at the end of Lock Street from crossing the railroad tracks. There is a community trail currently that BNSF will probably fence off because it is highly used.

Fahey says have you gone to Planning Commission regarding heights?

Hartronft says the PC is our next stop. We have been to Open Space Advisory Board, Parks Advisory Board, and this is our third stop.

Chuck Thomas says I see there is a roundabout in the plans. Is that a real prospect?

Hartronft says I understand that is part of the Highway 42 plan and that there is no CIP for that. It is projected in the 2020s.

Fasick says is there any chance of getting a railroad track crossing or a bridge?

Hartronft says it would have to be an underpass or overpass. Those are quite expensive. The size of Steel Ranch was able to partner with the City for their underpass on the north side of South Boulder Road through Steel Ranch.

Haley says we haven't talked about height. Are they two stories?

Hartronft says there are two stories of living space. Most of the units south of Clementina are alley loaded so the garages are in the back. The two stories are above the garage. From the back, they will be three stories; from the front, they will be two stories.

Fahey says will we be seeing the back of garages from Highway 42?

Hartronft says we are working on this. You won't see any backs of the buildings.

Public Comment in Favor:

Foster, 301 East Street, Louisville, CO

I live on the property. When Randy Luallin sold the property, we knew this was going to happen. In consideration, I would with this process and for the people who are living there, could we have enough time to relocate. We have invested our time and our lives into this property. I am a contractor and have worked in Boulder County and with the Boulder Historical Society. This property has some historical significance. I am a Boulder native and I grew up with creek paths. I hope there can be connections to the bike path and perhaps a bridge over the tracks to Community Park.

Zuccaro says these are great comments. There will be several PC and CC hearings on this for preliminary and final. Because this is HPC, they are focusing their review on character issues related to historic preservation. The other site planning comments should be brought to Staff or come to the public hearings.

Chuck Thomas says the types of issues you are talking about are more PC issues, who recommend decisions to CC. We will be reviewing it but we do not make decisions.

Public Comment Against: None.

Closed Public Hearing and Discussion by Commission:

Stewart says this property really is a gateway to Old Town Louisville. It is not a gateway to New Town Louisville. In that respect, I would want the architectural character of the buildings to reflect Old Town architectural character in terms of size, massing, and scale. I think the attached dwellings are a little out of character, so I wonder if there is flexibility. I am particularly concerned about the one facing east on East Street, because those will be visually prominent in driving down the road when entering Louisville. On the east side of the road is the Mayhoffer Farm which is a centennial farm. I would want the buildings to have that kind of architectural character. I like the detached sidewalk and front porches facing east. I do have concerns about the open space looking too new town-ish and I would want to see something more appropriate for a gateway to Old Town as opposed to something that looks like McCaslin Blvd. This is early in the concept stages, but those are my comments. The last thing I'd like to see in that space is a detention area because there is nothing that says, "This is a brand new development" more than a detention pond in front of a building.

Haley asks **Stewart** would you like straighter lines to keep the trail more "Old Town"?

Stewart says the trail is important and the connection to the open space system.

Fahey says the front porches facing Highway 42 will be a lovely old town kind of feel.

Haley says I appreciate the lower density which will help in the massing as you approach Louisville. I like the trail idea and having a pedestrian trail. It acts as a buffer between the housing and the highway.

Chuck Thomas asks **Stewart** are you suggesting separating the East Street buildings into two and three residences instead of four and five to preserve sight line?

Stewart says I think it is particularly relevant to the buildings facing East Street. I am not sure the ones behind them make much difference. Ideally for me, they would be all single family residences with a little bit of space between.

Chuck Thomas says I understand why the developer wants to do townhouses. You could somewhat emulate that aesthetic by having fewer stacked next to each other, seeing twos and threes rather than fours and fives.

Stewart says a lot of that can be achieved with massing and building forms themselves that look like individual buildings even if they are attached.

Fahey says perhaps the front walls can be staggered. You'd have more privacy on your porch.

Hartronft says those comments are good. We see this as a something to reflect Louisville character, but the character is changing as we move forward. I think we can come up with something that will have a scale and texture that will relate to Old Town. We are asking to put

detention out into corner. We are talking about 12" to 18" of detention which will be a slightly rolling depressed area. I don't think anyone will see it as detention except after a big rainstorm.

Fasick says is there any possibility of turning the four units in the northeast corner, north of Clementina, so they line up with the others, or would you lose too much?

Hartronft says we don't want garages on East Street, so we would have to separate the units and create an alley similar to the south one. There is a certain mix of unit types the developer is trying to achieve and the ones on the north are larger footprint and have little backyards. They are unique in that respect. If we make those four units alley load, then we don't have a good front yard for the ones that face west. We would lose all of our backyards along the north side. There would be trade-offs. Working with the elevation and freedom with the setback, we could wrap the porch around and make the east façade special with windows.

Chuck Thomas says our comments are trying to keep a sense of character that blends.

PUBLIC HEARING – 721 Grant Avenue Landmark/Grant/Alteration Certificate

Resolution No. 7, 8, 9, Series 2016, a request to landmark 721 Grant Avenue. A request for an alteration certificate and a request for a Preservation and Restoration Grant for restoration work on the historic structure at 721 Grant Avenue.

Conflict of Interest and Disclosure:

Stewart recuses himself because I have provided professional services to the applicant.

Staff Report of Facts and Issues:

Trice presents from Power Point:

LOCATION

- Located between Spruce Street and Pine Street on Grant Avenue

HISTORY

- Known to most people in Louisville as the Louisville Hospital
- Moved from Main Street to Grant Avenue
- Built between 1893-1900
- Moved from Main Street to Grant Avenue
- Has been a post office, newspaper office, and school
- United Mine Workers hospital
- Residence for the Jenkins family

ARCHITECTURE

- Two-story, hipped roof
- Two additions when moved from Main Street (2-story hipped, 1-story shed)
- Storefront window
- Wood siding covered with aluminum
- Italianate lentils removed
- Shed roof enclosed porch on rear
- When moved from Main Street to Grant Avenue per historic structure assessment and engineering letters, house was placed on a concrete slab, does not have a foundation

Social Significance - Exemplifies cultural, political, economic or social heritage of the community.

- The structure served the Louisville community as a post office, hospital, school, and residence.

Architectural Significance - Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.

- The structure is a vernacular interpretation of the commercial Italianate style and depicts Louisville's history of moving buildings.

Staff Recommendations:

Staff recommends approved of landmarking (Resolution No. 7, Series 2016) and that the house be name for the Louisville Hospital.

Alteration Certificate Request

- Two-story addition for west side of existing house replacing the single story additions
- 23 feet in height with asphalt shingles and fibrous cement siding
- Historic structure connected to the addition by two-story, flat-roofed hyphen
- Restoration of existing historic structure



Existing South Elevation



Proposed South Elevation

The applicant is requesting to modify the following on the existing structure:

- Remove aluminum siding and repair existing wood siding, if found, or replace with wood siding
- Remove replacement windows on the south elevation and replace with windows that match historic windows in proportion

- Replace second story window on south elevation in original opening
- Remove modern railings on front porch and deck
- Remove shutters
- Reroof structure with asphalt shingles
- Remove non-historic doors and replace with doors to match historic photos
- Restore original exterior door



- Addition setback to rear of the lot
- Minimal visual impact from Grant Avenue
- Two-story, hyphen clad in HardiePlank creates a break between the two portions of the structure
- Addition height, roof pitch, siding exposure and window proportions are all similar to the existing building

Staff Recommendations:

Staff recommends that the alteration certificate be approved by approving Resolution No. 8, Series 2016 with the condition that the new addition be further distinguished from the historic structure.

Grant Request

- Total request - \$80,080 with 100% match
- New foundation, upgrading systems, altering site drainage, restoring exterior
- Historic structure assessment and engineer's letter confirm the new foundation is needed and drainage is needed
- Applicant requests grant be considered under Resolution No. 2, Series 2012, Section 7(b)
 - *This is the section that discusses exceeding maximum grant amount. It is \$20,000 for a residential property. This exceeds this by \$60,000.*

Flexible Grants

- Limited to a maximum grant amount of \$5,000
- "Sensitive upgrading of mechanical, electrical, and plumbing systems" "restoration of a property to a specific significant point in its history"
 - Appurtenances - \$4,870

- Doors and windows - \$5,000 (only includes new windows and doors)
- Mechanical systems - \$12,000
- Electrical systems - \$4,720

TOTAL - \$26,590 (max \$5,000)

Focused Grants

- “Sustaining the existing form, integrity, and material of a historic property”
- Limited to a total of \$15,000 with a match of \$15,000
 - Site grading and drainage –\$3,000
 - Foundation – \$64,000
 - Structural systems – \$18,220
 - Exterior walls – \$12,960
 - Envelope –Roofing - \$4,200
 - Envelope – Insulation - \$5,403
 - Doors and Windows - \$7,500 (only includes repair of existing)

TOTAL - \$115,283 (max \$15,000)

Applicant has requested coverage for permits, which is not covered under the HPF grants.

Maximum Grant Amount

Resolution No. 2, Series 2012, Section 7 (b) states the following:

“Any grant exceeding the above limitations shall be conditioned on the applicant matching at least one hundred percent (100%) of the amount of the grant with expenditures or an equivalent value of approved in-kind services that are integral to the project that is deemed eligible for a grant from the Historic Preservation Fund.”

- Applicant is providing a 100% match.

Extraordinary Circumstances

Resolution No. 2, Series 2012, Section 7 (b) states the following:

“These limitations may be exceeded upon recommendation of the Historic Preservation Commission and approval by City Council upon a showing of extraordinary circumstances.”

- Existing structure sits on concrete slab with no foundation
- Typical cost for foundation repair can be up to \$8,000
- Estimated cost install for a new foundation is \$64,000
- Staff concurs that the foundation cost is an “extraordinary circumstance”
- Staff does not find that any of the other work items meet the “extraordinary circumstances” criterion

Staff Recommendations:

Staff recommends that the grant be limited to \$52,000.

- \$20,000 grant maximum
- \$32,000 grant to cover extraordinary foundation costs (with \$32,000 match)

Staff recommends approval of Resolution No. 9, Series 2016.

Commission Questions of Staff:

Chuck Thomas says can we pass a resolution that includes a revolving loan fund for the balance of the amount they are calling for?

Trice says the applicant has not applied for a revolving loan fund. They would have to continue the application to include that or apply at a future date. Staff has discussed this with them.

Cyndi Thomas says the 100% match includes the cost of permits and a contingency. Should that be removed because Staff does not think they are applicable?

Trice says we typically add a contingency, but we have not calculated the amount yet. We would want to take out the permits. The \$80,080 does include the permits and the way it has been applied for. If you wish to grant the full amount tonight, we will work through the numbers to take out the permits.

Applicant Presentation:

James Caleb Dickinson (called Caleb), 721 Grant Avenue, Louisville, CO

Katherine Dickinson (called Katie), 721 Grant Avenue, Louisville, CO

We were here previously to apply for probable cause. This is an incredible building. It was purchased by the owner of the Black Diamond World newspaper. He put a printing press in when the building was at its new location on Grant Avenue. It was the first newspaper in Louisville. It became the Louisville Hospital briefly. It was used as a classroom since the main school was up the street. It has been a private home since 1921 until present. It will be the mayor's residence in 2031. **Dickinson** shows photos of the house. The house originally was located where the Mercantile Building sits currently. The house still shows the original architecture and is preserved. Living in the house, we notice changes to the house and how they detract from the house. We wish to bring back the shutters, the pillars, and the railings. We want to bring back similar windows to the original ones. The shed in back used to be the garage but there is no flooring, only rocks and glass. The roof and doors are dilapidated. We wish to take it down and build a one car garage and an in-law suite. We are working with **Peter Stewart** who understands what the HPC is looking for and then do it. We hope to make the addition very similar to the original house. All work will be done to the back. Part of the history of this home is change. The numbers for the grant need to be reconciled such as taking out the permits or the 10% contingency. When the house was for sale in 2008, it was discussed as being purchased by historic preservation to prevent it from being scraped and losing the history. We bought this home with no intention of ever demolishing it. We are coming to you about what we can do to preserve it. We want to partner with you. We are asking for more money than you have given any residential property. This is not a remodel but a restoration of the building. We hope to sponsor tours through the house and have a plaque on the house. We currently have the second grade class come through and we tell them the whole story. We care deeply about the history of this town and this home. I plan to run for mayor in 2031. We will do what it takes. We will landmark this house because we don't want anyone to scrape this house.

Commission Questions of Applicant: None.

Public Comment in Favor: None

Public Comment Against: None.

Closed Public Hearing and Discussion by Commission:

Fahey says I give tours at the museum and one of the groups is the second grade class. When they are there, one of the things I mention is that your wife decorates it so well for Halloween. It does have a lot of significance and is easily identified. It looks like it did when it was the hospital. It was built as a commercial structure and it was commercial for a very long time. I have no problem giving the applicant their full grant request.

Chuck Thomas says in my past experience, we did a series of buildings. There will be a tremendous amount of change that will happen to the structure. Putting three separate structures on one foundation will change the building. I am inclined with **Fahey** that the amount of work necessary to bring it to museum quality restoration warrants a grant in the neighborhood of \$80,000. You still may need access to the revolving loan fund. My inclination is do a hybrid between a residential and commercial structure.

Dickinson says naming the structure the Louisville Hospital suggests it was a commercial structure.

LANDMARK

Chuck Thomas makes a motion to approve **Resolution No. 07, Series 2016, 721 Grant Avenue**, a resolution making findings and recommendations regarding the landmark designation for a historical residential structure located on 721 Grant Avenue, seconded by **Fahey**. Roll call vote.

Name	Vote
Lynda Haley	Yes
Debbie Fahey	Yes
Peter Stewart	n/a
Mike Koertje	n/a
Jessica Fasick	Yes
Cyndi Thomas	Yes
Chuck Thomas	Yes
Motion passed/failed:	Pass

Motion passes 5-0.

ALTERATION CERTIFICATE

Cyndi Thomas says this is a wonderful house with social significance and history. I like looking at the grant as a historic commercial property since this is much more palatable to get more funds. We are recommending calling it the Louisville Hospital. Regarding the alteration certificate and the fact that it sounds like Staff has recommended some potential changes to occur to the designs we are considering tonight, do we have enough information to move forward with an alteration certificate given that the plans are not in final form?

Haley says I feel comfortable making recommendations because Peter Stewart is the architect.

Chuck Thomas says I would be more comfortable stating that we have approved the alteration certificate with the understanding that there is delineation between the new structure versus the original.

Fahey says Staff's recommendation for the wording on the alteration certificate does say that "approving it with the condition that the new addition be further distinguished from the historic structure". Is that enough?

Cyndi Thomas says I think we are looking at a continuation with elevations and a material list to be submitted.

Fahey makes a motion to continue **Resolution 08, Series 2016, 721 Grant Avenue**, a resolution approving an alteration certificate for the Louisville Hospital located at 721 Grant Avenue for exterior alterations and a rear addition to the next HPC meeting on November 21, 2016, seconded by **Chuck Thomas**.

Name	Vote
Lynda Haley	Yes
Debbie Fahey	Yes
Peter Stewart	n/a
Mike Koertje	n/a
Jessica Fasick	Yes

Cyndi Thomas	Yes
Chuck Thomas	Yes
Motion passed/failed:	Pass

Motion passes 5-0.

GRANT

Chuck Thomas says this is a unique structure. It is not a residential structure that we would normally review in that the number of stories is typically 1.5 stories. Originally, this was used as a commercial structure on Main Street. I am suggesting that we consider this a commercial structure or hybrid and recommend a grant of \$80,080 with a match.

Trice says the HPC is making a recommendation to CC. We would need to reconfigure the numbers to take out the permits. You can rephrase the resolution to be an amount minus the permits or amend it.

Chuck Thomas says the clarification is that it is subject to the standard procedures which include removal of the permits, subject to further revisions as necessary to make it comply as a commercial structure.

Haley says will the grant be just for the foundation and window?

Flexible Grants

- Limited to a maximum grant amount of \$5,000
- “Sensitive upgrading of mechanical, electrical, and plumbing systems” “restoration of a property to a specific significant point in its history”
 - Appurtenances - \$4,870
 - Doors and windows - \$5,000 (only includes new windows and doors)
 - Mechanical systems - \$12,000
 - Electrical systems - \$4,720

TOTAL - \$26,590 (max \$5,000)

Focused Grants

- “Sustaining the existing form, integrity, and material of a historic property”
- Limited to a total of \$15,000 with a match of \$15,000
 - Site grading and drainage –\$3,000
 - Foundation – \$64,000
 - Structural systems – \$18,220
 - Exterior walls – \$12,960
 - Envelope –Roofing - \$4,200
 - Envelope – Insulation - \$5,403
 - Doors and Windows - \$7,500 (only includes repair of existing)

TOTAL - \$115,283 (max \$15,000)

Trice says the above shows grants for a typical residential property with the flexible grant limited to \$5,000 and the focused grant limited to \$15,000 with the match. The permits are \$4,100 so that can be subtracted to \$156,000, and 50% is \$78,000. Once you get to Section 7(b) of Resolution 02, Series 2016, if it is eligible for funding, you don’t have the \$5,000 and \$15,000 limits, as long as it meets the 100% match and the extraordinary circumstances.

Cyndi Thomas says the extraordinary circumstances are the foundation because they will have to hoist this house to save it, and that historically, it was commercial.

Chuck Thomas says they are restoring the original openings. It is extraordinary due to the size of the property. If our rationale is including it under commercial, the flexible grant number and the focused grant number do not apply.

Trice says there are different numbers for a commercial structure. I understand we are treating this as a hybrid and the definition of extraordinary to exceed \$20,000.

Cyndi Thomas says I think it should be the \$20,000 grant maximum and \$58,000 of extraordinary costs associated with the foundation and once a commercial structure. I also suggest the applicant look into the revolving loan program.

Chuck Thomas makes a motion to approve Resolution 09, Series 2016, 721 Grant Avenue, a resolution making findings and recommendations regarding a preservation and restoration grant for the Louisville Hospital located at 721 Grant Avenue, with the following:

1. The Historic Preservation Commission recommends the City Council approve the proposed Preservation and Restoration Grant application for the Louisville Hospital, up to the amount of **\$78,000**.

seconded by **Fahey**.

Name	Vote
Lynda Haley	Yes
Debbie Fahey	Yes
Peter Stewart	n/a
Mike Koertje	n/a
Jessica Fasick	Yes
Cyndi Thomas	Yes
Chuck Thomas	Yes
Motion passed/failed:	Pass

Motion passes 5-0.

Discussion – Historic Preservation Fund SWOT Analysis

	Strengths	Weaknesses
Internal	Grain Elevator Glad we are preserving homes Revolving loan fund regenerates over time Historic Preservation Fund New construction grants Historic context opportunity Staff expertise Twitter and Instagram Newsletter and monthly house	Grain Elevator Don't preserve any home not significant Not interested in social history Lack of ability to advocate Can you cost effectively preserve a structure instead of tear down? \$20,000 isn't enough money Historic Tax Credits confusing Interior changed: does exterior still qualify?
External	Opportunities Farmer's Market & 1 st Friday Art Walk Landmark tour Public outreach Advocate to landmark so families can add on and have bonuses Education and historic context Resolutions with \$\$ amounts Boulder commissioners have \$50,000-\$75,000 to allocate Boulder homeowners can apply for	Threats Old Town Overlay Structure outside that are worthy or lost Families today think they need bigger homes Easier to tear down a house Lack of education Insufficient fund amounts Homeowner taxed on HSA amount Homeowner thinks structure not interesting enough to preserve

Discussion/Direction – HPC/Historical Commission Joint Subcommittee

Haley and **Koertje** were appointed to a subcommittee to work with two members of the Historical Commission. This will not be to write the ballot language which is done by a lawyer. It is to make recommendations to CC on the specific of the overlap between the two commissions.

Fahey says I have been to a couple of meetings since that meeting, having nothing to do with the Historic Commission or the HPC. At least two different times, Councilman **Keany** made the comment that we had agreed as a subcommittee or a group to give 20% of the tax income to the Museum. He is not wording it in such a way that it was “up to 20%” or that there were any conditions or limitations. We need to clarify that.

Chuck Thomas makes a motion that **Haley** and **Koertje** can be on a subcommittee to work with two members of the Historical Commission, seconded by **Fahey**. Approved by voice vote.

Committee Reports – Realtor Brochure

Trice hands out a sample of the Realtor Brochure.

Haley says it will start with realtors, but will be for a larger audience. If we want to attract a larger audience, how do we balance it from homeowners to realtors?

Cyndi Thomas says that the revolving loan program should be added to the brochure. I like all the information. I'd like to turn it into an info-graphic.

Trice says this can be discussed with the public outreach subcommittee. There are funds in the budget for public outreach.

Cyndi Thomas says I saw a brochure from Westminster that was an info-graphic for their new development. It has just the right amount of information. I will send a link to **Lauren**.

Haley says we put this brochure together to see if the needed information is there. If something is lacking, please let us know.

Cyndi Thomas says comments have been “you are here to get in my way”. There is a perception out there, so I suggested we have “myths” and “truths”. The myth is the HPC is angry grumpy people and the truth is we are here to help and protect the character of our community.

Trice says we want the brochure to be fun and not intimidating.

Cyndi Thomas says listing how many commercial landmarks and residential landmarks have been done and how much money has been given out might be helpful.

Trice says we may end up with two brochures, one about the success of the HPF and another about the people who are interested in participating.

Updates from Staff

Historic Context

The City received five proposals for the Historic Context Studies. **Cyndi Thomas, Koertje, Bridget Bacon**, Museum Coordinator, **Rob Zuccaro**, Director of Planning & Building Safety, and **Lauren Trice**, Associate Planner interviewed three of the consultants on September 30th. The interview team selected PaleoWest, located in Denver, to work with the City to develop the Historic Context Studies.

Demolition Updates

On September 26, 2016, Planning Staff and two subcommittee members of the HPC reviewed a request for a demolition permit to demolish the structure at 225 County Road. After deliberation, the HPC subcommittee decided to release the permit because of the marginal architectural integrity and lack of strong social significance.

Upcoming Schedule

October

20th – Archaeological Investigation at the Industrial Mine in Superior, 7pm, Library Meeting Room

25th – APA Colorado Awards Ceremony, 5:30-7:30 pm, Cheyenne Mountain Resort, Colorado Springs

November

15th – 2017 Board and Commission Applications Due (Haley, Chuck Thomas, Fasick terms expire)

21st (Thanksgiving Week) – Historic Preservation Commission Meeting, 6:30pm, Council Chambers

December

19th – Historic Preservation Commission Meeting, 6:30 pm, Council Chambers

23rd – Early Bird Registration Deadline CPI Saving Places Conference

January

TBD – Training with City Attorney

9th (2nd Monday) – Historic Preservation Commission Meeting, 6:30 pm, Council Chambers

February

1st -4th – CPI Saving Places Conference, Denver

13th (2nd Monday) – Historic Preservation Commission Meeting, 6:30 pm, Council Chambers

Updates from Commission Members

Cyndi Thomas thanks **Haley** for her behind the scenes on these subcommittees. It should be noted that you are on every subcommittee.

Discussion Items for future meetings

The Historic Context Presentation will be presented at the next meeting in November.

Adjourn

Chuck Thomas makes motion to adjourn, **Fahey** seconds. Meeting adjourned at 9:10 pm.

LOUISVILLE HISTORIC PRESERVATION COMMISSION

STAFF REPORT

November 21, 2016

ITEM: Landmark eligibility probable cause determination for 921 Main Street

APPLICANT: Ken Teegardin
558 W Willow Court
Louisville, CO 80027

OWNER: Patricia and Eric Tussey
5075 N 51st Street
Boulder, CO, 80301

PROJECT INFORMATION:

ADDRESS: 921 Main Street
LEGAL DESCRIPTION: Lot 3, Block 5, Original Louisville
DATE OF CONSTRUCTION: ca. 1880-1893

REQUEST: A request to find probable cause for a landmark designation to allow for funding for a historic structure assessment for 921 Main Street.



Under Resolution No. 2, Series 2014, a property may be eligible for reimbursement for a historic structure assessment (HSA) from the Historic Preservation Fund (HPF) if the Historic Preservation Commission finds “probable cause to believe the building may be eligible for landmarking under the criteria in section 15.36.050 of the Louisville Municipal Code.” Further, “a finding of probable cause under this Section is solely for the purposes of action on the pre-landmarking building assessment grant request, and such finding shall not be binding upon the HPC, City Council or other party to a landmarking hearing.”



921 Main Street Southeast Corner – Current Photo



921 Main Street Northeast Corner – Current Photo



921 Main Street West Elevation – Current Photo

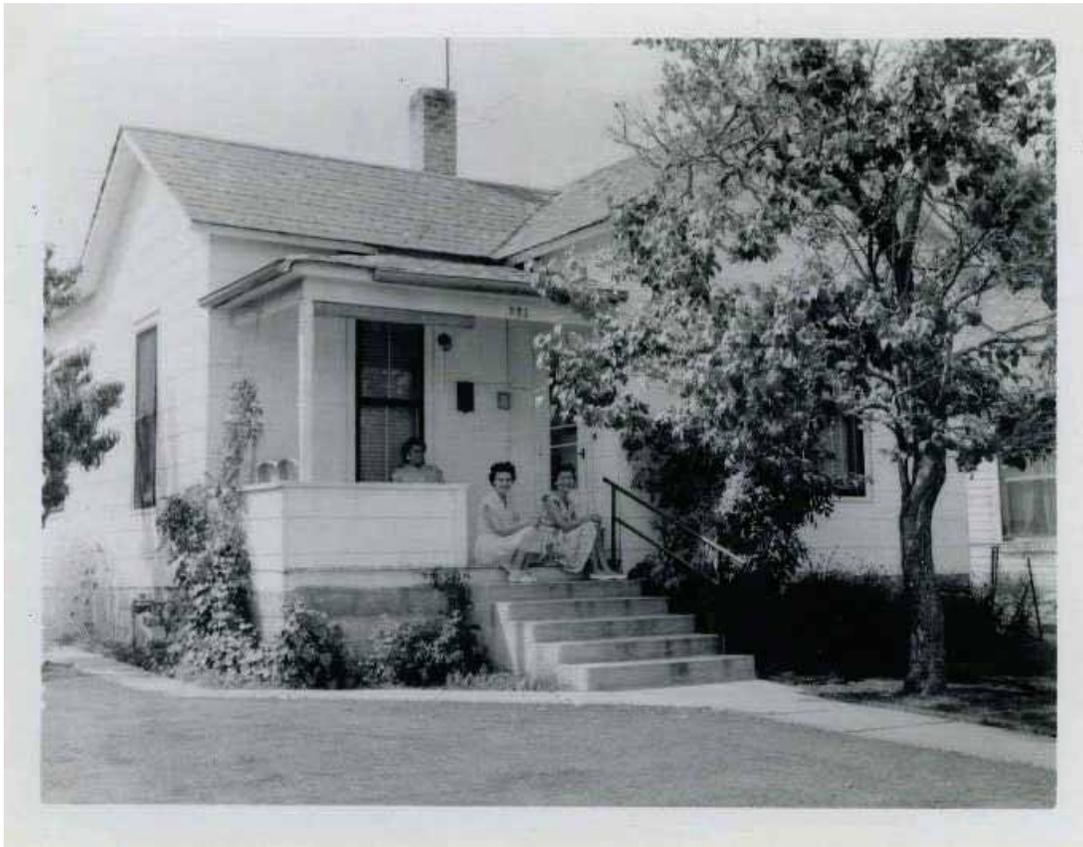
HISTORICAL BACKGROUND:

Information from Bridget Bacon, Louisville Historical Museum Coordinator

The Doeffer family owned the property at 921 Main for 42 years and the Lippis family owned it for 18 years. Joseph Doeffer, an Austrian immigrant, was a miner in Louisville. His daughter, Magdalene was married to Victor Helburg, the Louisville town marshal who was killed in 1915. The Italian Lippis family was known for making wine and housing local miners. It was a family residence during all of that time. Like some other buildings in the 900 block of Main Street, it was historically a residence and is now a commercial building.



921 Main Street – 1948 Assessor's Photo



921 Main Street – Prior to 1962



921 Main Street – ca. 1970s or 1980s

ARCHITECTURAL INTEGRITY:

The L-shaped, gable-roofed structure appears on the 1893 Sanborn Fire Insurance Map. Based on the 1900 map, the gable-roofed and shed-roofed additions were likely constructed between 1893 and 1900. A visible concrete block foundation, likely added

after 1900, supports the structure. The structure has a partial, hipped-roof porch facing Main Street. The gable roof's overhanging eaves expose the original wood framing. Between 1948 and 1962 the structure was clad in wide aluminum siding. The original central brick chimney was covered in stucco after the 1980s. The primary windows are 2/2 double or single hung. These windows appear in the 1940s photos and may be original to the structure. After the 1980s, the porch was extended around the south elevation and Victorian-style details were added.

A small, gable roofed shed is located along the alley. The structure is also clad in aluminum siding. The social history references a small shed and a 1940s photo shows a shed with similar location but a different orientation. It is possible that it is the same shed.



921 Main Street – 1940s

HISTORICAL SIGNIFICANCE AND CRITERIA FOR FINDING PROBABLE CAUSE FOR LISTING AS LOCAL LANDMARK:

To receive grant funding, the HPC must find probable cause that the property meets the landmark criteria. Landmarks must be at least 50 years old and meet one or more of the criteria for architectural, social or geographic/environmental significance as described in Louisville Municipal Code (LMC) Section 15.36.050(A):

1. *Historic landmarks shall meet one or more of the following criteria:*
 - a. *Architectural.*
 - (1) *Exemplifies specific elements of an architectural style or period.*
 - (2) *Example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally.*
 - (3) *Demonstrates superior craftsmanship or high artistic value.*

- (4) *Represents an innovation in construction, materials or design.*
 - (5) *Style particularly associated with the Louisville area.*
 - (6) *Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.*
 - (7) *Pattern or grouping of elements representing at least one of the above criteria.*
 - (8) *Significant historic remodel.*
 - b. *Social.*
 - (1) *Site of historic event that had an effect upon society.*
 - (2) *Exemplifies cultural, political, economic or social heritage of the community.*
 - (3) *Association with a notable person or the work of a notable person.*
 - c. *Geographic/environmental.*
 - (1) *Enhances sense of identity of the community.*
 - (2) *An established and familiar natural setting or visual feature that is culturally significant to the history of Louisville.*
2. *Prehistoric and historic archaeological sites shall meet one or more of the following:*
- a. *Architectural.*
 - (1) *Exhibits distinctive characteristics of a type, period or manner of construction.*
 - (2) *A unique example of structure.*
 - b. *Social.*
 - (1) *Potential to make an important contribution to the knowledge of the area's history or prehistory.*
 - (2) *Association with an important event in the area's history.*
 - (3) *Association with a notable person(s) or the work of a notable person(s).*
 - (4) *A typical example/association with a particular ethnic group.*
 - (5) *A unique example of an event in Louisville's history.*
 - c. *Geographic/environmental.*
 - (1) *Geographically or regionally important.*
3. *All properties will be evaluated for physical integrity and shall meet one or more of the following criteria:*
- a. *Shows character, interest or value as part of the development, heritage or cultural characteristics of the community, region, state, or nation.*
 - b. *Retains original design features, materials and/or character.*
 - c. *Remains in its original location, has the same historic context after having been moved, or was moved more than 50 years ago.*
 - d. *Has been accurately reconstructed or restored based on historic documentation.*

Staff has found probable cause to believe this application complies with the above criterion by the following:

Social Significance - Exemplifies cultural, political, economic or social heritage of the community.

This house is associated with the Doeffler and Lippis families. Joseph Doeffler, an Austrian immigrant, was a miner in Louisville. His daughter, Magdalene was married to Victor Helburg, the Louisville town marshal who was killed in 1915. The Italian Lippis family was known for making wine and housing local miners.

Architectural Significance - Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.

The vernacular structure is one of the oldest structures along Main Street and represents the character of pre-20th century Louisville. It also shows the pattern of residences on Main Street which are reused for commercial purposes.

RECOMMENDATION:

Although historically a residence, the property is zoned Commercial Community (CC) and is open to the public as a Main Street business. Staff recommends finding there is probable cause to believe the building may be eligible for landmarking under the criteria in section 15.36.050 of the LMC, making the property eligible for up to \$6,000 for the cost of a historic structure assessment. HPC may, by motion, approve or deny the finding of probable cause.

SUPPORTING DOCUMENTATION AND INFORMATION:

Attached for your review are the following documents:

- 921 Main Street – Social History



921 Main St. History

Legal Description: Lot 3, Block 5, Original Louisville

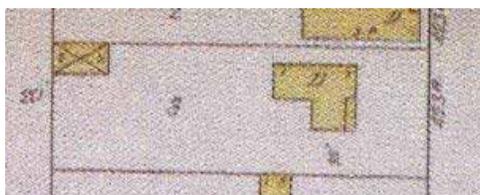
Year of Construction: circa 1880-1893

Summary: The Doeffler family owned the property at 921 Main for 42 years and the Lippis family owned it for 18 years. It was a family residence during all of that time. Like some other buildings in the 900 block of Main Street, it historically was a residence and is now a commercial building.

Early Owners, 1878-1902; Date of Construction

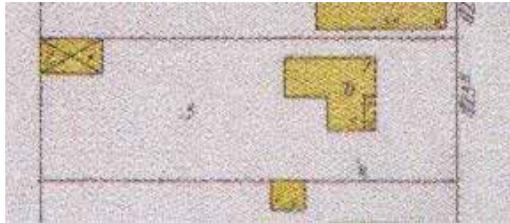
Louis Nawatny sold this property in 1879, just one year after he platted the town. Its owners before 1902 were Lucy Welch (ownership 1879-80), Caspar Baier (ownership 1880-84), Henry Cope (ownership 1884-91), and Meda Tavenner McNeff (ownership 1891-1902).

The Boulder County Assessor card for this property estimates 1900 as the year of construction, while the Boulder County Assessor's website gives 1920 as the date of construction. Construction dates given by the County for properties in Louisville sometimes have been found to be incorrect or inconsistent, so other evidence is looked to. Round number estimates such as "1900" and "1920" appear to often indicate that the exact year was not known by the owners in 1948 when Louisville buildings were being assessed. The original part of the house, which consisted of the front of the house and the north section of the rear, is believed to have been constructed no later than 1893, as the house appears on the 1893 Sanborn fire insurance map for Louisville, seen here:



In addition, the owner in 1880, Caspar Baier, is shown on the 1880 census as living with his family in the vicinity of the 900 block of Main Street, based on the names of residents listed as living nearby. For these reasons, the estimated date of construction is "circa 1880-1893."

The house is also on the 1900 Sanborn map, shown here:



The house appears in this way on the 1908 Sanborn map:



The 1909 map shows the house on Lot 3 in this way:



Doeffler/Helburg Family Ownership, 1902-1944

By 1902, Joseph Doeffler purchased this house, and it became the home for his family. The name is at times given as Deffler, Doerfler, or Derfler. Joseph Doeffler was born in Austria in 1844. He married Theresia Doeffler, who was born in Austria in 1847, in about 1866 and they came together to the U.S. in about 1870. Their children, Mary Magdelene (1874-1955), Joseph A. (1876-1961) and Frank (born 1878) were all born in Pennsylvania. The family came to Louisville by 1892.

Their son, Frank, became the proprietor of a Front Street saloon. Their daughter, Mary Magdalene Doeffler, married Victor Helburg, the Louisville town marshal who was killed in 1915.

Records indicate that Joseph Doeffler worked as a miner and that he died in about 1926. Theresia transferred ownership in 1928 to her daughter, Mary Helburg. It is believed

that the house may have been rented out in the 1930s and early 1940s. The 1943 directory indicates that the Bakarich family may have rented 921 Main at that time.

Mary Doeffler Helburg in 1939 transferred ownership to her daughter, Marie Helburg, who sold the house in 1944.

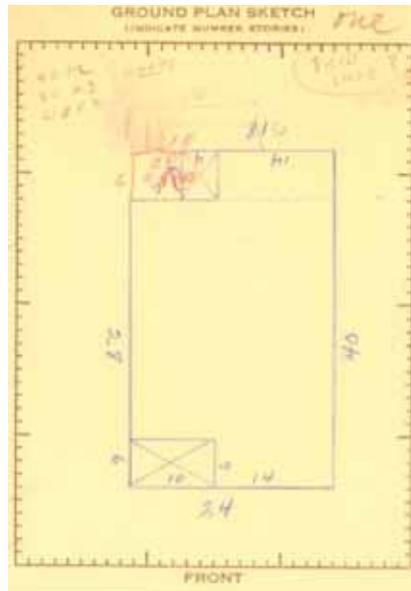
Lippis Family Ownership, 1944-1962

The Lippis family owned this house and lived here beginning in 1944. The family consisted of Berardino "Ben" and Mary Lippis and their children, Minnie, Frank, and Lorraine. Lorraine (1925-2007), as the youngest, in particular lived in this house with her parents.

Berardino "Ben" Lippis was born in Italy in 1884 and came to the U.S. in the early 1900s. Mary Lippis was born in Colorado in about 1887 to Italian-born parents. Like many other Italian families in the area, the Lippis family made wine. This was done in the cellar of the house. According to a Lippis descendant, the small building in the back of the lot was where six miners lived in bunks.

The following images are from the 1948 County Assessor card (under the address of 919 Main, but the legal description on the card indicates that this is what is today 921 Main):





The family of Lorraine Lippis donated photos of 921 Main to the Louisville Historical Museum. These are believed to mostly date from the 1940s. The first one probably dates from before 1945, as it shows a WWII star in the front window. The tree that appears in the photos (and in the 1948 County Assessor photo) is still there today. The photos show Lorraine and her parents with the house.





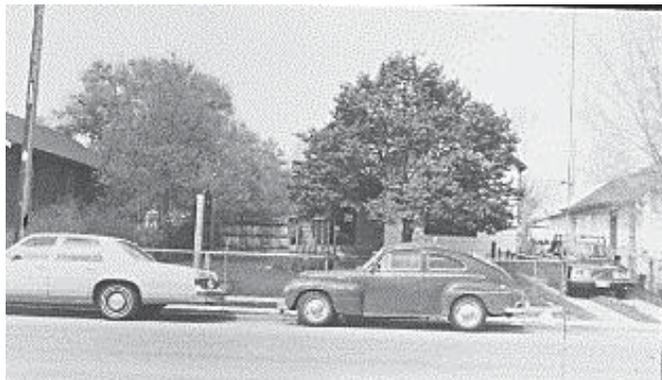


The following shows the most recent photo from the Lippis family. The date is unknown, but it likely was taken before the family sold the house in 1962.



Additional Photos

The following photo of 921 Main was taken in 1978:



This photo shows 921 Main in 1999:



This undated photo, likely from the 1970s or 1980s, also shows 921 Main:



Later Owners

Following the sale of the house by the Lippis family in 1962, the house had a number of other owners up to the present time. The owners included Dorothy and Eldva Shantz (1962-63); John and Alberta Roff (1963-1970); Thomas and Sharon Graffenberger (1970-1973); Edward and Joan Ladley (1973-74); David and Marcia Poss (1974-78); Lester Dennis Corporation and Kirk Badger (1978-82); Leonard Fazio (1982-83); Barbara Fazio (1983-84); Alec and Charlotte Shatz (1984-87); Michael Fukai (1987); James and Martha Lou Speier (1987-98); and Mona Handlos (1998).

Wendy Fickbohm Insurance Agency was listed in a 1985 directory as being located at 921 Main.

Patricia and Eric Tussey purchased 921 Main in 1998. The Tusseys used the building for their insurance business, Tussey & Associates. Today, the Louisville Wellness Center LLC is located in the building. Ownership was transferred to 921 Main LLC in 2016.

Sources

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, and related resources, and Louisville directories, newspaper articles, maps, files, obituary records, survey records, and historical photographs from the collection of the Louisville Historical Museum.

LOUISVILLE HISTORIC PRESERVATION COMMISSION

STAFF REPORT

November 21, 2016

ITEM: Case #2016-007-LANDMARK Landmark, Alteration Certificate and Preservation and Restoration Grant for 721 Grant Avenue (***Continued from 10/17/16***)

APPLICANT: Caleb and Katie Dickinson
721 Grant Avenue
Louisville, CO 80027

OWNER: Same

PROJECT INFORMATION:
ADDRESS: 721 Grant Avenue
LEGAL DESCRIPTION: Lot 4 and 5, Block 8, Pleasant Hill Addition
DATE OF CONSTRUCTION: circa 1893-1900

REQUEST: A request for an alteration certificate for 721 Grant Avenue.





721 Grant Avenue - 1909 as a hospital



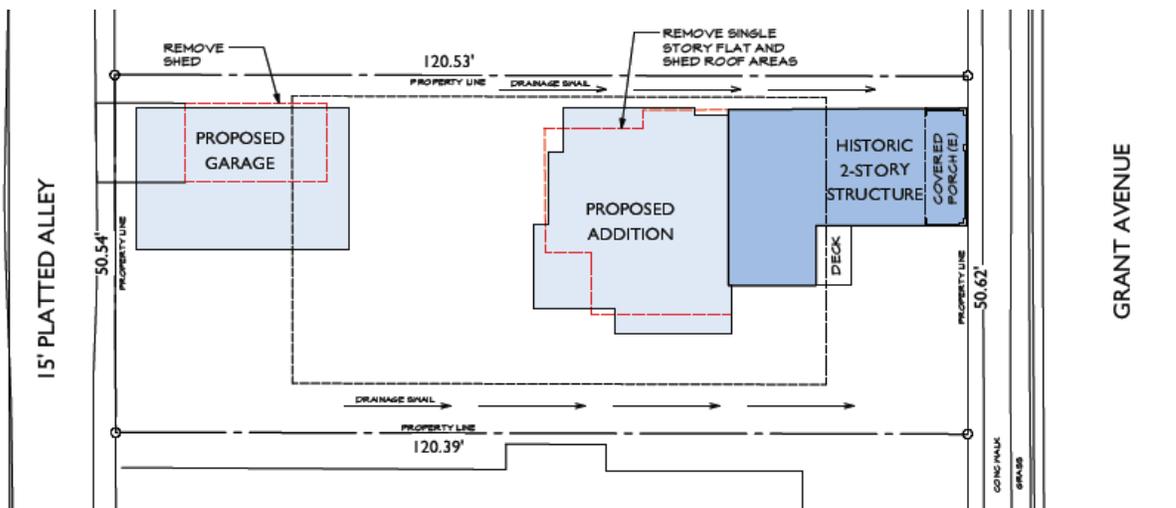
721 Grant Avenue Southeast – Current Photo

ALTERATION CERTIFICATE REQUEST:

At the Historic Preservation Commission meeting on October 17, 2016, the Historic Preservation Commission recommended approval of the landmark and grant request for 721 Grant Avenue. The Commission continued the alteration certificate so the applicant could present a design that further distinguishes the proposed addition from the existing structure. ~~The following~~ The applicant submitted the following changes, which are ~~were~~ submitted by the applicant and described in further detail below:

- The addition will be clad in vertical wood or fiber cement siding
- The addition will have full glass doors
- The windows will be clad with a flat trim surround
- The railings on the addition will be horizontal

The applicant is applying for an alteration certificate to allow for a new two-story addition for the west side of the existing house. The proposed new addition would replace the single story. The historic portion of the structure will be restored.



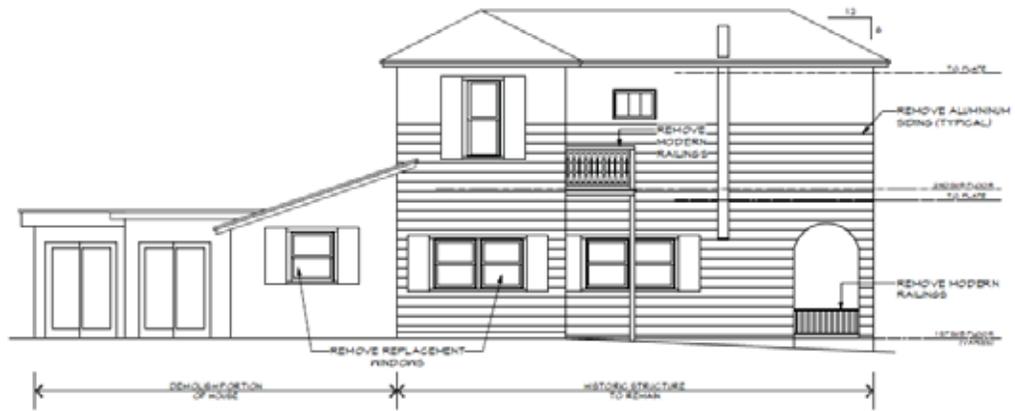
721 Grant Avenue – Proposed Site Plan



721 Grant Avenue – Proposed 3D Rendering (10/17/16)



721 Grant Avenue – Proposed 3D Rendering (11/21/16)



721 Grant Avenue South Elevation – Existing



721 Grant Avenue South Elevation – Proposed 10/17/16



721 Grant Avenue South Elevation – Proposed 11/21/16

The proposed two story addition is 23 feet in height and sits directly behind the existing structure. The proposed addition is the same height as the existing structure. The roof material is asphalt shingles and the siding is vertical wood or fiber cement. The structure includes an exterior spiral staircase which leads to a second-story deck. The

railing on new deck will be horizontal. The historic structure is connected to the addition by a two-story, flat-roofed hyphen clad also clad in vertical siding. The windows and doors on the addition are clad or fiberglass with flat trim. The proposed addition picks up elements of the early 20th century style associated with the historic structure while maintaining the integrity of the historic structure.

The proposal includes keeping a portion of the one-story shed roof on the south elevation and extending it to the south. The proposed flat roofed extension is slightly setback and clad in vertical siding. The proposed extension is visible on Grant Avenue.

The existing garage would be demolished and a new detached garage would be constructed.

The applicant is also requesting to modify the following on the existing structure:

- Remove aluminum siding and repair existing wood siding, if found, or replace with wood siding
- Remove replacement windows on the south elevation and replace with windows that match historic windows in proportion
- Replace second story window on south elevation in original opening
- Remove modern railings on front porch and deck
- Remove shutters
- Reroof structure with asphalt shingles
- Remove non-historic doors and replace with doors to match historic photos
- Restore original exterior door

Architectural Integrity

When the structure at 721 Grant Street was located on Main Street the two-story, hipped-roof commercial building had a simple rectangular form and large storefront window. After relocated the structure to Grant Street, two additions (one two-story hipped roofed, the other one-story, shed roofed) expanded the structure, creating an L-shaped form. The previous commercial storefront opens into a porch with three prominent arches. A second story porch is located on the south side. The vernacular building has Italianate decorative features.

The wood siding and decorative pilasters on the porch were removed after 1948. The window openings are original. The original Italianate lentils are either covered or lost. The board and batten shutters are not original. After the siding was replaced, a shed roofed enclosed porch was added on the rear of the building. Overall, 721 Grant has a strong architectural integrity.

Section 15.36.120 of the LMC gives the criteria for evaluating alteration certificates:

A. The commission shall issue an alteration certificate for any proposed work on a designated historical site or district only if the proposed work would not detrimentally alter, destroy or adversely affect any architectural or landscape feature which contributes to its original historical designation.

B. The commission must find the proposed alteration to be visually compatible with designated historic structures located on the property in terms of design,

finish, material, scale, mass and height. When the subject site is in an historic district, the commission must also find that the proposed alteration is visually compatible with characteristics that define the district. For the purposes of this chapter, the term "compatible" shall mean consistent with, harmonious with, or enhancing to the mixture of complementary architectural styles, either of the architecture of an individual structure or the character of the surrounding structures.

C. The commission will use the following criteria to determine compatibility:

- 1. The effect upon the general historical and architectural character of the structure and property.*
- 2. The architectural style, arrangement, texture, and material used on the existing and proposed structures and their relation and compatibility with other structures.*
- 3. The size of the structure, its setbacks, its site, location, and the appropriateness thereof, when compared to existing structures and the site.*
- 4. The compatibility of accessory structures and fences with the main structure on the site, and with other structures.*
- 5. The effects of the proposed work in creating, changing, destroying, or otherwise impacting the exterior architectural features of the structure upon which such work is done.*
- 6. The condition of existing improvements and whether they are a hazard to public health and safety.*
- 7. The effects of the proposed work upon the protection, enhancement, perpetuation and use of the property.*
- 8. The proposal's compliance with the following standards:*
 - a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
 - b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
 - c. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
 - d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
 - e. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

- f. Deteriorated historic features shall be repaired rather than replaced. When the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. In the replacement of missing features, every effort shall be made to substantiate the structure's historical features by documentary, physical, or pictorial evidence.*
- g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
- h. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
- i. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
- j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Staff finds the proposed changes and additions would maintain and enhance the historic character of the retained portion of the historic building because it is setback to rear of the lot and has a minimal visual impact from Grant Avenue (see Criterion C8b above). Staff finds that the proposed architectural features of the new addition further differentiate it from the historic structure (see Criterion C8i above). The siding, window details, door details, and railings are architectural features on the addition used to differentiate the old from the new.

RECOMMENDATION:

The proposed changes to the existing structure, and the proposed new construction, are both compatible with the historic character of the property and comply with the requirements of the LMC. Staff recommends approval of the alteration certificate request by approving Resolution No. 08, Series 2016.

SUPPORTING DOCUMENTATION AND INFORMATION:

Attached for your review are the following documents:

- Resolution No. 08, Series 2016
- Letter from Applicant
- Alteration Certificate Application
- Drawings (11/21/16)

- Drawings (10/17/16)
- Social History
- Staff report from 10/17/16

**RESOLUTION NO. 08
SERIES 2016**

**A RESOLUTION APPROVING AN ALTERATION CERTIFICATE FOR THE LOUISVILLE
HOSPITAL LOCATED AT 721 GRANT AVENUE FOR EXTERIOR ALTERATIONS AND A
REAR ADDITION**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) an application requesting an alteration certificate for a historic residential structure located at 721 Grant Avenue, known as the Louisville Hospital, on property legally described as Lot 4 and 5, Block 8, Pleasant Hill Addition, Town of Louisville, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the HPC have reviewed the application and found it to be in compliance with Chapter 15.36 of the Louisville Municipal Code, including Section 15.36.120, establishing criteria for alteration certificates; and

WHEREAS, the HPC has held a properly noticed public hearing on the proposed alteration certificate; and

WHEREAS, the proposed scope of work, outlined in the staff report on November 21, 2016, meets the criteria of Louisville Municipal Code Section 15.36.120 and are historically compatible and do not detract from the historic character of the structure; and

**NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION
COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:**

The application for an alteration certificate for the Louisville Hospital be approved as described in the staff report dated November 21, 2016.

PASSED AND ADOPTED this _____ day of _____, 2016.

Lynda Haley, Chairperson

To Whom it may concern,

The restoration and renovation of the Old Louisville Hospital at 721 Grant Ave is a considerable project. This home is roughly 126 years old and has the issues to prove it. It was built on Main Street in 1890 and moved to its current location in 1900. When it was relocated, it was apparently placed on concrete and dirt. There was no foundation poured, no footers and no crawl space. Over the years, the house has dropped in the Southeast corner a significant amount. The interior floors and walls show the extreme movement of that corner. For instance, the floor in the upstairs hallway has a 6 inch drop over a 4 foot span. For this house to be saved and remain standing for another 100 years, there are several things that need to happen.

The home must first be lifted off of the ground or otherwise shored by house movers. Once, lifted and leveled, an excavation team needs to dig underneath the house and retrofit a full foundation that the house can be placed back on when it is completed. There will also be new grading around the home to ensure proper drainage in the future. After the foundation is in place and the house is reset, many repairs including walls, window frames, door frames, floors and ceilings will need to take place. This is an absolutely extraordinary process to undertake. The end result of all of this work will be nearly unnoticeable to the untrained eye. There are several people who have asked me why on earth we would do all of that. The easier and cheaper solution would be to level the home and start over.

This building is simply too important to the history of Louisville to scrape it. It was the post office, the hospital, the home of the Black Diamond newspaper and more. We want this building to exist for the next 100 years. We are prepared to go to great lengths on our part to see this building respected and preserved. The amount of money that we will be putting into this project and the amount of time that we will be displaced during the process is certainly extraordinary and so too is our request for financial assistance from the Historic Preservation Commission.

On top of the extraordinary foundation and leveling work that needs to be done, we are excited to restore the façade to its original look. Taking off all of the aluminum siding to expose the original wood siding is a crucial step in this process. The old siding will need to be repaired, painted and maintained over the coming decades. The newer, wide windows will be replaced with taller, thinner windows to match the look of the original construction. These windows, like the original windows, will be made of wood, which is more expensive and requires more maintenance over time. The modern front door will be replaced with a door that fits the original look as well. The front porch railings and arches will be brought back to the original style, including columns seen in the historic pictures. Additionally, the deck off of the upstairs bedroom, which is in very poor condition, will be removed and replaced in the same spirit as the rest of the work, so that it lasts for decades and looks like the original deck. And finally, the roofing, shingling and gutters will be repaired, reinforced and replaced to protect the home from above and get the water draining away from the foundation properly.

All told, we believe this is one of the most ambitious restoration projects on one of the most significant buildings in our town. For those two reasons, this project requires an extraordinary commitment from the home owner and from the Historic Preservation Fund.

Thank you for your consideration of this grant request. We look forward to partnering with the Commission in this important preservation project.

Caleb and Katie Dickinson



Alteration Certificate Application

(7/15)

DATE: Sept. 20 2016

Property Address: 721 Grant Ave.

Legal Description (Lot Number, Block Number, and Subdivision):

Lots 4-5, Block 8, Pleasant Hill

Property Name (Landmarked Name, if known):

APPLICANT INFORMATION

Name: Caleb & Katie Dickinson

Address: 721 Grant Ave

Phone: 303-495-8219

Email calebdickinson@gmail.com

Relationship to Owner: owner

OWNER INFORMATION

Name: SAME AS ABOVE

Address: _____

Phone: _____

PROJECT DESCRIPTION (please attach a separate sheet)

Include the following information:

- Site and floor plan drawings showing all proposed exterior alterations
- Specifications describing all proposed exterior alterations
- Elevation drawings including materials, architectural design, and detail.
(Photos of examples are encouraged)

While plans do not need to be professionally done, they must be sufficiently detailed to determine if the project meets the criteria. The Historic Preservation Commission may ask for additional information as the Commission feels necessary.

PHOTOS

Please include current photos of EACH ELEVATION of EACH BUILDING and STRUCTURE on the property.

FOR OFFICE USE ONLY

Date Filed _____

Application Number _____

Date of HPC Sub. Review _____

No Significant Impact

Referred to HPC

HPC Public Hearing Date _____

Approved

Denied

Date Alteration Certificate Released _____

Historic Preservation Commission

Lauren Trice, Planner 749 Main Street Louisville CO 80027

303.335.4594

laurent@louisvilleco.gov

www.louisvilleco.gov

Alteration Certificate Process

- 1) Applicant completes an application for an Alteration Certificate including plans and specifications showing all proposed exterior alterations, including their proposed exterior appearance, with texture, materials, and architectural design and detail.
- 2) Applicant submits application for an Alteration Certificate to Lauren Trice, Planner.
- 3) Application Processed by Staff for Historic Preservation Commission including reviewing application and preparing a staff memo to the Historic Preservation Commission
- 4) A staff person and two (2) randomly selected members of the Commission shall review all applications for landmark alteration certificates for alterations to buildings or special features and shall determine within seven (7) days after a complete application is filed whether or not the proposed work would have a significant impact upon or be potentially detrimental to a landmark site or historic district.
 - A) *No significant impact* - If it is determined by both Commission designees that there would be no significant impact or potential detriment, the City shall issue a landmark alteration certificate to the applicant and shall notify the Commission of such issuance.
 - B) *Commission referral*. If one of the Commission designees determines that the proposed work would create a significant impact or potential detriment, they shall refer the application to the Commission for a public meeting and begin the legal notification process:
 - Meet legal notification process
 - 15 days notice of Commission public hearing in newspaper
 - Notice by mail to applicant and/or owner of property
- 6) Historic Preservation Commission holds public hearing no more than 60 days after application submitted. Commission approves or denies request.
- 7) Applicant may appeal decision to the City Council.

Questions? Please contact Lauren Trice, Planner, at 303-335-4594 or laurent@louisvilleco.gov.

HISTORIC STRUCTURE

- REMOVE ALUMN SIDING. REPAIR HISTORIC WOOD SIDING & TRIM.
- REMOVE NON-HISTORIC RAILING-NEW RAILING TO MATCH HISTORIC PHOTOS.
- NEW ASPHALT SHINGLE ROOFING.
- REMOVE NON-HISTORIC DOORS, REPLACE WITH DOORS TO MATCH HISTORIC PHOTOS.
- RESTORE ORIGINAL EXTERIOR DOOR.



HISTORIC IMAGE
NTS

PROPOSED EAST ELEVATION
1/8"=1'-0"

HISTORIC STRUCTURE

- REMOVE ALUMN SIDING. REPAIR HISTORIC WOOD SIDING & TRIM.
- REMOVE NON-HISTORIC RAILING-NEW RAILING TO MATCH HISTORIC PHOTOS.
- NEW ASPHALT SHINGLE ROOFING.
- REMOVE NON-HISTORIC WINDOWS, NEW WINDOWS OF PROPER PORPORTION.
- NEW WINDOW IN ORIGINAL OPENING.



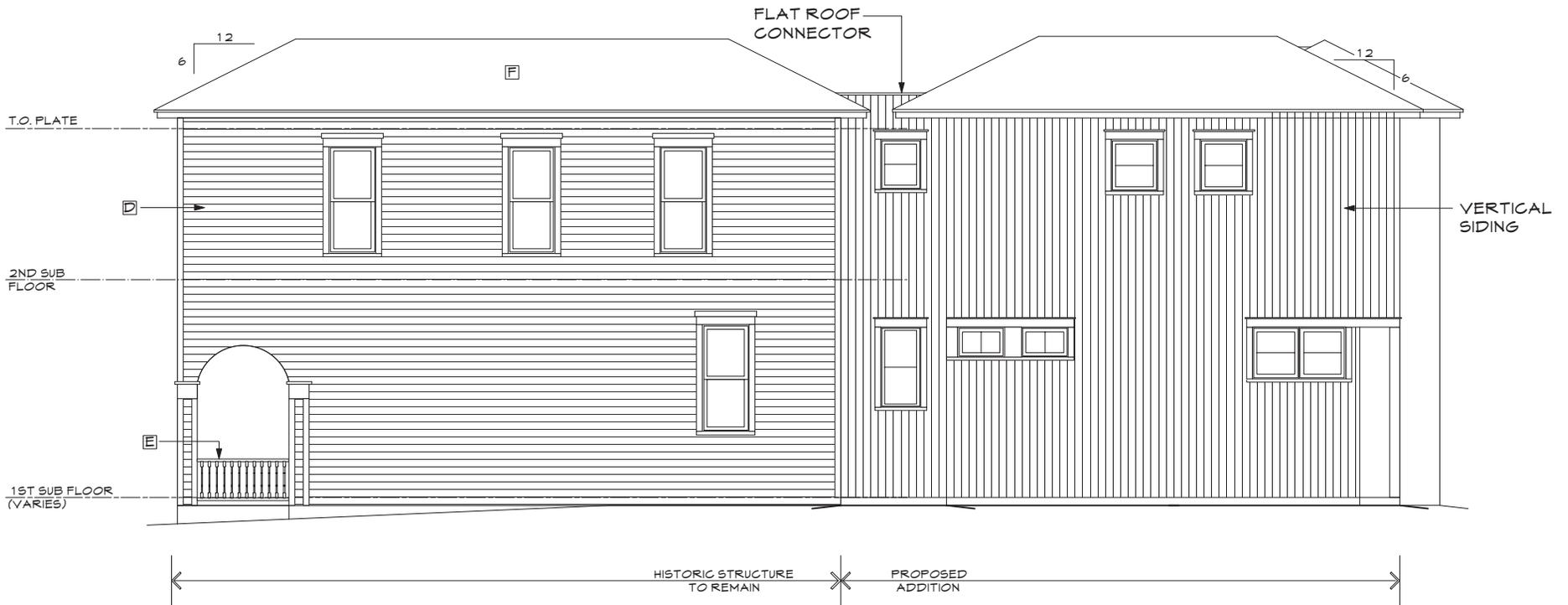
PROPOSED SOUTH ELEVATION
1/8"=1'-0"



PROPOSED WEST ELEVATION
 1/8"=1'-0"

HISTORIC STRUCTURE

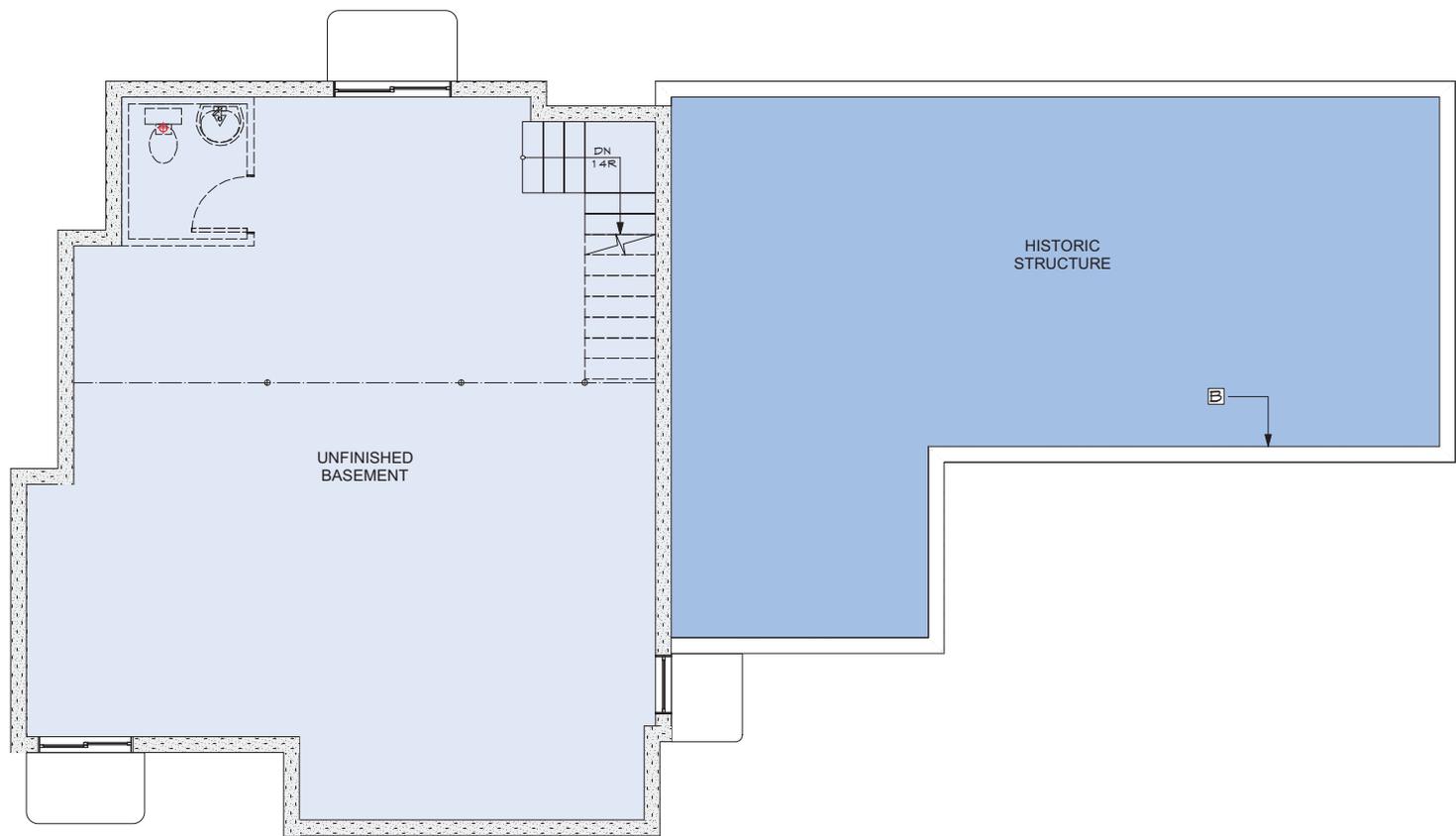
- REMOVE ALUMN SIDING. REPAIR HISTORIC WOOD SIDING & TRIM.
- REMOVE NON-HISTORIC RAILING-NEW RAILING TO MATCH HISTORIC PHOTOS.
- NEW ASPHALT SHINGLE ROOFING.



PROPOSED NORTH ELEVATION
1/8"=1'-0"

HISTORIC STRUCTURE
 [E] EXCAVATION AND NEW FOUNDATION WORK.

← PROPOSED ADDITION | HISTORIC STRUCTURE TO REMAIN →

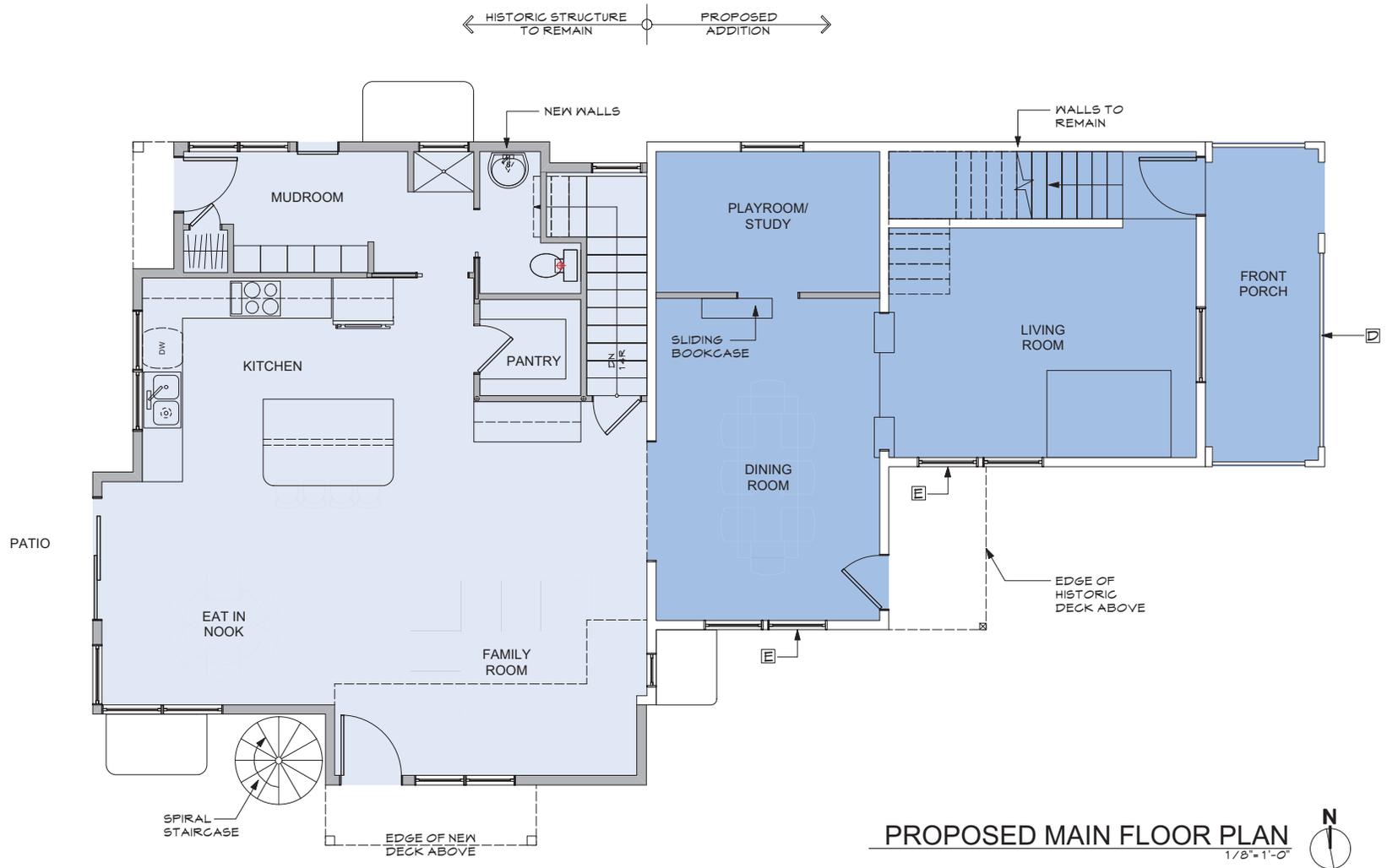


PROPOSED BASEMENT FLOOR PLAN
 1/8" = 1'-0"



HISTORIC STRUCTURE

- REMOVE NON-HISTORIC RAILING-NEW RAILING TO MATCH HISTORIC PHOTOS.
- REMOVE NON-HISTORIC WINDOWS, NEW WINDOWS OF PROPER PORPORTION.



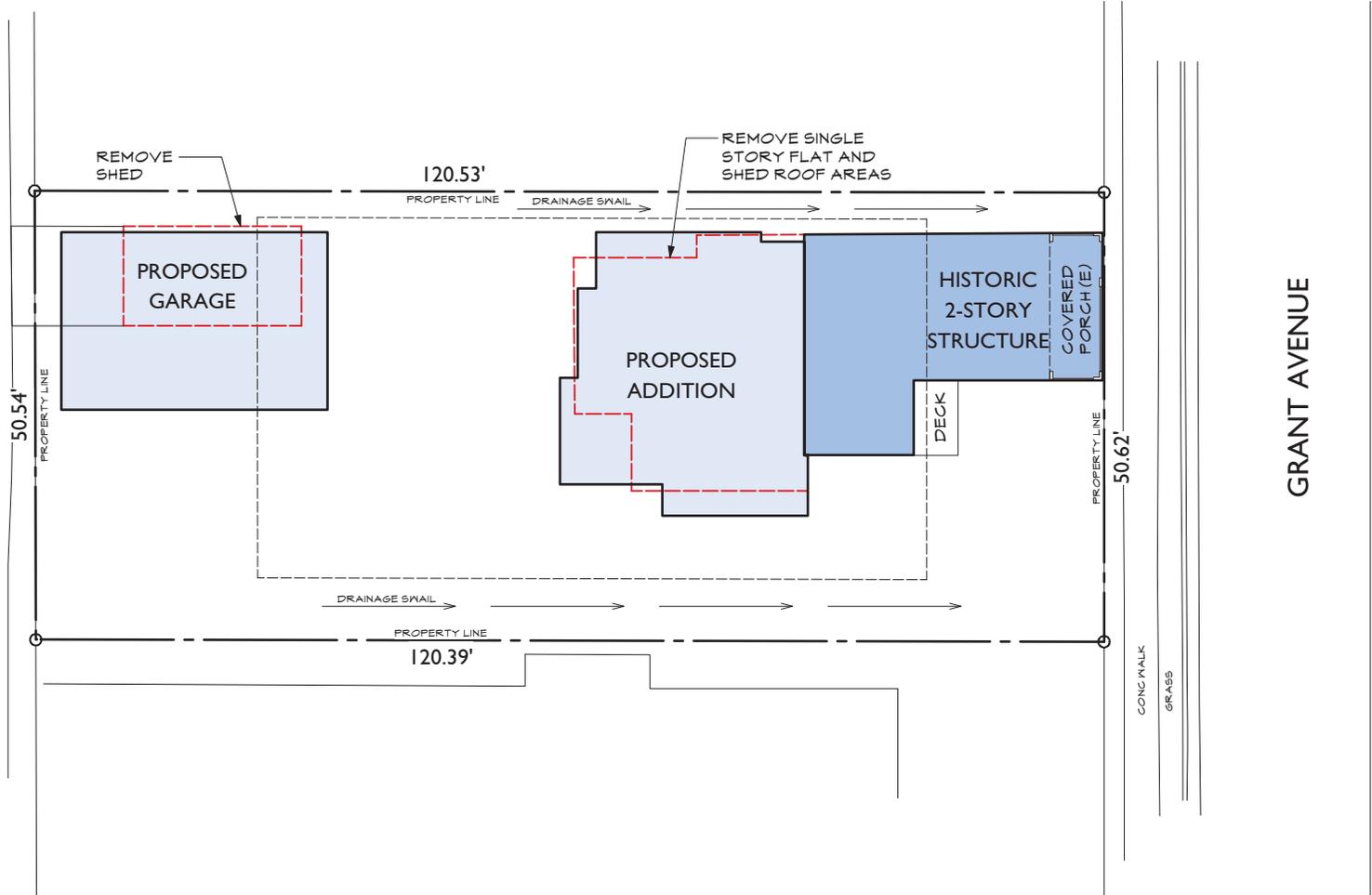
PROPOSED MAIN FLOOR PLAN
1/8"=1'-0"





PROPOSED 3-D RENDERING
NTS

15' PLATTED ALLEY



GRANT AVENUE

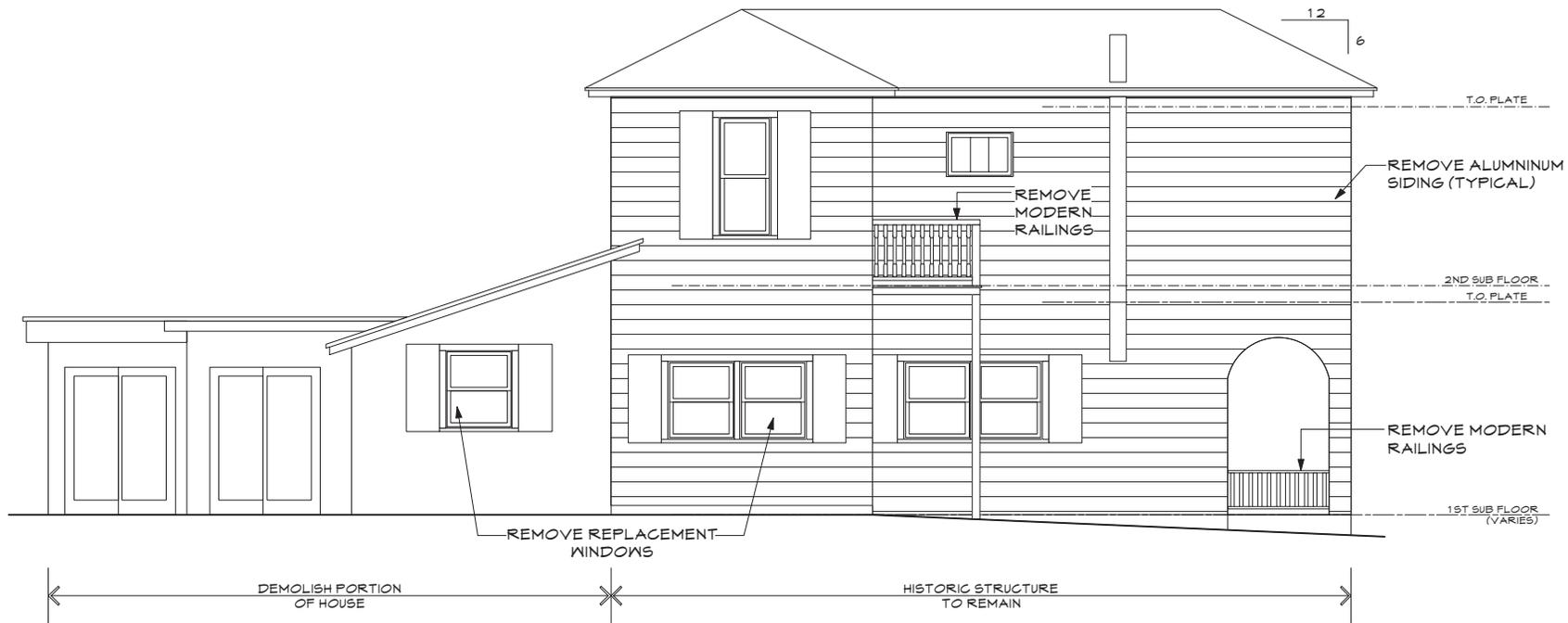
PROPOSED SITE PLAN

1"=20'-0"





EXISTING EAST ELEVATION
 1/8"=1'-0"



EXISTING SOUTH ELEVATION
 1/8"=1'-0"



EXISTING WEST ELEVATION
 1/8" = 1'-0"



EXISTING NORTH ELEVATION
 1/8" = 1'-0"

HISTORIC STRUCTURE

- REMOVE ALUMN SIDING. REPAIR HISTORIC WOOD SIDING & TRIM.
- REMOVE NON-HISTORIC RAILING-NEW RAILING TO MATCH HISTORIC PHOTOS.
- NEW ASPHALT SHINGLE ROOFING.
- REMOVE NON-HISTORIC DOORS, REPLACE WITH DOORS TO MATCH HISTORIC PHOTOS.
- RESTORE ORIGINAL EXTERIOR DOOR.



HISTORIC IMAGE
NTS



PROPOSED EAST ELEVATION
1/8"=1'-0"

ADDITION

ASPHALT SHINGLE ROOF.

FIBER CEMENT SIDING & PANELS.

PROPORTIONAL WINDOWS.

HISTORIC STRUCTURE

- REMOVE ALUMN SIDING. REPAIR HISTORIC WOOD SIDING & TRIM.
- REMOVE NON-HISTORIC RAILING-NEW RAILING TO MATCH HISTORIC PHOTOS.
- NEW ASPHALT SHINGLE ROOFING.
- REMOVE NON-HISTORIC WINDOWS, NEW WINDOWS OF PROPER PROPORTION.
- NEW WINDOW IN ORIGINAL OPENING.



PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

ADDITION
ASPHALT SHINGLE ROOF.
FIBER CEMENT SIDING & PANELS.
PROPORTIONAL WINDOWS.



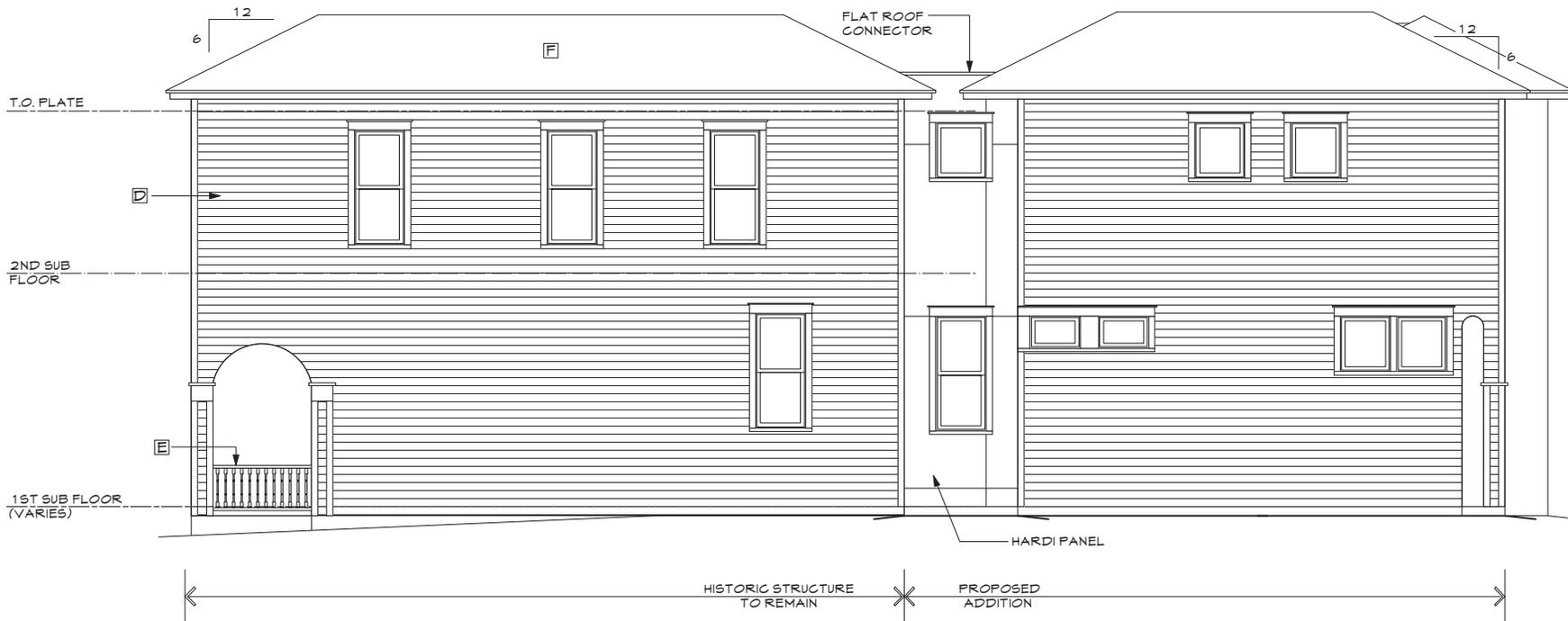
PROPOSED WEST ELEVATION
1/8" = 1'-0"

HISTORIC STRUCTURE

- REMOVE ALUMN SIDING. REPAIR HISTORIC WOOD SIDING & TRIM.
- REMOVE NON-HISTORIC RAILING-NEW RAILING TO MATCH HISTORIC PHOTOS.
- NEW ASPHALT SHINGLE ROOFING.

ADDITION

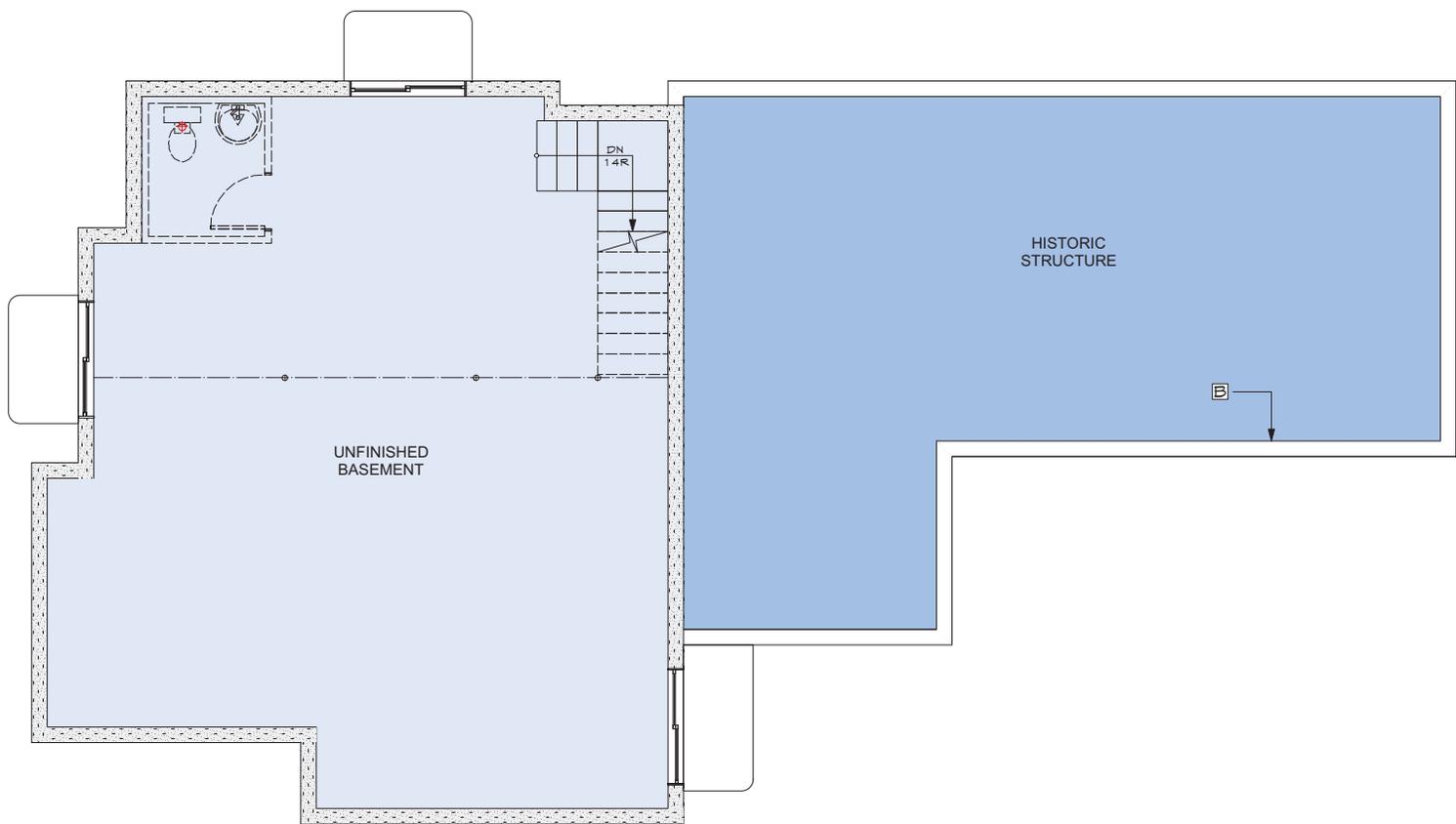
- ASPHALT SHINGLE ROOF.
- FIBER CEMENT SIDING & PANELS.
- PROPORTIONAL WINDOWS.



PROPOSED NORTH ELEVATION
1/8" = 1'-0"

HISTORIC STRUCTURE
[B] EXCAVATION AND NEW FOUNDATION WORK.

← PROPOSED ADDITION | HISTORIC STRUCTURE TO REMAIN →



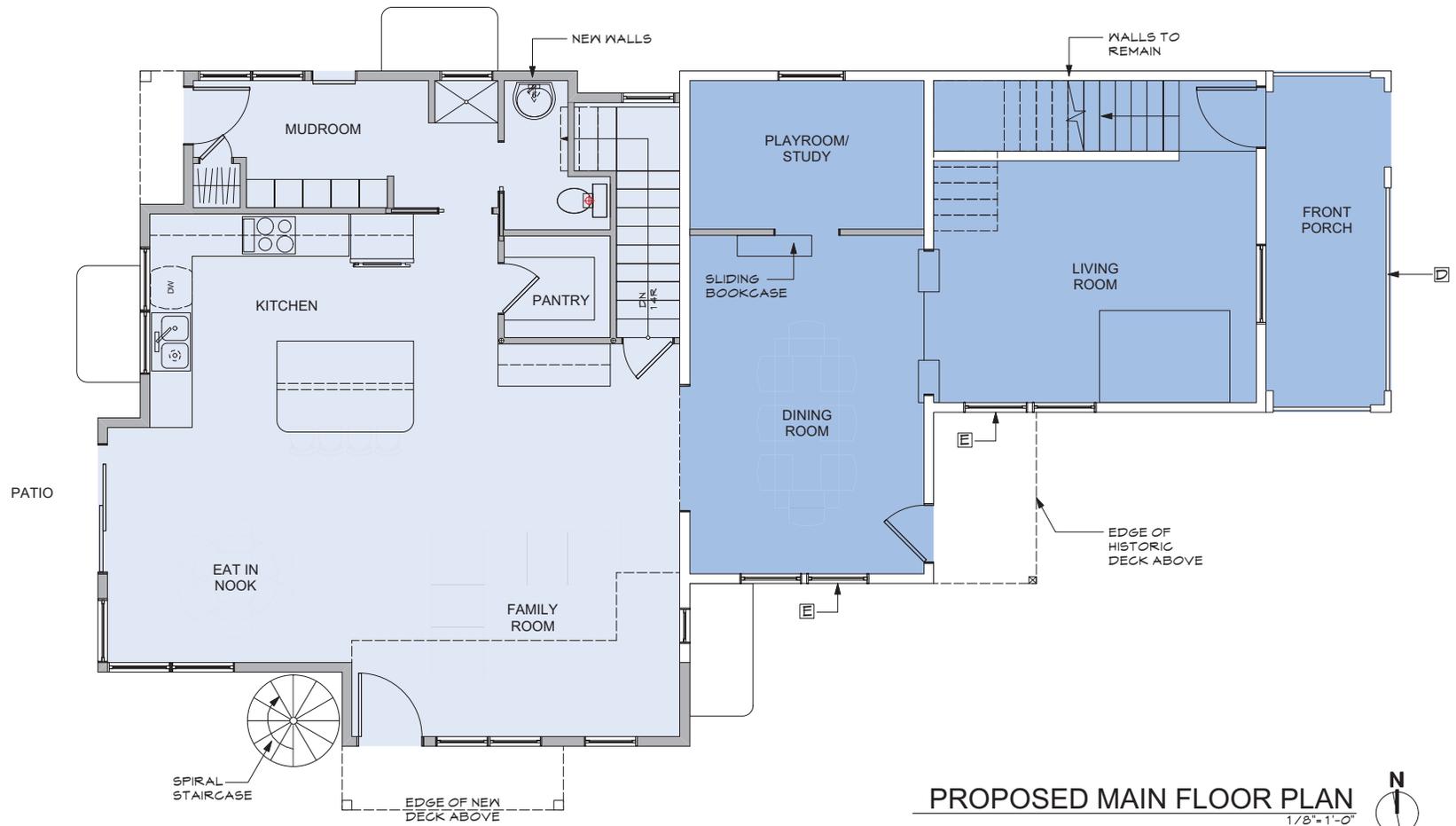
PROPOSED BASEMENT FLOOR PLAN
1/8" = 1'-0"



HISTORIC STRUCTURE

- REMOVE NON-HISTORIC RAILING-NEW RAILING TO MATCH HISTORIC PHOTOS.
- REMOVE NON-HISTORIC WINDOWS, NEW WINDOWS OF PROPER PORPORTION.

← HISTORIC STRUCTURE TO REMAIN PROPOSED ADDITION →

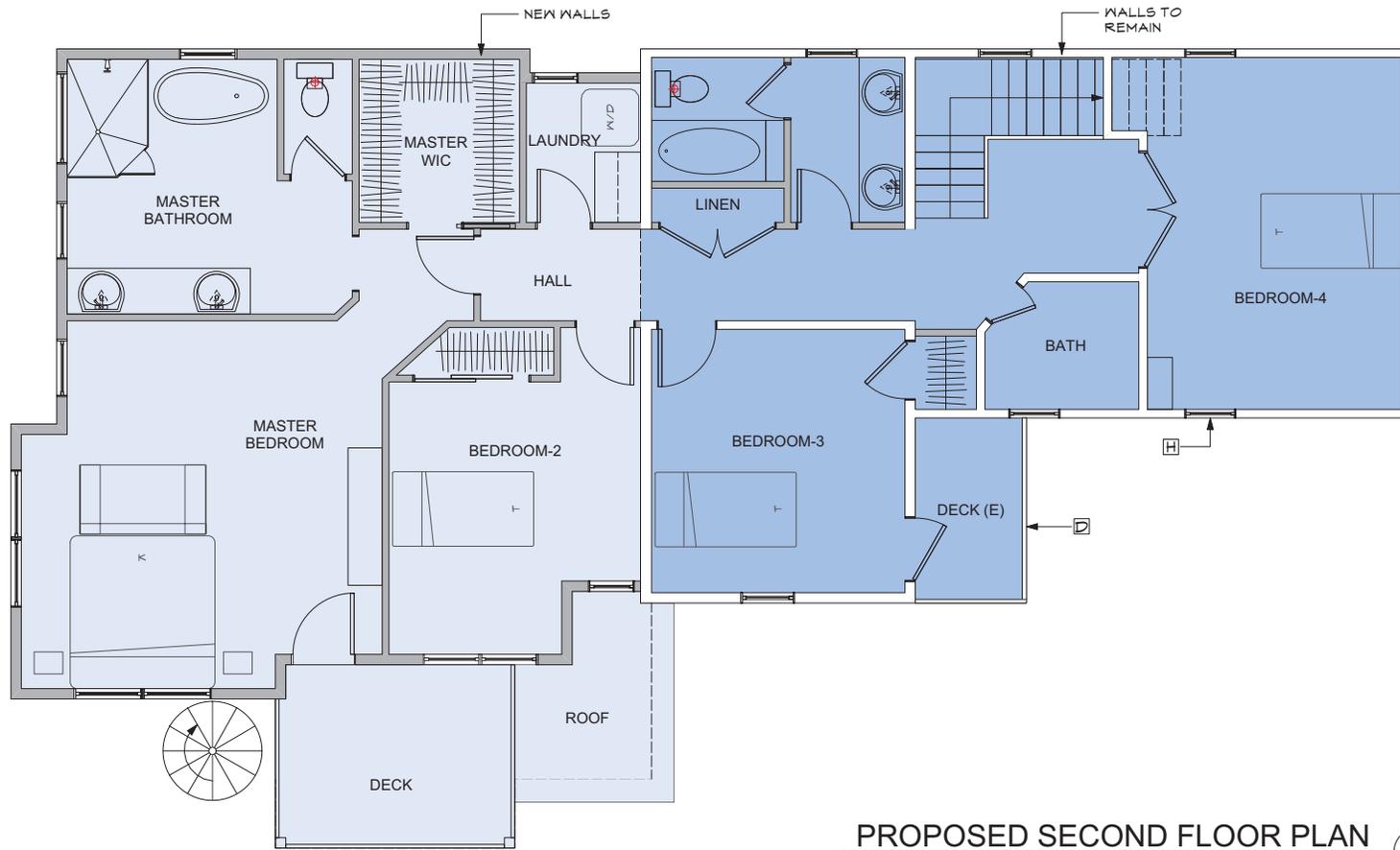


PROPOSED MAIN FLOOR PLAN
1/8" = 1'-0"



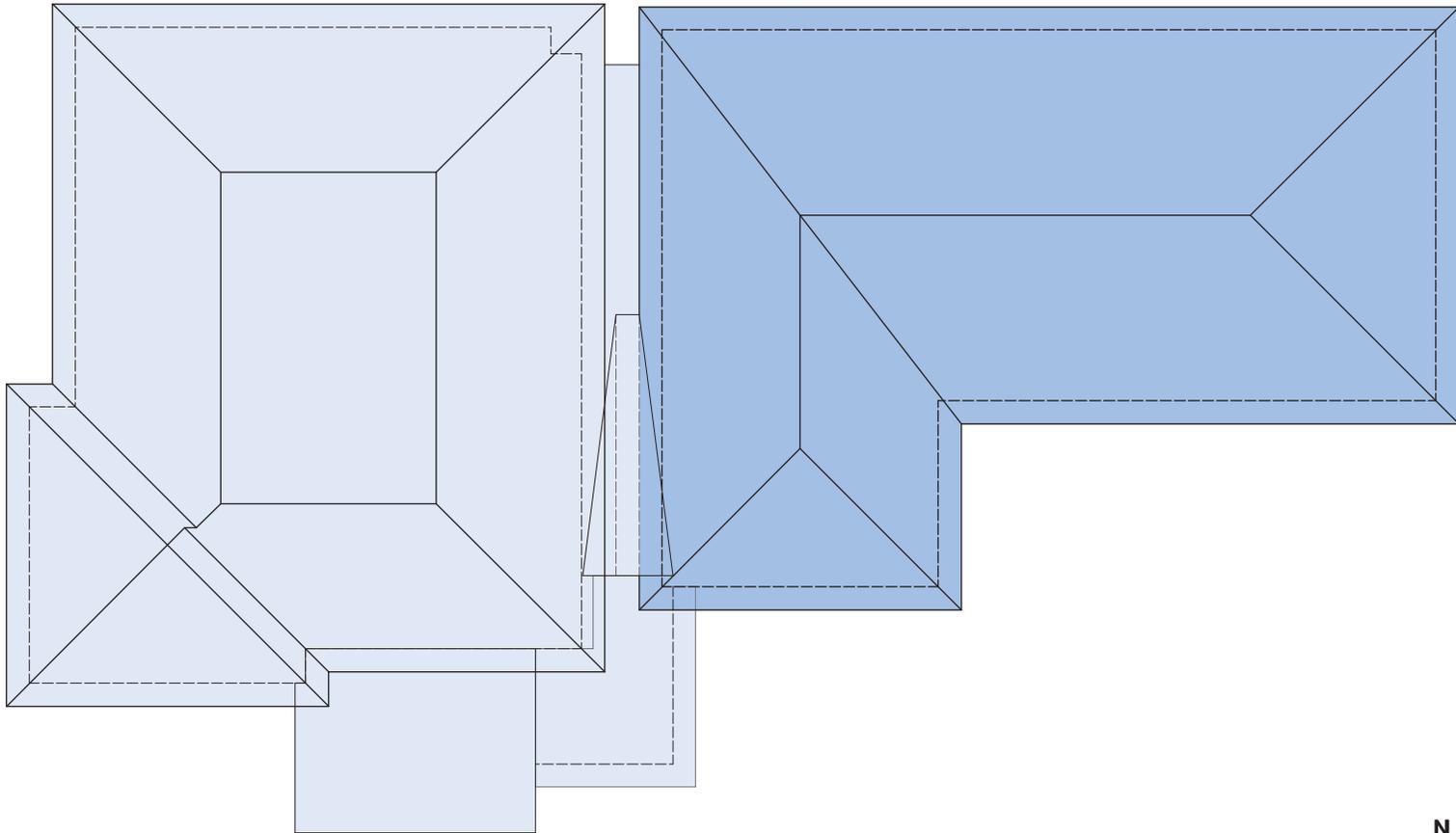
HISTORIC STRUCTURE

- REMOVE NON-HISTORIC RAILING-NEW RAILING TO MATCH HISTORIC PHOTOS.
- NEW WINDOW IN ORIGINAL OPENING.



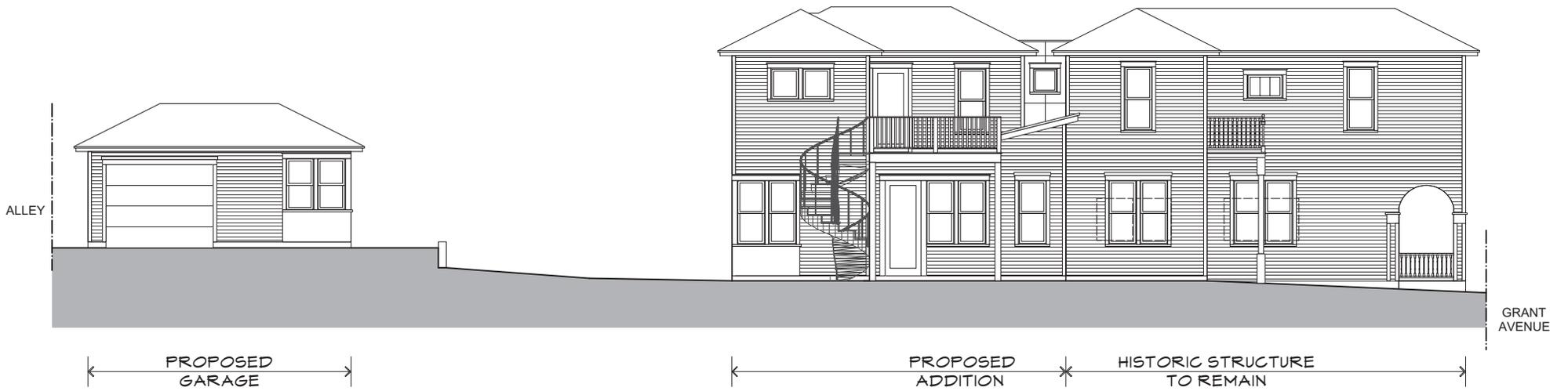
PROPOSED SECOND FLOOR PLAN
1/8" = 1'-0"





PROPOSED ROOF PLAN
1/8" = 1'-0"





SOUTH SITE ELEVATION
NTS



PROPOSED 3-D RENDERING
NTS



721 Grant Ave. History

Legal Description: Lots 4 and 5, Block 8, Pleasant Hill Addition

Year of Construction: circa 1893-1900

Architect/Builder: Dr. Charles Wolfer had the building constructed on Main Street. The architect is unknown.

Previous address used to refer to this property: 252 Grant; 224 Grant; 234 Grant; 230 Grant. These addresses were used for the property at different times under Louisville's old numbering system, which changed to the current system in the late 1930s.

Summary: The house at 721 Grant is important to Louisville history for a number of reasons: it is one of the many buildings that historically were relocated from one site to another site in the Louisville area, and had an earlier life as a Main Street business and the Louisville Post Office; it was reportedly the location of Louisville's newspaper office; it was used as a hospital operated by the United Mine Workers for area miners (and according to a 1985 survey of the property, "is the one remaining union associated building in Louisville"); and it is believed to have used for elementary school classes prior to becoming a private residence, which it has been for approximately the last ninety years. For many of those years, it was the home of Harry and Doris Jenkins and their six children.

Earliest History as Business Building on Main Street

Many of Louisville's relocated buildings historically came from mine camps at the points when those particular mines were closing, allowing people to acquire prebuilt homes and move them onto their property. However, some buildings were moved for simple reasons of convenience. It appears to have been for reasons of convenience that this building was moved.

The building was originally built on the site of today's 801 Main, which is the location of the State Mercantile Building. This was then the location of the home of Dr. Charles Wolfer and Flora Wolfer and their family. Based on an examination of Sanborn maps from 1893 and 1900, it was between 1893 and

1900 that this two-story structure was added to the right, or north, side of the Wolfer house. Moreover, Historical Museum records show that in December 1894, Wolfer became the Louisville Postmaster. This building next to the Wolfer home was used as the Post Office, although it could have been constructed before it started to have this usage.

Boulder County gives 1900 as the year of construction, but has frequently been found to be in error with respect to dates of construction of Louisville properties. The 1985 architectural survey report gives an estimated construction date of 1890-1900. "Circa 1893-1900" would seem to be the most accurate estimated construction date based on the foregoing evidence from the Sanborn maps.

The following photos show the Wolfer home on the left, and the Post Office building on the right, while these buildings were still located at the northwest corner of Main and Spruce:





Building Moved to Grant Ave.

Meanwhile, the Miners Trading Company, a large brick building used for a general merchandise store at the northwest corner of Pine and Main, was a victim of mining subsidence and it experienced heavy damage in the early 1900s, and was eventually condemned and demolished.

The operators of this store reportedly asked Dr. Wolfer, who was not only a mine company doctor but was also a real estate developer, to build a large store on his property at the corner of Main and Spruce. Wolfer did so, leading to the construction of the State Mercantile Building that still stands on the site today at 801 Main Street. But first, the existing buildings on the site had to be relocated. By all accounts, this happened in 1905. Wolfer purchased the property at what is today the site of the Chamber of Commerce at 901 Main and moved the one-story Wolfer home (in which he also had his medical offices) to that location. The family moved there and the building was later torn down. In addition, Clarence W. Brown purchased from Wolfer the two-story building located at Main and Spruce and moved it to Grant Avenue, onto property at 721 Grant that Brown purchased in 1904 from Orrin Welch.¹

Clarence W. Brown was a newspaper editor who came to Louisville from Kansas in 1901, bringing with him newspaper equipment and a press. He started the Louisville-based weekly newspaper called *The Black Diamond World* that was reportedly in operation between 1901 and 1909.

According to a handwritten account by a Wolfer daughter, Nelle Wolfer Willis (1890-1976) about 721 Grant:

Our home was on the corner of Main & Spruce. This two story building was part of it (On North). The Post Office was in the Ground Floor & my Dad was postmaster. To enter the Post Office we went thru a screened porch off the kitchen on the North side. There were sleeping rooms upstairs for us four girls. The stairway went up from Dad & Mother's

¹ Orrin Welch platted the Pleasant Hill Addition in which 721 Grant is located in 1894. He was the half brother of Charles C. Welch, who had been the primary person responsible for the founding of Louisville in 1878.

bedroom. . . . After his term as Postmaster expired Mr. Buchheit² had an Undertaking Parlor in there for a short time before they moved to Boulder. . . . Then the "Black Diamond World" moved into the building. I think Clarence Brown . . . was Editor.

Nelle Wolfer Willis's written account went on to confirm that the Post Office building was moved to Grant Avenue and became the hospital.

Brown used the relocated business building at 721 Grant to publish *The Black Diamond World*.

In 1906, Anson Rudd purchased the property at 721 Grant and continued to operate the newspaper. Nelle Wolfer Willis wrote, referring to the newspaper being at 721 Grant, "While in this building Anson Rudd was editor."

Building Used as Hospital

Next, the building entered another phase, which was to be operated by the Union Labor Hospital Association as a hospital for miners. Property records indicate that during this time, it was still owned by newspaper editor Anson Rudd. The following photos show the hospital located at 721 Grant in 1909. Although there is an open area at the front where windows used to be, the basic structure of the front and the placement of the first floor openings and the windows resemble those of the building as it looked when it was on Main Street. The sections of the building at the left rear are believed to have been added after the move.



² Frank Buchheit became an undertaker in Boulder, and in 1904, with six others, formed the Boulder Cemetery Association and started Boulder's Green Mountain Cemetery.



The following advertisement is from the March 5, 1909 *Louisville News* and includes a claim of an X-ray machine along with the statement that the hospital has “the best operating room in Boulder Co”:



All three of these photos of the hospital were taken in 1909, and the Louisville directory for 1910 lists the hospital as a “Miners Hospital” with Dr. “Solominski” as superintendent.

The two doctors in the three photos above have been identified as Dr. Slominski and Dr. Ingram, and the three nurses have been identified as Louisville residents Sarah Hoffmire Sullivan, Mima Hilton, and Nora Moffitt. The identities of the others are unknown. Warsaw-born Dr. Ladislaus Slominski (1852-1926), shown in the photos, was the founder and chief of the Union Labor Hospital Association. This was a national association with the stated goal of building hospitals for members of labor unions. Records indicate that at the time, he was based in Denver, which he had chosen for the national headquarters of the Union Labor Hospital Association. According to the March 18, 1908 *Denver Rocky Mountain News*, this association was formed as a not-for-profit corporation in Denver that year. According to the March 11, 1908 issue of the same newspaper, the plan was for the hospital association to serve union members and to also provide training for nurses “who are to be, as far as possible, daughters of union men.”

Conclusive information as to exactly when the hospital was located in the building has not been found. Nelle Wolfer Willis described it as “a short time.” Author Carolyn Conarroe, in her book *The Louisville Story*, noted that the building was moved and indicated that it was a hospital from “from about 1905

until at least 1909." It is now believed that the building was probably being used to operate *The Black Diamond World* newspaper in 1905-1908, however. Also, since the Union Labor Hospital Association was not established in Colorado until 1908, it seems unlikely that the hospital in Louisville could have been established earlier than 1908. The only years for which specific evidence has been found of the hospital's operation are 1909 and 1910 (based on the above-mentioned 1909 photos and the directory listing of 1910). More research might uncover the exact months and years in which the hospital was in operation.

It is extremely likely that the miners' strike of 1910-1914 in the Northern Coal Fields of Colorado brought to an end the building's use as a hospital. Beginning in 1910, the union would no longer have been assisting working miners who needed medical care; it was instead leading a strike to encourage working miners to stop working so as to put pressure on the mine companies.

A later owner who purchased the property in 1985 stated her belief that the second floor had been used as an open hospital ward.

Building Used as Residence

Property records show that in 1913, Anson Rudd turned the property at 721 Grant over to the Louisville Bank. By 1921, it was transferred to Ruth Hopkins and it began to be used as single family residence. The 1920 census shows that the Hopkins family was already living on Grant near Spruce at that time, probably at this location because it is indicated that they owned the house, and they did not own any other Louisville property. The household consisted of Ruth Hopkins, age 48; her husband, Owen Hopkins, who was 56 and a mining engineer from Wales; their daughter, Mary, 19; their son, James, 15; Owen's brother-in-law, John Jones, 65; and Owen's sister, Anna Jones, 61. The 1921 directory for Louisville also shows the Hopkins family to be living here.

The following photo of the house shows a woman and child. It may have been taken at around this time, but is undated:



In 1923, Ruth Hopkins sold 721 Grant to Cleora Malaby, a widow. Her husband, Samuel Malaby, died the same year. She was born in Wisconsin in 1864, and records indicate that she lived at 721 Grant for nine years, until she sold the house in 1932. She previously worked as a nurse, but at the time of the 1930 census, which shows her living at this location on Grant, her profession was "seamstress," and directories state that she was a librarian at the Louisville Public Library. Cleora Malaby was active in Women of Woodcraft and in the drill team for the Security Benefit Association. Cleora Malaby died in 1935. The following photo shows Malaby outside 721 Grant:



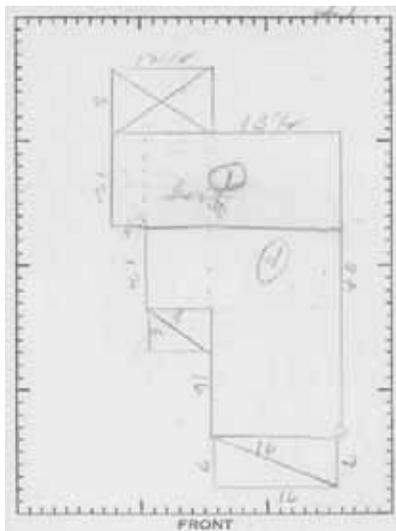
In 1932, Cleora Malaby sold 721 Grant to Doris Jenkins. It would end up being the Harry and Doris Jenkins home for 37 years.

Harry Jenkins (1887-1968) was born in Louisville to Thomas and Jemima Jenkins. In 1920, after the death of his first wife in 1920, he married Doris Manchester (1891-1965). They raised six children at 721 Grant, including two sets of twins. Their children were Marjorie, Mildred, LaVerne, Harry Jr., Nellie, and Nettie. The following photo shows Harry and Doris Jenkins:



Harry Jenkins worked as a miner (starting at the age of 13), as a truck driver, and as a custodian for the Louisville grade school that was located near this house at what is today Memory Square Park. He was also chief of the fire department for a time.

The following photo and ground layout sketch are from the 1948 County Assessor card for the property:



Handwriting on the 1948 card states that the house "Was old PO moved onto lot here."

In 1969, following the death of Harry Jenkins, the house was sold to George and Margaret Roche, then Thomas and Joanne Stevenson; Sherrill and Lani Chalk; Tommy and Vickie Culp; and then to Michael and Mary Jenkins. In 1985, it was purchased by Connie and James Green, and the Green family owned it until 2010. In 2004, the home was one of five homes on the Louisville Holiday Home Tour. The owners since 2010 are James Caleb and Katherine Dickinson.

In 1985, 721 Grant was one of a number of buildings in Louisville surveyed for the Colorado Historical Society. The report stated that the building was moved from Front or Main Street and that it had been a printing office, hospital, and site of elementary school classes, and noted: "This is one structure

associated with the union movement in Louisville that reached its peak of power by 1914. . . . It is the one remaining union associated building in Louisville.”

The 1985 survey report gave the following architectural description: “This frame structure has two stories with an Italianate Vernacular Façade. The foundation is concrete with a stairstep footprint. The windows and doors are in their original location but are not original. The roofs are hipped and gabled with minor cornice trim. The two rear additions have shed roofs. The landscaping is heavy with many large trees.” The report also noted that there were two back additions, one being a porch, and that the “shed roof over the patio added at a more recent time (after siding added).”

The 1985 survey report gave the following statement of significance: “This building has a clear location as a hospital but was a printing shop at another location first. Structural integrity remains. Retains a ‘historic feeling’ as hospital as was identified as such to surveyors by many older Louisville residents. This structure addresses the following RP3 concerns: clarifies role of ethnic groups within coal mining industry (medical care available to them); correlates between coal mining and other pursuits (printing and later medical care); provides information on rail towns physical form, time, place, and economic functions.”

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, Louisville directories, and Louisville Historical Museum maps, files, obituary records, and historical photographs from the collection of the Louisville Historical Museum.

LOUISVILLE HISTORIC PRESERVATION COMMISSION

STAFF REPORT

October 17, 2016

ITEM: Case #2016-007-LANDMARK Landmark, Alteration Certificate and Preservation and Restoration Grant for 721 Grant Avenue

APPLICANT: Caleb and Katie Dickinson
721 Grant Avenue
Louisville, CO 80027

OWNER: Same

PROJECT INFORMATION:

ADDRESS: 721 Grant Avenue
LEGAL DESCRIPTION: Lot 4 and 5, Block 8, Pleasant Hill Addition
DATE OF CONSTRUCTION: circa 1893-1900

REQUEST: A request to landmark 721 Grant Avenue. A request for an alteration certificate and a request for a Preservation and Restoration Grant for restoration work on the historic structure at 721 Grant Avenue.



HISTORICAL BACKGROUND:

Information from Historian Bridget Bacon

The house at 721 Grant is important to Louisville history for a number of reasons: it is one of the many buildings that historically were relocated from one site to another site in the Louisville area, and had an earlier life as a Main Street business and the Louisville Post Office; it was reportedly the location of Louisville's newspaper office; it was used as a hospital operated by the United Mine Workers for area miners (and according to a 1985 survey of the property, "is the one remaining union associated building in Louisville"); and it is believed to have been used for elementary school classes prior to becoming a private residence, which it has been for approximately the last ninety years. For many of those years, it was the home of Harry and Doris Jenkins and their six children.



721 Grant Avenue - At original location on Main & Spruce



721 Grant Avenue - 1909 as a hospital



721 Grant Avenue – 1948 Assessor's Photo



721 Grant Avenue Northeast Corner – Current Photo



721 Grant Avenue Southeast – Current Photo

ARCHITECTURAL INTEGRITY:

The building at 721 Grant Avenue was originally constructed as a two-story, hipped-roof commercial building with a simple rectangular form and large storefront window. After the property was moved to Grant Avenue prior to 1909, two additions (one two-story hipped roofed, the other one-story, shed roofed) were added to the rear, creating an L-shaped form. The commercial storefront was opened into a porch with three prominent arches. A second story porch was added on the south side. The vernacular building has Italianate decorative features.

After 1948, the wood siding was replaced and the decorative pilasters on the porch were eliminated. The window openings are original. The Italianate lentils were removed or covered and board and batten shutters were added. After the siding was replaced, a shed roofed enclosed porch was added on the rear of the building. Overall, 721 Grant has a strong architectural integrity.

HISTORICAL SIGNIFICANCE AND CRITERIA FOR FINDING PROBABLE CAUSE FOR LISTING AS LOCAL LANDMARK:

To receive grant funding, the HPC must find probable cause that the property meets the landmark criteria. Landmarks must be at least 50 years old and meet one or more of the criteria for architectural, social or geographic/environmental significance as described in Louisville Municipal Code (LMC) Section 15.36.050(A). The City Council may exempt a landmark from the age standard if it is found to be exceptionally important in other significance criteria:

1. *Historic landmarks shall meet one or more of the following criteria:*
 - a. *Architectural.*
 - (1) *Exemplifies specific elements of an architectural style or period.*
 - (2) *Example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally.*
 - (3) *Demonstrates superior craftsmanship or high artistic value.*
 - (4) *Represents an innovation in construction, materials or design.*
 - (5) *Style particularly associated with the Louisville area.*
 - (6) *Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.*
 - (7) *Pattern or grouping of elements representing at least one of the above criteria.*
 - (8) *Significant historic remodel.*
 - b. *Social.*
 - (1) *Site of historic event that had an effect upon society.*
 - (2) *Exemplifies cultural, political, economic or social heritage of the community.*
 - (3) *Association with a notable person or the work of a notable person.*
 - c. *Geographic/environmental.*
 - (1) *Enhances sense of identity of the community.*
 - (2) *An established and familiar natural setting or visual feature that is culturally significant to the history of Louisville.*
2. *Prehistoric and historic archaeological sites shall meet one or more of the following:*

- a. *Architectural.*
 - (1) *Exhibits distinctive characteristics of a type, period or manner of construction.*
 - (2) *A unique example of structure.*
- b. *Social.*
 - (1) *Potential to make an important contribution to the knowledge of the area's history or prehistory.*
 - (2) *Association with an important event in the area's history.*
 - (3) *Association with a notable person(s) or the work of a notable person(s).*
 - (4) *A typical example/association with a particular ethnic group.*
 - (5) *A unique example of an event in Louisville's history.*
- c. *Geographic/environmental.*
 - (1) *Geographically or regionally important.*

3. *All properties will be evaluated for physical integrity and shall meet one or more of the following criteria:*

- a. *Shows character, interest or value as part of the development, heritage or cultural characteristics of the community, region, state, or nation.*
- b. *Retains original design features, materials and/or character.*
- c. *Remains in its original location, has the same historic context after having been moved, or was moved more than 50 years ago.*
- d. *Has been accurately reconstructed or restored based on historic documentation.*

Staff finds that this application complies with the above criterion by the following:

Architectural Significance - Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.

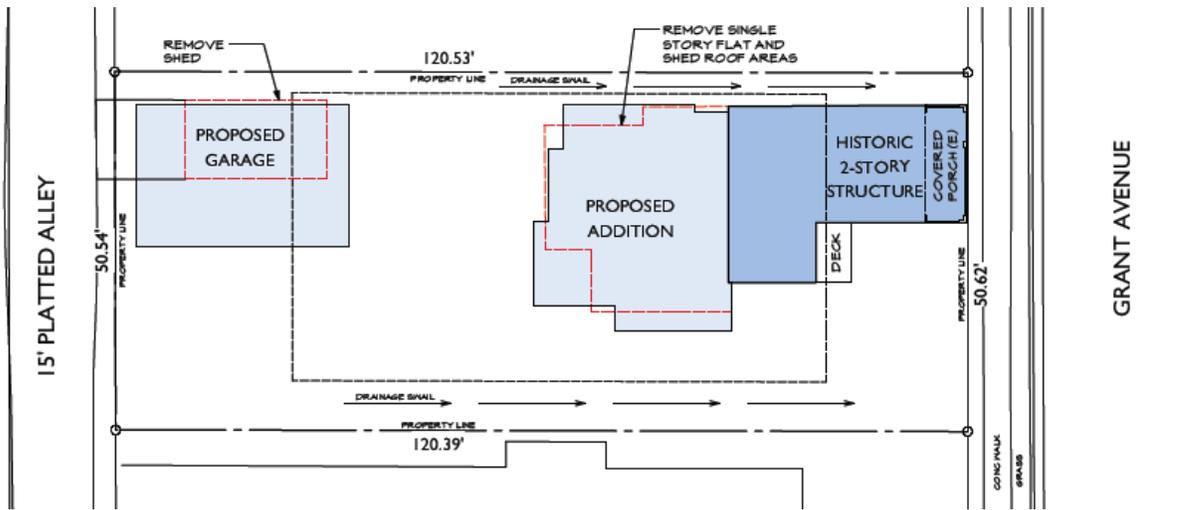
The structure is a vernacular interpretation of the commercial Italianate style and depicts Louisville's history of moving buildings.

Social Significance - Exemplifies cultural, political, economic or social heritage of the community.

The structure served the Louisville community as a post office, hospital, school, and residence.

ALTERATION CERTIFICATE REQUEST:

The applicant is also applying for an alteration certificate to allow for a new two-story addition for the west side of the existing house. The proposed new addition would replace the single story. The historic portion of the structure will be restored.



721 Grant Avenue – Proposed Site Plan



721 Grant Avenue – Proposed 3D Rendering



721 Grant Avenue South Elevation – Existing and Proposed

The proposed new addition would be two stories, directly behind the existing structure. The addition would be approximately 23 feet in height, the same height as the existing structure. The roof will be asphalt shingles and the siding would be fiber cement with a similar exposure to the historic structure. The structure includes an exterior spiral staircase which leads to a second-story deck. The proposed addition picks up elements of the early 20th century style associated with the historic structure. The historic structure is connected to the addition by a two-story, flat-roofed hyphen clad in HardiePlank.

The proposal includes keeping a portion of the one-story shed roof on the south elevation and extending it to the south. The existing structure and proposed extension are visible on Grant Avenue.

The existing garage would be demolished and a new detached garage would be constructed.

The applicant is also requesting to modify the following on the existing structure:

- Remove aluminum siding and repair existing wood siding, if found, or replace with wood siding
- Remove replacement windows on the south elevation and replace with windows that match historic windows in proportion

- Replace second story window on south elevation in original opening
- Remove modern railings on front porch and deck
- Remove shutters
- Reroof structure with asphalt shingles
- Remove non-historic doors and replace with doors to match historic photos
- Restore original exterior door

Section 15.36.120 of the LMC gives the criteria for evaluating alteration certificates:

A. The commission shall issue an alteration certificate for any proposed work on a designated historical site or district only if the proposed work would not detrimentally alter, destroy or adversely affect any architectural or landscape feature which contributes to its original historical designation.

B. The commission must find the proposed alteration to be visually compatible with designated historic structures located on the property in terms of design, finish, material, scale, mass and height. When the subject site is in an historic district, the commission must also find that the proposed alteration is visually compatible with characteristics that define the district. For the purposes of this chapter, the term "compatible" shall mean consistent with, harmonious with, or enhancing to the mixture of complementary architectural styles, either of the architecture of an individual structure or the character of the surrounding structures.

C. The commission will use the following criteria to determine compatibility:

- 1. The effect upon the general historical and architectural character of the structure and property.*
- 2. The architectural style, arrangement, texture, and material used on the existing and proposed structures and their relation and compatibility with other structures.*
- 3. The size of the structure, its setbacks, its site, location, and the appropriateness thereof, when compared to existing structures and the site.*
- 4. The compatibility of accessory structures and fences with the main structure on the site, and with other structures.*
- 5. The effects of the proposed work in creating, changing, destroying, or otherwise impacting the exterior architectural features of the structure upon which such work is done.*
- 6. The condition of existing improvements and whether they are a hazard to public health and safety.*
- 7. The effects of the proposed work upon the protection, enhancement, perpetuation and use of the property.*
- 8. The proposal's compliance with the following standards:*
 - a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

- b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- c. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
- e. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*
- f. Deteriorated historic features shall be repaired rather than replaced. When the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. In the replacement of missing features, every effort shall be made to substantiate the structure's historical features by documentary, physical, or pictorial evidence.*
- g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
- h. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
- i. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
- j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Staff believes the proposed changes and additions would maintain and enhance the historic character of the retained portion of the historic building because it is setback to rear of the lot and has a minimal visual impact from Grant Avenue (see Criterion C8b above). In addition, the two-story, hyphen clad in HardiePlank creates a break between the two portions of the structure, enhancing the character of the historic portion of the structure. Staff, however, believes that the proposed architectural features of the new

addition should be redesigned to further differentiate it from the historic structure (see Criterion C8i above). The height, roof pitch, siding exposure and window proportions are all similar to the existing building.

GRANT REQUEST:

The applicants, Caleb and Katie Dickinson, are requesting approval of a Preservation and Restoration Grant for rehabilitation work on the structure at 721 Grant Avenue. The total grant request is \$80,080. The requested rehabilitation work includes creating a new foundation, upgrading systems, altering the site drainage, and restoring the exterior to match early 20th century photo. The grant request is only for the work on the historic structure, not on the proposed new addition. This grant would be in addition to the \$1,000 unrestricted signing bonus for landmarking the structure and \$900 grant for a historic structure assessment

The applicant obtained a historic structure assessment for the property, completed by Barlow Preservation Services and Lopez Smolens Associates paid for by the Historic Preservation Fund. The assessment (attached) makes several recommendations including: insulating the attic, altering the site drainage, replacing the roof, and repairing the siding. The engineering assessment (attached) provides more specific information regarding the structure's lack of foundation.

The applicants received a cost estimate from Stewart Architecture. The proposed total cost for all of the work on the historic structure is \$160,160.

Flexible Grants

Under Resolution No. 2, Series 2012, the following work items are eligible for funding as a *flexible grant* but are limited to a maximum grant amount of \$5,000. The following items are either "sensitive upgrading of mechanical, electrical, and plumbing systems" or "restoration of a property to a specific significant point in its history":

- Appurtenances - \$4,870
 - New railings, balusters and columns to match historic photos
- Doors and windows - \$5,000 (*only includes new windows and doors*)
 - Remove replacement windows and provide new with correct proportions
 - Remove replacement doors and provide new rail style doors
- Mechanical systems - \$12,000
 - Install new furnace and duct work
- Electrical systems - \$4,720
 - Underground service & interior wiring/distribution
 - Install smoke and CO2 detectors

TOTAL - \$26,590 (max \$5,000)

Focused Grants

The following work items are eligible for funding as *flexible or focused grants* because they fall under "sustaining the existing form, integrity, and material of a historic

property". The following work items are limited to a total of \$15,000 with a match of \$15,000 from the applicant:

- Site grading and drainage –\$3,000
 - Install drainage swales
 - Repair gutters
- Foundation – \$64,000
 - House shoring/lifting
 - Excavation
 - New foundations
- Structural systems – \$18,220
 - Repair rim board/lower wall
 - Repair/replace floor joists
 - Install roof framing reinforcements
- Exterior walls – \$12,960
 - Remove aluminum siding
 - Repair, prep, paint historic wood siding
- Envelope –Roofing - \$4,200
 - Re-roof with asphalt shingles
- Envelope – Insulation - \$5,403
 - Fill walls with spray fill cellulose
 - Insulate attic
- Doors and Windows - \$7,500 (*only includes repair of existing*)
 - Repair and paint historic windows
 - Repair existing historic door

TOTAL - \$115,283 (max \$15,000)

The applicant is also requesting funding for the cost of permits (\$4,100) and a 10% contingency (\$14,187). Permits are not eligible for funding through the Historic Preservation Fund.

The total cost estimate for all of the work is **\$160,160**.

Request to Exceed Grant Maximum

The applicant is requesting the entire grant be considered under Resolution No. 2, Series 2012, Section 7(b) which allows for grant amounts to exceed the \$20,000 limitation when there is a "showing of extraordinary circumstances" and applicant matches "at least one hundred percent (%100) of the amount of the grant". The applicant is proposing a 100% match of the grant and the applicant has provided a letter outlining how they believe the request meets the "extraordinary circumstances" criterion. According to the applicant, the typical cost for foundation repair can be up to \$8,000, but the estimated cost install a new foundation for 721 Grant Avenue is \$64,000.

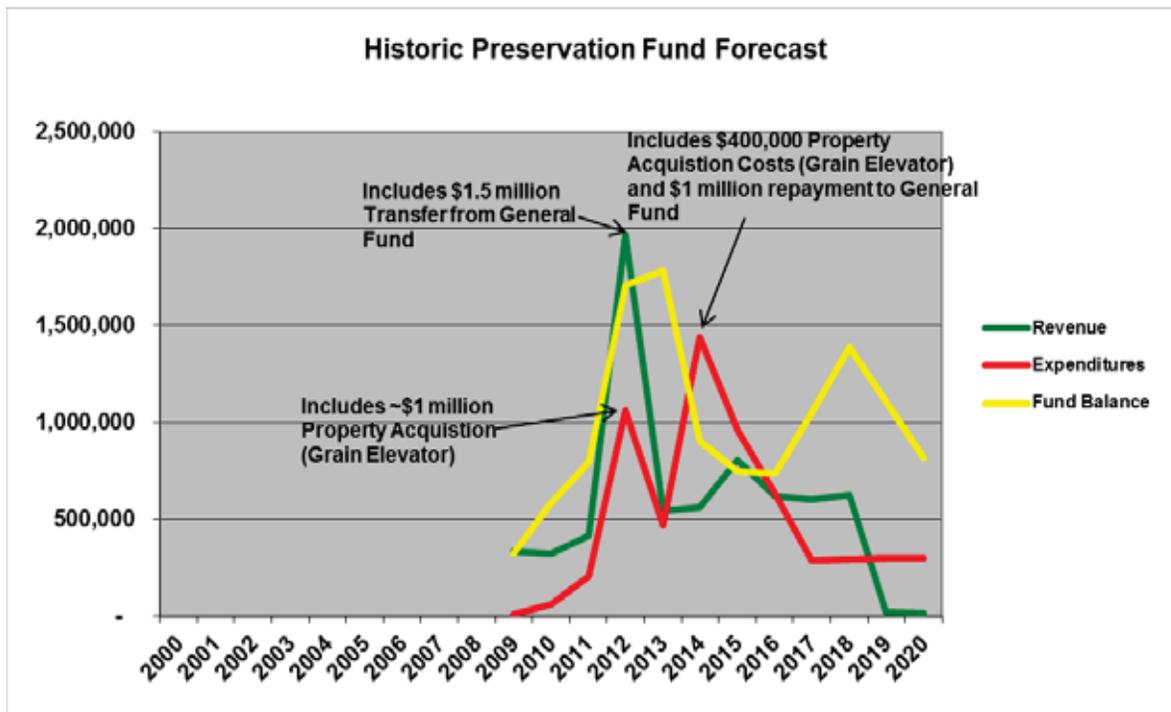
Staff concurs that the foundation cost is an "extraordinary circumstance" because the cost is approximately 8x more than a typical foundation repair. However, staff does not find that any of the other work items meet the "extraordinary circumstances" criterion.

The remaining scope of work is typical of other rehabilitation projects. For these reasons, **staff recommends that the grant be limited to \$52,000** (\$20,000 grant maximum plus \$32,000 grant to cover extraordinary foundation costs (with \$32,000 match)). The remaining portions of the project may be eligible for loan funding and staff would encourage the applicant to explore that option in lieu of the full grant request.

FISCAL IMPACT

The applicant’s request would have an expenditure of up to \$80,080 from the Historic Preservation Fund. Staff’s recommendation would be a \$52,000 expenditure, or \$28,080 less than the applicant’s proposal.

The following graph shows estimated Historic Preservation Fund revenues, expenditures and fund balance, not including the requested grant.



The current balance of the HPF is \$980,962.26. The 2016 budget includes \$307,800 for grants. The current year to date expenditure is \$51,559.

RECOMMENDATION:

Landmarking

The structure appears to have maintained significant architectural integrity since being moved to the site in prior to 1909. The overall form has been maintained. The building also has a significant social history. Staff recommends that the house be named for the Louisville Hospital based on its history as a United Mine Workers hospital. Therefore, the staff recommends that the structure be landmarked by approving Resolution No. 7, Series 2016.

Alteration Certificate

The proposed changes to the existing structure, and the proposed new construction, are both compatible with the historic character of the property and comply with the requirements of the LMC. Staff recommends approval of the alteration certificate request by approving Resolution No. 8, Series 2016 with the condition that the new addition be further distinguished from the historic structure.

Grant

The grant request includes rehabilitating the existing structure, including the construction of a new foundation. The proposed changes will facilitate the continued preservation of the structure, and are historically compatible. Staff finds the foundation work meets the requirements in Resolution No. 2, Series 2012 to exceed the maximum grant amounts, but the remaining scope of work does not meet the criteria of being an “extraordinary circumstance.” Therefore, staff recommends the HPC recommend approval of an alternate grant request of \$52,000 (\$20,000 grant maximum plus \$32,000 grant to cover extraordinary foundation costs (with \$32,000 match)) by approving Resolution No. 9, Series 2016.

SUPPORTING DOCUMENTATION AND INFORMATION:

Attached for your review are the following documents:

- Resolution No. 7, Series 2016
- Resolution No. 8, Series 2016
- Resolution No. 9, Series 2016
- Landmark Application
- Letter from Applicant
- Social History
- Historic Structure Assessment
- HSA Engineer Letter
- Alteration Certificate Application
- Drawings
- Historic Preservation Fund Application

LOUISVILLE HISTORIC PRESERVATION COMMISSION

STAFF REPORT

November 21, 2016

ITEM: Case #2016-009-LANDMARK Landmark, Alteration Certificate and Preservation and Restoration Grant for 625 Lincoln Avenue.

APPLICANT: Barbara Hamlington
625 Lincoln Avenue
Louisville, CO 80027

OWNER: Same

PROJECT INFORMATION:

ADDRESS: 625 Lincoln Avenue

LEGAL DESCRIPTION: Lot 2, Schmidt Subdivision (originally Lots 3-4, Block 10 Pleasant Hill Addition)

DATE OF CONSTRUCTION: ca. 1902

REQUEST: A request to landmark 625 Lincoln Avenue. A request for an alteration certificate and a request for a Preservation and Restoration Grant for restoration work on the historic structure at 625 Lincoln Avenue.



HISTORICAL BACKGROUND:

Information from Jefferson Place Survey

625 Lincoln was the home of the Bittner family in the early 1900s. For about 20 years in the mid-1900s, it was associated with members of Louisville's French community. For a period of about four years from 2003 to 2007, an above-ground passageway connected the house to the house next door at 637 Lincoln.



625 Lincoln Avenue – 1948 Assessor Photo



625 Lincoln Avenue Southwest Corner – Current Photo



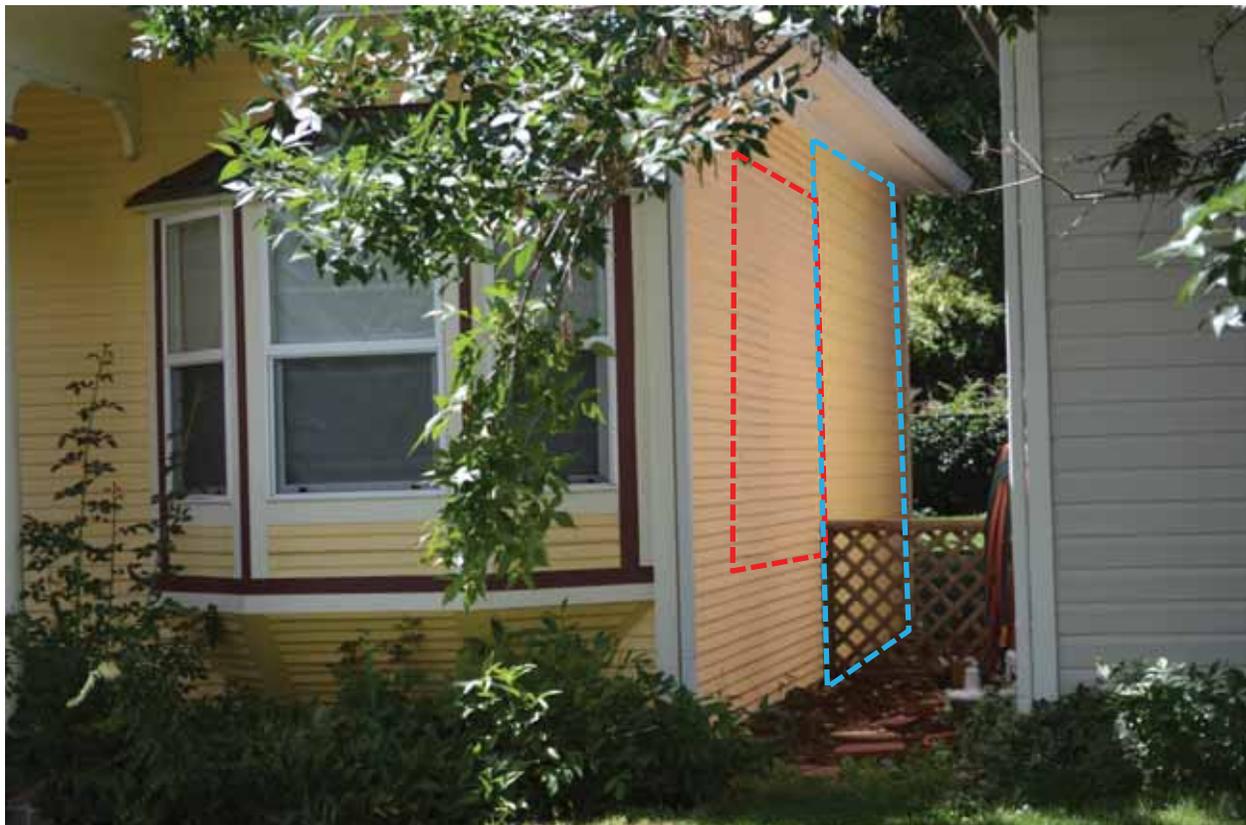
625 Lincoln Avenue Northwest Corner – Current Photo

ARCHITECTURAL INTEGRITY:

Supported by a brick foundation, the rectangular hipped roof structure has overhanging eaves and two projecting gable roofs with turned eaves. One gable forms an entry porch and the other a wing on the south elevation. Classical columns support the gable end of the entry porch and scalloped wood shingles fill the gable. The gable on the south side covers a single bay wing with a double hung window and is connected to an enclosed side porch. The side porch has another entry and paired casement windows. A canted bay window with a hipped roof is located in the northernmost bay on the east elevation. The southernmost bay on the east elevation holds a picture window. Both of these windows were likely put in place after 1948. A single bay garage is located in the southwest corner of the property and appears in the 1948 photo. The original structure is clad in wood clapboard siding with a small exposure. The enclosed side porch is clad in wood shiplap siding.

Changes to the home since 1948 include enclosure of the side porch, a one-story addition at the rear, replacement of the windows, and changes to the window openings. Additional changes include the removal of an opening on the north elevation, now visible through a seam in the siding. A panel of shiplap siding on the north elevation reveals the location of the previously described passageway connecting 625 Lincoln to 637 Lincoln. Overall, the structure maintains a high level of architectural integrity.

A full architectural description is included in the attached Historic Structure Assessment.



625 Lincoln Avenue – Ghost Window and Passageway on North Elevation

HISTORICAL SIGNIFICANCE AND CRITERIA FOR LISTING AS LOCAL LANDMARK:

Landmarks must be at least 50 years old and meet one or more of the criteria for architectural, social or geographic/environmental significance as described in Louisville Municipal Code (LMC) Section 15.36.050(A). The City Council may exempt a landmark from the age standard if it is found to be exceptionally important in other significance criteria:

1. *Historic landmarks shall meet one or more of the following criteria:*
 - a. *Architectural.*
 - (1) *Exemplifies specific elements of an architectural style or period.*
 - (2) *Example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally.*
 - (3) *Demonstrates superior craftsmanship or high artistic value.*
 - (4) *Represents an innovation in construction, materials or design.*
 - (5) *Style particularly associated with the Louisville area.*
 - (6) *Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.*
 - (7) *Pattern or grouping of elements representing at least one of the above criteria.*
 - (8) *Significant historic remodel.*
 - b. *Social.*
 - (1) *Site of historic event that had an effect upon society.*
 - (2) *Exemplifies cultural, political, economic or social heritage of the community.*
 - (3) *Association with a notable person or the work of a notable person.*
 - c. *Geographic/environmental.*
 - (1) *Enhances sense of identity of the community.*
 - (2) *An established and familiar natural setting or visual feature that is culturally significant to the history of Louisville.*
2. *Prehistoric and historic archaeological sites shall meet one or more of the following:*
 - a. *Architectural.*
 - (1) *Exhibits distinctive characteristics of a type, period or manner of construction.*
 - (2) *A unique example of structure.*
 - b. *Social.*
 - (1) *Potential to make an important contribution to the knowledge of the area's history or prehistory.*
 - (2) *Association with an important event in the area's history.*
 - (3) *Association with a notable person(s) or the work of a notable person(s).*
 - (4) *A typical example/association with a particular ethnic group.*
 - (5) *A unique example of an event in Louisville's history.*
 - c. *Geographic/environmental.*
 - (1) *Geographically or regionally important.*

3. *All properties will be evaluated for physical integrity and shall meet one or more of the following criteria:*

- a. *Shows character, interest or value as part of the development, heritage or cultural characteristics of the community, region, state, or nation.*
- b. *Retains original design features, materials and/or character.*
- c. *Remains in its original location, has the same historic context after having been moved, or was moved more than 50 years ago.*
- d. *Has been accurately reconstructed or restored based on historic documentation.*

Staff finds that this application complies with the above criterion by the following:

Social Significance - Exemplifies cultural, political, economic or social heritage of the community.

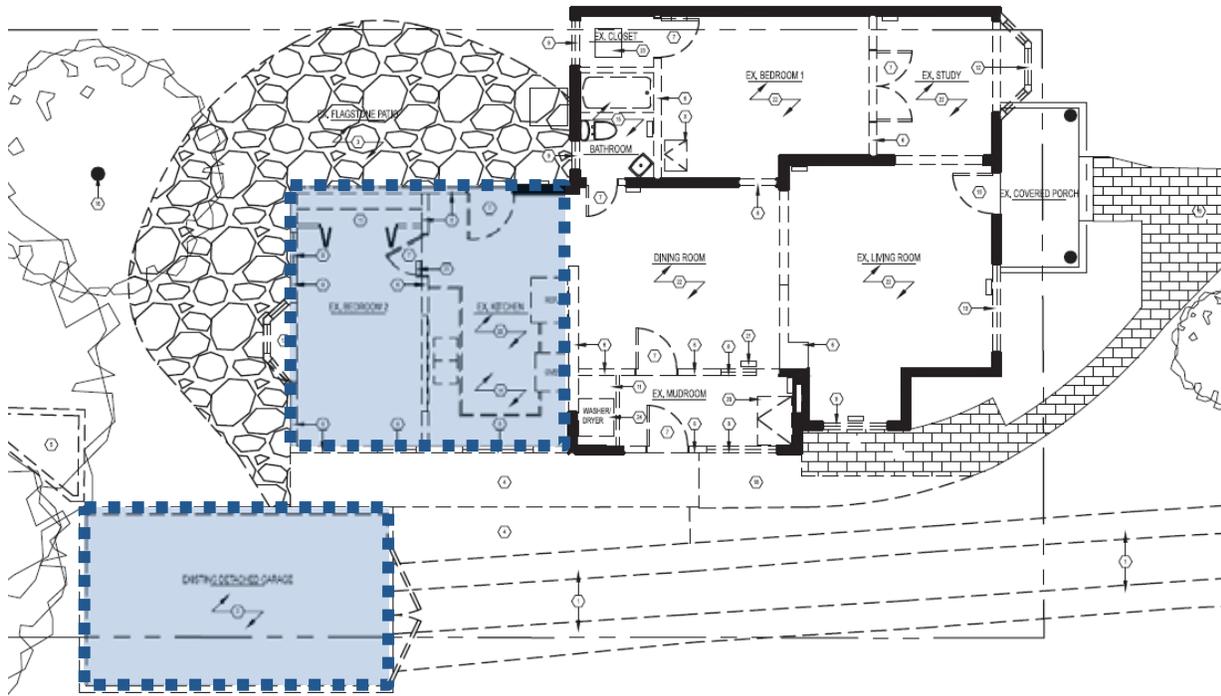
This house is associated with several families who worked in the Louisville area mines including a bookkeeper, a fireman, and a miner.

Architectural Significance - Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.

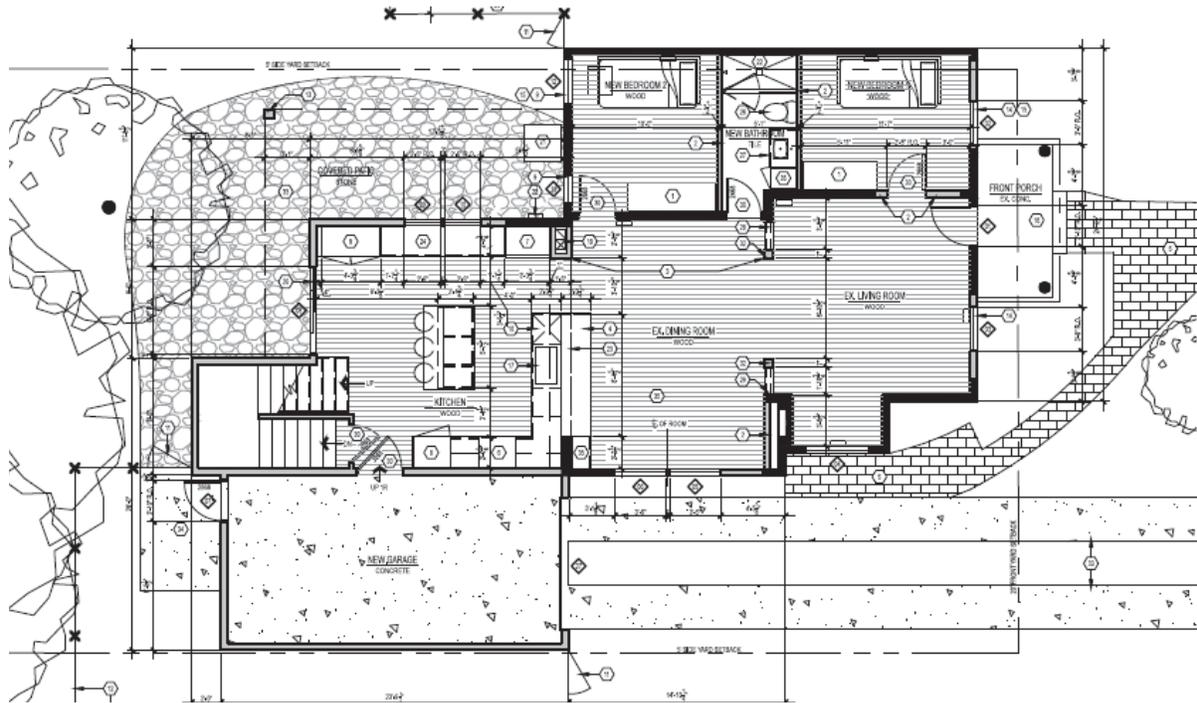
The vernacular structure with Victorian style decorative features is representative of the built environment in early 20th Louisville.

ALTERATION CERTIFICATE REQUEST:

The applicant is applying for an alteration certificate to allow for a new two-story addition for the west side of the existing house. The alteration certificate includes demolition of the existing rear addition and garage. The historic portion of the structure will be restored.



625 Lincoln Avenue – Demolition Plan



625 Lincoln Avenue – Proposed Site Plan



625 Lincoln Avenue – Proposed East Elevation



625 Lincoln Avenue – Proposed South Elevation

The proposed two-story addition sits directly behind the existing structure and is 23 feet in height. The existing structure is approximately 16 feet in height. The proposed roof is asphalt shingles and the siding is a combination of lap and shiplap siding with a similar exposure to the historic structure. The addition includes a one-car garage and balcony facing Lincoln Avenue. The proposed addition connects to the existing structure through a new gable-roof structure and reflects architectural details from the existing structure including the wood-shingled gable ends, turned eaves, siding, columns, and.

The applicants are also requesting to modify the following on the existing structure:

- Replace windows and doors to original size and location
- Restore siding and trim on south and east elevation
- Replace siding on north elevation
- Reroof with asphalt shingles

Section 15.36.120 of the LMC gives the criteria for evaluating alteration certificates:

- A. *The commission shall issue an alteration certificate for any proposed work on a designated historical site or district only if the proposed work would not detrimentally alter, destroy or adversely affect any architectural or landscape feature which contributes to its original historical designation.*
- B. *The commission must find the proposed alteration to be visually compatible with designated historic structures located on the property in terms of design, finish, material, scale, mass and height. When the subject site is in an historic district, the commission must also find that the proposed alteration is visually compatible with characteristics that define the district. For the purposes of this chapter, the term "compatible" shall mean consistent with, harmonious with, or enhancing to the mixture of complementary architectural styles, either of the architecture of an individual structure or the character of the surrounding structures.*
- C. *The commission will use the following criteria to determine compatibility:*
 1. *The effect upon the general historical and architectural character of the structure and property.*
 2. *The architectural style, arrangement, texture, and material used on the existing and proposed structures and their relation and compatibility with other structures.*
 3. *The size of the structure, its setbacks, its site, location, and the appropriateness thereof, when compared to existing structures and the site.*
 4. *The compatibility of accessory structures and fences with the main structure on the site, and with other structures.*
 5. *The effects of the proposed work in creating, changing, destroying, or otherwise impacting the exterior architectural features of the structure upon which such work is done.*
 6. *The condition of existing improvements and whether they are a hazard to public health and safety.*
 7. *The effects of the proposed work upon the protection, enhancement, perpetuation and use of the property.*
 8. *The proposal's compliance with the following standards:*
 - a. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
 - b. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of*

- features and spaces that characterize a property shall be avoided.*
- c. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
 - d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
 - e. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*
 - f. Deteriorated historic features shall be repaired rather than replaced. When the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. In the replacement of missing features, every effort shall be made to substantiate the structure's historical features by documentary, physical, or pictorial evidence.*
 - g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
 - h. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
 - i. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Staff finds the proposed changes and additions would maintain and enhance the historic character of the retained portion of the historic building because the addition is setback to the rear of the lot and has a minimal visual impact from Lincoln Avenue (see Criterion

C8b above). In addition, the height of the addition clearly distinguished the addition from the existing structure.

Staff finds that the proposed architectural details of the new addition could be too close to the character defining features of the historic structure (see Criterion C8i above). The applicant distinguishes the columns on the garage from the historic porch columns by simplifying the shape. The wood scalloped shingles on the addition are slightly differentiated from the circular shape on the historic porch. The addition's turned eaves are larger than the eaves on the historic structure and include an asphalt-shingled slope. The siding is a combination of shiplap and lap siding with the same exposures found in the historic structure. In order to meet the code, the Historic Preservation Commission needs to determine if there is enough differentiation in the detailing on the addition to be able to distinguish the new from the old.

GRANT REQUEST:

The applicants, Barbara and Peter Hamlington, are requesting approval of a Preservation and Restoration Grant for rehabilitation work on the structure at 625 Lincoln Avenue. The applicants' grant request is for \$21,000.

The grant request is only for the work on the historic structure, not on the proposed new addition. This grant would be in addition to the \$1,000 unrestricted signing bonus for landmarking the structure and \$900 grant for a historic structure assessment

The applicants obtained a historic structure assessment for the property, completed by DAJ Design. The assessment (attached) makes these recommendations: repair foundation, block floor joists, repair roof framing, replace composite siding, replace non-historic windows, repair/replace window and door trim, improve site drainage, and upgrade sewer line.

The applicants received a cost estimate from Benchmark Construction Inc. The proposed total cost for all of the work on the historic structure is \$63,400. The total construction cost for the entire project, including the construction of the proposed addition, is \$413,344.40.

The requested rehabilitation work and costs are:

- Foundation/Crawlspace - \$2,700
- Floor construction - \$800
- Roof construction - \$1,200
- Exterior walls (repair and replace siding)- \$3,000
- Exterior windows (replace all windows) - \$8,000
- Exterior door (replace front door) - \$2,000
- Roof openings (add decorative railing detail) - \$1,700
- Porches (replace wood band) - \$800
- Exterior trim/ornamentation (restore wood corner trim, window trim and fascia/soffit) - \$2,800
- Site Drainage (grading work)- \$1,500

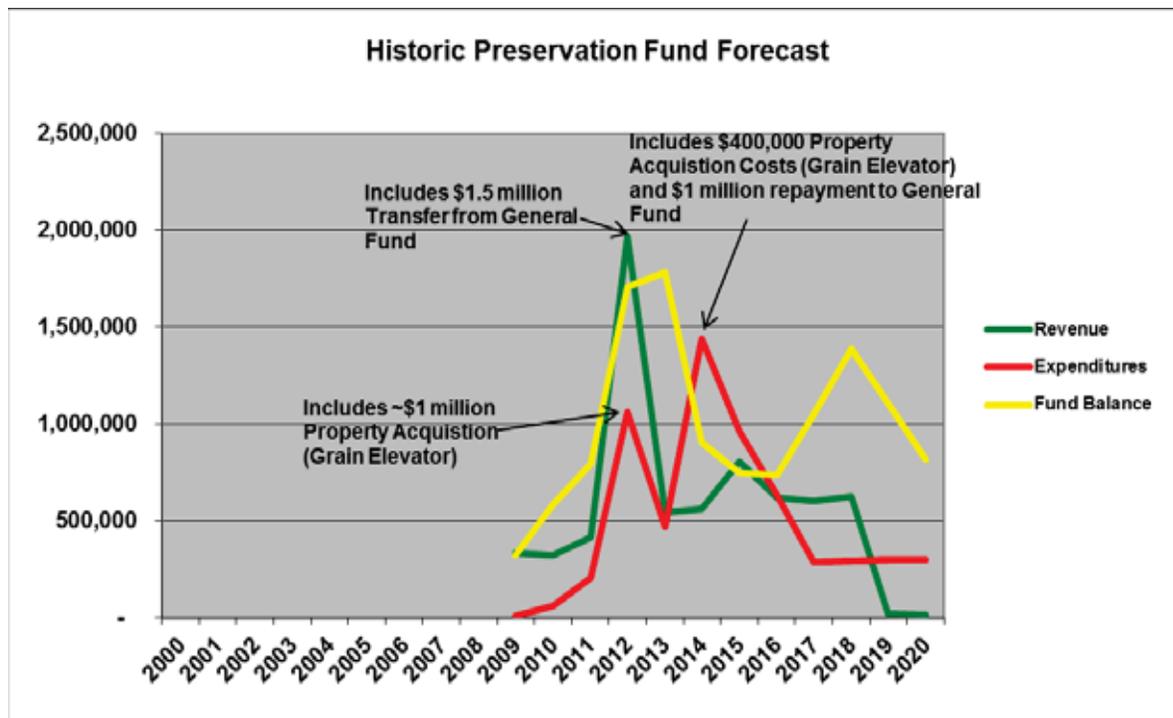
Flexible Grants

Under Resolution No. 2, Series 2012, limits flexible grants to \$5,000 and do not require a match from the applicant. Focused grants are limited to \$15,000 and require a 100% match from the applicant. Both *flexible and focused grants* can be used to “sustain the existing form, integrity, and material of a historic property”. Staff finds that all of the requested work items are eligible for historic preservation fund grant funding and total grant amount is limited to \$20,000. The applicant will also receive \$1,000 bonus at the time of landmarking.

FISCAL IMPACT

The project is eligible for a \$20,000 grant plus at \$1,000 landmark bonus for a total fiscal impact of \$21,000.

The following graph shows estimated Historic Preservation Fund revenues, expenditures and fund balance, not including the requested grant.



The current balance of the HPF is \$1,054,842. The 2016 budget includes \$307,800 for grants. The current year to date expenditure is \$122,514.

RECOMMENDATION:

Landmarking

The structure appears to have maintained significant architectural integrity since its construction ca. 1902. The overall form has been maintained. Staff recommends that the house be named for the Gorce Family, the French family that lived in the structure from 1936 to 1957. Therefore, the staff recommends that the structure be landmarked by approving Resolution No. 10, Series 2016.

Alteration Certificate

The proposed changes to the existing structure, and the proposed new construction, are both compatible with the historic character of the property and comply with the requirements of the LMC. If the Commission finds there is enough differentiation between the details on the historic structure and the new addition, then staff recommends approval of the alteration certificate request by approving Resolution No. 11, Series 2016.

Grant

The grant request includes rehabilitating the existing structure. The proposed changes will facilitate the continued preservation of the structure, and are historically compatible. Therefore, staff recommends the HPC recommend approval of the grant request of \$20,000 by approving Resolution No. 12, Series 2016.

SUPPORTING DOCUMENTATION AND INFORMATION:

Attached for your review are the following documents:

- Resolution No. 10, Series 2016
- Resolution No. 11, Series 2016
- Resolution No. 12, Series 2016
- Landmark Application
- Social History
- Historic Structure Assessment
- Alteration Certificate Application
- Drawings
- Historic Preservation Fund Application

**RESOLUTION NO. 10
SERIES 2016**

**A RESOLUTION MAKING FINDINGS AND RECOMMENDATIONS REGARDING THE
LANDMARK DESIGNATION FOR A HISTORICAL RESIDENTIAL STRUCTURE
LOCATED ON 625 LINCOLN AVENUE**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) an application requesting a landmark eligibility determination for a historical residential structure located on 625 Lincoln Avenue, on property legally described as Lot 2, Schmidt Subdivision, Town of Louisville, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the HPC have reviewed the application and found it to be in compliance with Chapter 15.36 of the Louisville Municipal Code, including Section 15.36.050.A, establishing criteria for landmark designation; and

WHEREAS, the HPC has held a properly noticed public hearing on the proposed landmark application; and

WHEREAS, 625 Lincoln Avenue (Gorce House) has social significance because it exemplifies the cultural, political, economic or social heritage of the community considering its association with several families who worked in Louisville area mines, including the Gorce family; and

WHEREAS, the Gorce House has architectural significance because it is a vernacular structure with Victorian style decorative features that is representative of the built environment in early 20th century Louisville; and

WHEREAS, the HPC finds that these and other characteristics specific to the Gorce House have social and architectural significance as described in Section 15.36.050.A of the Louisville Municipal Code; and

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

The application to landmark the Gorce House be approved for the following reasons:

1. Architectural integrity of the vernacular style structure.
2. Association with Louisville's mining heritage.

PASSED AND ADOPTED this _____ day of _____, 2016.

Lynda Haley, Chairperson

**RESOLUTION NO. 11
SERIES 2016**

**A RESOLUTION APPROVING AN ALTERATION CERTIFICATE FOR THE GORCE
HOUSE LOCATED AT 625 LINCOLN AVENUE FOR EXTERIOR ALTERATIONS AND A
REAR ADDITION**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) an application requesting an alteration certificate for a historic residential structure located at 625 Lincoln Avenue, on property legally described as Lot 2, Schmidt Subdivision, Town of Louisville, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the HPC have reviewed the application and found it to be in compliance with Chapter 15.36 of the Louisville Municipal Code, including Section 15.36.120, establishing criteria for alteration certificates; and

WHEREAS, the HPC has held a properly noticed public hearing on the proposed alteration certificate; and

WHEREAS, the proposed scope of work, outlined in the staff report on November 21, 2016, meets the criteria of Louisville Municipal Code Section 15.36.120 and are historically compatible and do not detract from the historic character of the structure; and

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

The application for an alteration certificate for the Gorce House is approved as described in the staff report dated November 21, 2016.

PASSED AND ADOPTED this _____ day of _____, 2016.

Lynda Haley, Chairperson

**RESOLUTION NO. 15
SERIES 2016**

**A RESOLUTION MAKING FINDINGS AND RECOMMENDATIONS REGARDING A
PRESERVATION AND RESTORATION GRANT FOR THE GORCE HOUSE LOCATED
AT 625 LINCOLN AVENUE**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) an application requesting a preservation and restoration grant for the Romeo House, a historic residential structure located at 625 Lincoln Avenue, on property legally described as Lot 2, Schmidt Subdivision, Town of Louisville, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the HPC have reviewed the application and found it to be in compliance with Section 3.20.605.D and Section 15.36.120 of the Louisville Municipal Code; and

WHEREAS, the HPC has held a properly noticed public hearing on the preservation and restoration grant; and

WHEREAS, the preservation and restoration work being requested for the Gorce House includes making repairs to the existing structure; and

WHEREAS, the Historic Preservation Commission finds these proposed improvements will assist in the preservation of the Gorce House, which is to be landmarked by the City;

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

1. The Historic Preservation Commission recommends the City Council approve the proposed Preservation and Restoration Grant application for the Romeo House, in the amount of **\$20,000**.

PASSED AND ADOPTED this _____ day of _____, 2016.

Lynda Haley, Chairperson

Landmark Designation Nomination Form

APRIL 2014

As you complete this form, please be aware it will become part of the meeting packet for the Historic Preservation Commission and Louisville City Council, as well as being available for public viewing on the City's web site.

DATE: October 26, 2016

LANDMARK APPLICATION TYPE:

Individual Site/Building Landmark Historic District

NOMINATION MADE BY:

Owner City Council
 Historic Preservation Commission Third Party

Name: Andy Johnson, AIA

Address: DAJ Design, 922A Main Street, Louisville, CO 80028

Phone: 303-527-1100 Email andy@dajdesign.com

Relationship to Owner: Architect

LOCATION OF PROPOSED LANDMARK:

Address: 625 Lincoln Ave, Louisville, CO 80027

Property Address

Lot 2 Schmidt Subdivision

Legal Description (Lot Number, Block Number, and Subdivision Name)

625 Lincoln

Property Name (Historic and/or Common, if known). Leave blank if you do not know.

Previous Addresses (if known) Leave blank if you do not know.

OWNER INFORMATION: (For district applications, please attach separate sheet)

Name: Barbara & Peter Hamlington

Address: 625 Lincoln Ave, Louisville, CO 80027

Phone: 269-277-7673

TYPE OF DESIGNATION: (Individual building or buildings, other structures, landscape feature, archaeological)

Individual building

BOUNDARIES: (Explain if different than the legal description of the property)

Original structure as measured along the north exterior wall, which is the first 28'-3" of the building. Included in the landmark designation is the gable-end covered front porch (not included in the 28'-3" dimension.

CLASSIFICATION:

Category	Ownership	Status	Present Use	Existing Designation
<input checked="" type="checkbox"/> Building	<input type="checkbox"/> Public	<input checked="" type="checkbox"/> Occupied	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> National Register
<input type="checkbox"/> Structure	<input checked="" type="checkbox"/> Private	<input type="checkbox"/> Unoccupied	<input type="checkbox"/> Commercial	<input type="checkbox"/> Colorado Register
<input type="checkbox"/> Site			<input type="checkbox"/> Educational	
<input type="checkbox"/> District			<input type="checkbox"/> Religious	
<input type="checkbox"/> Object			<input type="checkbox"/> Agricultural	
			<input type="checkbox"/> Government	
			<input type="checkbox"/> Other	

SIGNIFICANCE:

Site/Building is over 50 Years Old and meets one of the following standards

- Historic Landmark of Significance** – *must meet one (1) or more of the following criteria*

Architectural Significance:

The property:

- exemplifies specific elements of an architectural style or period;
- is an example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally;
- demonstrates superior craftsmanship or high artistic value; represents an innovation in construction, materials or design; is of a style particularly associated with the Louisville area;
- represents a built environment of a group of people in an era of history that is culturally significant to Louisville;
- shows a pattern or grouping of elements representing at least one of the above criteria; or
- is a significant historic remodel.

Social Significance:

The property is the site of a historic event that had an effect upon society; exemplifies cultural, political, economic or social heritage of the community or is associated with a notable person or the work of a notable person.

Geographic or Environmental Significance:

The property enhances the sense of identity of the community or is an established and familiar natural setting or visual feature that is culturally significant to the history of Louisville.

- Prehistoric or Archaeological Site** – The property has yielded, or may be likely to yield, information important in prehistory or history.

HISTORICAL INFORMATION:

Please attach a narrative of the historical significance of the property. Include a title search or city directory research if the property is important for its association with a significant person.

PHOTOS:

Please include photos of EACH ELEVATION of ALL BUILDINGS and STRUCTURES currently on the property.

If historical photos of the site are available they should also be attached.



1948
ASSESSOR
PHOTO



EAST ELEVATION



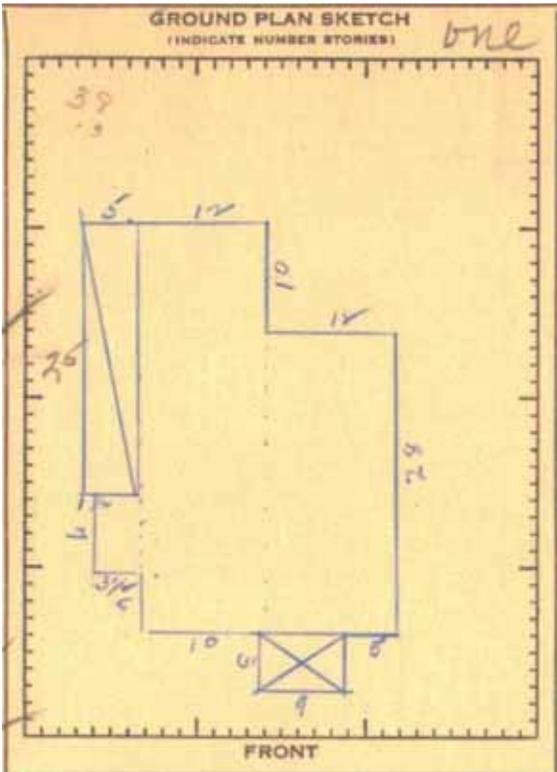
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



1948
ASSESSOR
PLAN

FOR OFFICE USE ONLY

Application Number _____

Date Filed with the Planning Department _____

Date Determined "Eligible" _____ Date Determined "Ineligible" _____

Application Approved Denied

HPC Resolution No. _____, Series 20 _____,

CC Resolution No. _____, Series 20 _____,

Date Recorded _____



625 Lincoln Avenue History

Legal Description: Originally: Lots 3-4, Block 10 Pleasant Hill Addition
Now: Lot 2, Schmidt Subdivision

Year of Construction: circa 1902

Summary: 625 Lincoln was the home of the Bittner family in the early 1900s. For about 20 years in the mid-1900s, it was associated with members of Louisville's French community. For a period of about four years from 2003 to 2007, it was physically connected with a passageway to the historic house next door to it at 637 Lincoln.

Development of the Pleasant Hill Addition; Date of Construction

The subdivision in which this house is located, Pleasant Hill Addition, was platted in 1894. It was developed by Orrin Welch, the half-brother of Charles C. Welch, the man who started the Welch Mine and played a prominent role in the founding of Louisville.

The Boulder County Assessor's website and the 1948 Boulder County Assessor card both give 1902 as the date of construction of this house. Boulder County has sometimes been in error with respect to the dates of construction of Louisville buildings, so other evidence is looked to. In this case, the year given is very specific (unlike many other estimated dates given for Louisville houses such as "1900" or "1910"). The house is shown in the 1909 Drumm's Wall Map of Louisville, confirming that it was standing by 1909. There is a lack of evidence on which to base a specific conclusion that the house was built in a different year. Also, deeds in the early 1900s were sometimes recorded months or years after they were dated. For these reasons, "circa 1902" will be used as an estimated date of construction.

Charles F. Wolfer Ownership, to c. 1905

By deeds recorded in the year 1904, but which may have been drawn up earlier, Charles F. Wolfer acquired these lots in two transactions. Wolfer was the town doctor who also engaged in many real estate transactions in Louisville.

Andre/Bittner Family Ownership, c. 1905-1922

By a deed recorded in 1905, John O. Andre (1874-1938) purchased the lots making up 625 Lincoln. His ownership came at a time when there are no available directories or census records showing whether or not he and his wife and children lived at 625 Lincoln. His wife was Mary Ann Dixon, whose parents were among Louisville's first residents and who was herself born in Louisville in 1881, just a few years after Louisville was established in 1878.

In 1909, John Andre transferred ownership of the house to his cousin, Anna Jane Kelsey Bittner (1873-1944). She and her husband, Alexander Milton Bittner (1879-1963) then lived at 625 Lincoln with their children, who were: Anna, born 1910; Jean, born 1913; and John, born 1914. The federal census records for 1910 and 1920 show the Bittner family to be living in this location. Alexander Milton Bittner worked as a bookkeeper for a coal mine.

Eads and Johnson Ownership, 1922-1931

In 1922, the house was sold to Milton K. Eads. The following year, he sold it to Frank W. Johnson (b. 1890) and Gale Williams Johnson (b. 1893). Gale Williams Johnson had grown up in Louisville. The 1923 and 1926 directories show them living at 625 Lincoln. Frank Johnson worked as a fireman, which may have been a job specifically relating to coal mining. Their children at the time would have been Gladys Pearl (b. 1917) and Laura (b. 1922). By the time of the 1930 census, the family had moved in Denver.

Brown Ownership, 1931-1936

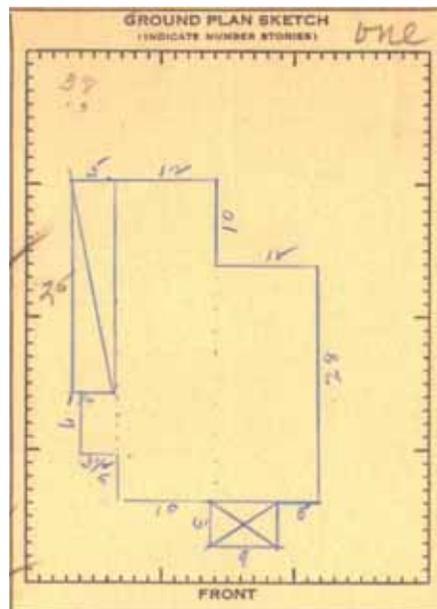
By a deed recorded in 1931, Margaret Burch Brown (1885-1951) became the owner of 625 Lincoln. Louisville directories indicate that she was the widow of William Brown and that she lived in the house. The 1930 census records show that she and her son, who was 26 and also named William, were living on Lincoln Ave. at that time, and it may have been in this house.

Gorce Family Ownership, 1936-1957

Ralph Gorce (1893-1963) and Leah LeComte Gorce (1898-1953) purchased 625 Lincoln in 1936. Both had been born in Colorado to parents who had emigrated from France. These families were some of the French families that made up Louisville's significant French population in the late 1800s and early 1900s.

Ralph Gorce served in the Army in World War I and worked as a miner in Louisville. The 1940 federal census records show Ralph and Leah Gorce to be living at 625 Lincoln.

The following photo and layout of the house are from the 1948 Boulder County Assessor card. At the time, the house consisted of 816 square feet.



After Leah Gorce passed away in 1953, Ralph Gorce remarried to another member of Louisville's French community. Mary Hioco (1900-1980) was born in France and came to the U.S. in 1922 with her first husband, Henri Vanderstraten, and their young daughter, Julienne. Henri Vanderstraten passed away in 1949.

Ralph Gorce transferred ownership of the house from just himself to himself and his second wife, Mary, in 1954. They owned the house and lived there until selling it in 1957.

Ownership by various families from 1957 to 2001

The house was owned by several people after the Gorges sold it: W.E. and Mattie McMurtrey from 1957 to 1961; Remo Antonio & Guillermina D'Onofrio from 1961 to 1967; John W. and Florence I. Prange from 1967 to 1974; Kenneth and Rebecca Koentop (Vitullo) and Ronald Vitullo from 1974 to 1977; Richard and Marilyn Hershey from 1977 to 1992; and James and Laurie Boyer from 1992 to 2001.

Schmidt and Arenales Ownership, 2001-2007, and the creation of the Schmidt Subdivision

In 2001, Bennett Schmidt and Stephanie Arenales purchased 625 Lincoln. They had already purchased the corner house to the north, 637 Lincoln, in 1994. In 2003, they created a covenant agreement to consolidate the four lots (Lots 1-4, Block 10, Pleasant Hill Addition) represented by 625 Lincoln and 637 Lincoln into a single ownership so that they could connect the two houses into one adjoining living space. According to the Improvement Location Survey provided by the applicant at the time of application to the City of Louisville, 637 Lincoln is located approximately 12 inches from the property line with 625 Lincoln, and 625 Lincoln is located approximately 3.4 feet from the shared property line. The applicants did join the homes together by building an enclosed passageway between the buildings that some current residents still remember, and they lived in the joined houses.

In 2007, owners Schmidt and Arenales applied to the City of Louisville for a request for a minor subdivision plat to divide the one parcel into two parcels again. This was approved and the passageway between the houses was removed. 637 Lincoln then had the legal description of Lot 1, Schmidt Subdivision, and 625 Lincoln had the legal description of Lot 2, Schmidt Subdivision.

In 2007, Schmidt and Arenales sold 625 Lincoln to Hofstrom, LLC. (They also sold 637 Lincoln in 2007.)

Hofstrom LLC Ownership and Ross Ownership, 2007-2016

After purchasing the property in 2007, Hofstrom LLC sold 625 Lincoln in 2008 to Dino A. Ross. He lived in the house. He sold the property in 2016.

Current Owners, as of 2016

Peter and Barbara Hamlington purchased 625 Lincoln in 2016.

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, Louisville directories, and Louisville Historical Museum maps, files, obituary records, and historical photographs from the collection of the Louisville Historical Museum.

**HISTORIC STRUCTURAL ASSESSMENT
625 LINCOLN AVE, LOUISVILLE, COLORADO**

10/26/2016

This Project was paid for by the Louisville Preservation Fund grant.



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WWW.DAJDESIGN.COM

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INTRODUCTION

A Historic Structural Assessment was conducted for the primary structure at 625 Lincoln Ave, Louisville, Colorado, for purposes of determining its viability as a candidate for a historic landmark designation under the Historic Preservation program with the City of Louisville. The primary structure is a single family residence. The City of Louisville Historic Preservation Commission found probable cause to believe the building may be eligible for landmarking under criteria in section 15.36.050 of the Louisville Municipal Code, and the Commission approved the Historic Structural Assessment be paid for by the Louisville Preservation Fund grant. There are two additional structures on the property, but both additional structures were not deemed suitable for landmarking and were not approved to be included in the assessment.



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Three site visits to 625 Lincoln Ave were conducted over 3 weeks to study the building and collect data. 1) A preliminary visit was conducted by DAJ Design and included a structural engineer from Glenn Frank engineering; 2) a second site visit by DAJ Design was necessary to conduct an Existing Condition Assessment using the Rapid Visual Screening matrix; 3) The third visit by DAJ Design completed the Existing Condition Assessment and allowed time to photograph the structure.

LIST OF CONSULTANTS

ARCHITECT

Andy Johnson, AIA
DAJ Design
922A Main Street
Louisville, CO 80027
303-527-1100
andy@dajdesign.com

STRUCTURAL ENGINEER

Jesse Sholinsky, P.C.
Glenn Frank Engineering
2400 Central Ave, Suite A-1 South
Boulder CO 80301
(303) 554-9591
jesse@gfrankeng.com

WEATHER CONDITIONS

Site Visit #1: good conditions, sunny, low wind, warm temperature.
Site Visit #2: overcast conditions, cool, and rainy.
Site Visit #3: good conditions, partly cloudy, low wind, warm temperature.

SOURCES

"Louisville Historic Preservation Commission Staff Report," August 15, 2016.
"625 Lincoln Avenue History," August 2016, Louisville Historic Museum
"HSA Packet 2016," City of Louisville Planning Department.
Local neighbor interviews.

BUILDING LOCATION AND SITE PLAN

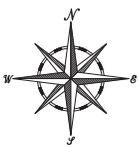
Legal Description: Lot 2 Schmidt Subdivision



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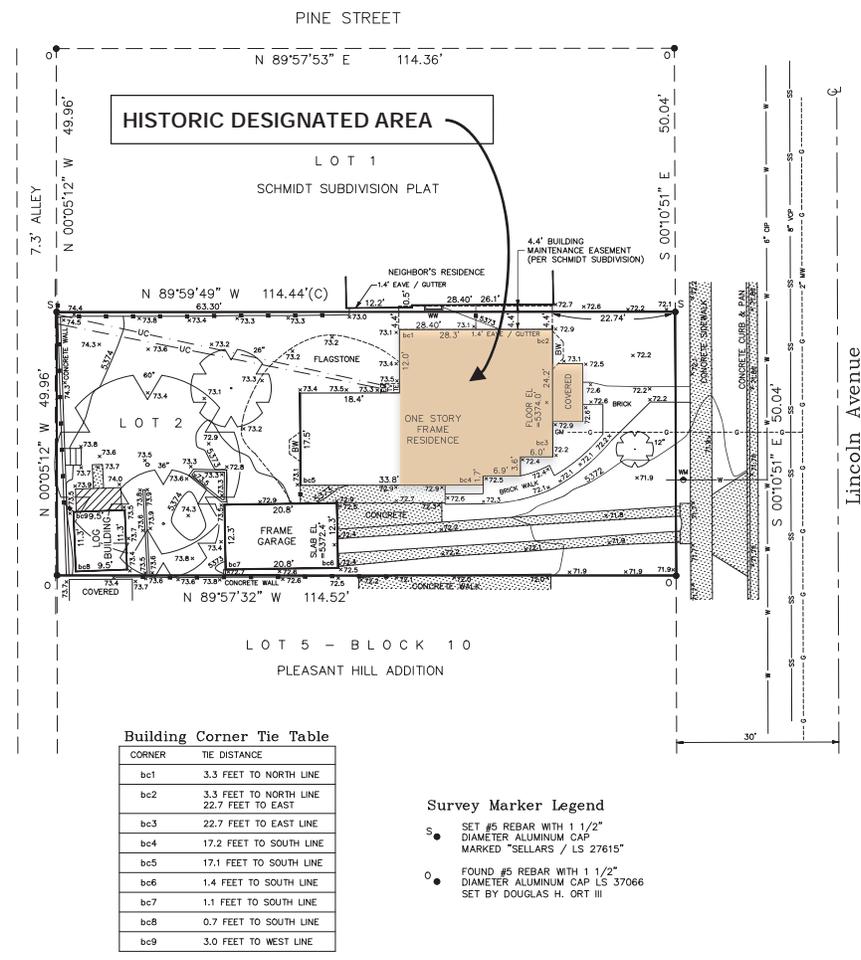


- Legend**
- WM WATER METER
 - TV CABLE TV BOX
 - GM GAS METER
 - CL CENTERLINE
 - UC UTILITY CONNECTION
 - EM ELECTRIC METER
 - TE TELEPHONE BOX
 - WW WINDOW WELL
 - BW BAY WINDOW
 - (C) CALCULATED BEARING AND DISTANCE
-
- G- GAS LINE
 - SS- SEWER LINE
 - - - OVERHEAD UTILITY LINES
 - W- WATER LINE
 - WOOD FENCE
 - 75.7 x SPOT ELEVATION
 - 76.7 x SPOT ELEVATION AT FLOWLINE
 - 10' DECIDUOUS TREE WITH TRUNK DIAMETER



Scale : 1" = 10'
U.S. SURVEY FEET
ONE (1) FOOT CONTOUR INTERVAL

Magstaff Surveying Inc. -



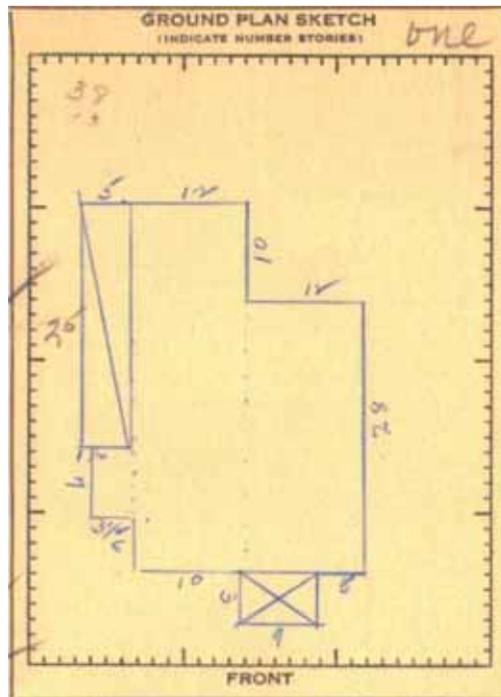
HISTORY AND USE

The house is one-level and rectangular in shape with a hipped roof, small flat section of roof where the hipped roof meets, gable end covered porch and extended wing, and Victorian-styled ornamentation. One gable forms a covered entry porch facing east toward Lincoln Avenue, and the other a wing on the south elevation. The gable end of the entry porch is filled

with curved tear-drop shaped wood shingles and supported with round wood columns that include a decorative capital. The column bases have been encased by cast-in-place concrete. The gable on the south side covers a single bay wing with a double hung window and is connected to an enclosed side porch. The side porch includes an entry door and paired single hung wood windows. A three-sided bay window with a hipped roof is located in the northernmost bay on the east elevation. The southernmost portion on the east elevation has a 1-over-1 sliding-type window. Both of these windows were likely put in place after 1948. A single bay garage is located in the southwest corner of the property and appears in the 1948 photo. The original structure is clad in a wood lap siding with a 2-1/2" exposure. The enclosed side porch is clad in wood shiplap siding with a 5" exposure. Portions of the house on the north and west sides have been clad in wood-fiber composite-type siding.



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A detailed social history and timeline of the house at 625 Lincoln was provided by the Louisville Historical Museum.

Top image: 1948 Boulder County Assessor's Ground Plan Sketch.

Bottom image: 1948 Assessor's photo of east elevation.

The house has been dated by the Louisville Historic Museum as "circa 1902." The structure appears to have been used as a single-family residence for its entire history. Since 1948, the side porch was enclosed, a one-story addition was added on the rear, the windows were replaced, and window openings were changed. This includes the removal of an opening on the north elevation, visible now through seams in the siding. There is a panel of wood fiber composite siding with a shiplap pattern on the north elevation where a passageway was located from 2003-2007 to connect 625 Lincoln to 637 Lincoln. Overall, the structure has maintained a high level of architectural integrity. The house is not currently listed on the National, State, or Local Register for historic structures.



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ANALYSIS AND COMPLIANCE

Due to the age of the house, the finish coatings may contain lead-based paint, asbestos may be present in the plaster top coat. A professional evaluation should be conducted to determine the presence of any hazardous materials.

The house is located 4.4' from northern property line, and is currently in a legal, non-conforming status with respect to the current City of Louisville zoning setbacks in the Old Town Overlay. The required setback for the lot size is five feet. The house is also out of compliance with the adopted model building code, 2012 International Residential Code, for separation of buildings. A five foot separation is required, otherwise the building must have a rated fire-resistant construction for portions less than 5' from the property line. This includes the wall and roof overhang construction.

STRUCTRE CONDITION ASSESSMENT

A detailed condition evaluation of the different building elements is summarized in the attached Rapid Visual Screening matrix. The existing condition and integrity of each element, feature, or space is evaluated as Good, Fair, or Poor Condition, and a recommendation is provided.

Foundation/Crawlspace

The original foundation consists of ~12" wide stacked sandstone rubble that runs approximately 12" below grade, except at entry to crawlspace where it runs full depth. The original foundation wall is uninsulated. The portions of foundation wall that are visibly accessible from the exterior are either coated with a cement stucco parging or covered in a brick veneer. In the crawlspace there is a mid-span support made of the same sandstone rubble running east-west to support the floor joists. Entry to crawlspace is through floor hatch in side entry with mortared sandstone walls that run full depth of crawlspace height (74" from concrete slab to bottom of joist). Crawlspace has concrete block walls at "dug out" portion of space with slab-on-grade concrete floor. Circa 1950's concrete foundation was visibly inaccessible.

Foundation is in fair shape for the age of the building. Nominal, rough-sawn 2x6 bearing plate at the top of the stone foundation shows signs of deterioration in a few locations. Levelness of flooring shows signs of settlement in the foundation. Floor is well within the tolerances of being out of level for the age of house, and does not pose any structural concerns.

Recommendations include: repair 2x6 bearing plate, where possible; tuck point stone foundation where accessible; if feasible and appropriate, repair or redo cement stucco parge coat in combination with any other work being conducted to the house (i.e. grading).

Floor Construction

The original floor construction consists of 2X8 wood joists at 24" O.C. with 1x4 Douglas fir tongue & groove subfloor. 60% of the original rough-sawn nominal 2x8 floor joists have been replaced by newer dimensional 2x8 wood joists. All floor joists appear to be in good shape. The floor is out of level by 1/2" running east-west, and out of level by 3/4" from north-south. The center of the house is ~1" lower running east-west. Change in elevation is due to settlement in foundation and poses no structural issues. Blocking is missing between floor joists at center support.

Recommendations include: Provide blocking between floor joists at center support.

Roof Construction

The original roof construction consists of 2x4 wood rafters at 24" O.C. with 2x4 hip rafters and 2x4 wood framed flat section centered over original house footprint. There is OSB sheathing over the top of the 1x skip-sheathing at roof. Dormers are over-framed on top of the existing roof framing and skip sheathing.

All but one existing roof rafter is in good shape. One 2x4 roof rafter on the north side of the house has failed and was repaired by straightening out rafter and nailing a 1x to the side of the



rafter. Diagonal 1x wood struts support the flat portion of the roof and bear on a center beam running in the original ceiling rafter framing. Ceiling rafters were not visible at time of inspection. The interior ceiling is a "false" ceiling framed below the original ceiling rafters by ~14". Existing ceiling is 100-101" from finished floor, and original ceiling is 114" from finished floor as measured through attic access.

Recommendations include: Repair broken roof rafter. Remove "false" interior ceiling provide access to existing roof framing. Replace 1x struts with 2x material, per a structural engineer's recommendations.



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Roofing

Roofing is a traditional asphalt composite shingles with shingled valleys. Shingles are one layer over OSB sheathing (see above). Flat roof section has a membrane roof. Shingles seem adequate and relatively new circa 2007.

Recommendations include: Asphalt shingles should be checked for hail damage and replaced, if appropriate.

Exterior Walls

The original exterior wall construction consists 2x4 wood framing, presumed to be mostly at 24" O.C. based on siding nail patterns. Walls are insulated. Exterior has mix of different wood and composite siding materials. The older siding is installed over rosin paper. Interior has one layer of 1/2" gypsum wall board.

Wall framing seems to be in acceptable shape. There are five different types of siding used on the house. The original siding is a 4" lap siding with a 2-1/2" exposure and is in need of repair in numerous locations. The wood shiplap siding is in need of repair in numerous locations. The composite sheet siding should be removed and replaced with the 4" lap siding to match the existing.

Recommendations include: Replace composite siding on the north side with lap siding to match the original. Strip paint and repair original siding where appropriate. Prep, seal and repaint with a proper primer to maintain longevity.

Exterior Windows

East elevation: One vinyl slider window on the south side of the east street facing elevation, and one vinyl 3-window bowed bay window on the north side. Both with insulated glass, and both functioning. Windows are of different manufacturers and seem to have been installed at different times. Both windows are fully functioning. Both windows are different from the windows shown in the 1948 County Assessor's photo, which shows one 36" wide by 54" tall double hung window on either side of the front door. Indications of the existing windows are evident in the pattern left in the siding. Recommendations include: Replace two east windows to match 1948 County Assessor's photo. Scope of work would include framing, siding and trim reconstruction.

South elevation: One vinyl single hung with insulated glass in original gable-end dormer pop-out; 2 sets of double single-hung wood windows with insulated glass; one aluminum frame

single pane window. Windows are from different manufacturers and installed at different times. The vinyl window is in good shape and relatively new. The two sets of wood windows and the aluminum frame window show many signs of deterioration and air leakage. Recommendations include: Replace vinyl window to match new east windows (see above). Replace wood windows and aluminum window.

West elevation: One aluminum single hung window and one vinyl 3-window bowed bay window in the bedroom; and, one aluminum-clad wood single hung egress window and wood single-hung window in the bedroom. All functioning except the bathroom wood window. Wood window in bathroom is presumed the oldest window in the building, however it is in poor shape and inoperable due to painting and deterioration. The aluminum window should be replaced immediately. The other windows should be replaced for consistency throughout the entire house. Recommendations include: Replace all windows for consistency with east window replacements (see above).



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North elevation: No north facing windows. There is a phantom window from a previously installed window, presumably original, on the eastern portion of the north side. There was likely the same window opening on the western portion of the north side but no signs of it exist. By code no new windows may be installed due to code issues with the proximity to the neighboring house to the north. Recommendations include: Discuss the possibilities of re-installing north with windows with the City of Louisville CBO.

Exterior Doors

Main level: Front door is a fiberglass door with decorative half-lite; south side door is a wood half-lite door with wood screen door; and, north-facing side door is a full-lite wood door. All doors operate. None of the doors are original to the house or its additions. The front door suffers from a poor installation and has sizable gaps that allows air infiltration and pests. Siding around front door indicates that the original door was either taller or had a transom window above the door, which the 1948 County Assessors photo confirms. Recommendations include: Replace front door to match 1948 County Assessors photo. Replace other doors for consistency with historic character of house and window replacement.

Trim: 1x4 painted wood trim. Door trim does not have the same ornate detailing as the windows, and is in moderate shape. Recommendations include: Trim should be replaced to match historic window trim represented at south facing window in original dormer pop-out.

Roof Openings

There are no skylights, chimneys or access hatches. There is no architectural ornamentation at the flat roof typical of similar roof styles (i.e. north neighbor).

Recommendations include: Add short, decorative railing detail at top of flat roof.

Porches

The front porch consists of slab-on-grade, mono-pour with brick veneer at face of concrete on 3-sides. Two tapered, round wood columns with decorative trim and square concrete base,

painted. Ceiling is a painted 2" bead-board paneling. Gable-end roof covering has decorative shingled face and profiled trim.

Concrete porch shows signs of settlement, but acceptable for age of house. Gable end porch roof is supported by thin 2x wood band resting on the wood columns. The 2x wood band is mitered at the corners, and the connection to the column is supported by toe-nails.

Recommendations include: Reinforce 2x wood band and its connection to the wood columns.



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Exterior Trim/Ornamentation

Corner trim: 1x4 painted wood corner trim with profiled, painted wood trim at top installed as crown molding to look like a corner pilaster. Trim shows signs of deterioration. Recommendations include: Restore wood trim.

Soffit & fascia: 1X4 painted wood fascia and painted plywood or hardboard soffit. In some areas the fascia is a double 1x4. Soffit and fascia show signs of water damage around the entire house. Recommendations include: Restore or replace all fascia and soffit.

Window trim: The south window is the only window that appears to have the original window casing with profiled crown at the head trim. All other window are trimmed in brick mould trim. All trim is painted. Trim has peeling paint and open gaps in numerous locations around entire house and needs to be repaired. The majority of the window trim around the house is inconsistent with the historic character of the house and should be replaced rather than repaired. Recommendations include: Replace all window trim at window replacement trim with historic wood window trim. Restore window trim at south gable end pop-out window.

Site Drainage

Gutters & Downspouts: 4" "K-style" aluminum gutters with 2x3 corrugated downspouts. All edges of roofs have a gutter. There are 4 downspouts total. No downspouts has an extension, tip-ups, or any way to keep the water a minimum of 5' away from the foundation. Gutters are full of debris due to the large cotton wood trees on the property and in neighboring properties. Recommendations include: Provide extensions to all downspouts, or direct bury and daylight away from the foundation where applicable. Provide gutter guards to prevent the build-up of debris inside gutters.

Site grading: Site slopes west to east from drainage ditch to Lincoln Avenue. Landscaping is mostly grassy areas following the natural contours of the site. There is no perimeter drain around the foundation. The lawn off the southeast corner of the house has a depression that does not drain water. Also the curb cut at the street does not effectively drain water and water remains in both areas after a storm. The area between the house and the neighbor to the north slopes from west-east, but is flat in cross section. Rear yard patio has a swale to allow water around the house. Recommendations include: Re-grade southeast area to remove depression; provide swale along north side of house.

Mechanical, Electrical, Plumbing

Mechanical: Forced air system with air conditioning. Bathroom is vented with a ceiling mounted exhaust fan. Furnace and AC condensing unit are both relatively new, circa 2007, and seem adequate. Mechanical system is mostly using older ductwork from a previous system. Ductwork is not sealed, and is unsupported in various locations. Recommendations include: Seal all accessible duct work with liquid applied mastic, per building code. Support ductwork with metal strapping, where necessary.

Electrical: Electrical service is 125 amps. Wiring throughout the house is Romex with updated receptacles and switches. Electrical service was upgraded circa 2007, and wiring has been replaced throughout the house. There is still space available in the service panel. Recommendations include: No recommendations at this time. A service upgrade may be necessary in the future depending on additions or installation of solar PV.

Plumbing: Water heater is a standard gas-fired water heater circa 2007. Sewer line is "Orangeburg" clay piping. Water heater seems to be in decent shape. Sewer line is showing signs of blockage and possible failure and has been recommended to be replaced. Recommendations include: Replace sewer line and tie into existing line at the curb. Upon investigation, the sewer line may need to be replaced to the City tap.



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East elevation from street.



South elevation from southeast corner of property.



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West elevation.



West elevation from northwest corner of property.



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North elevation showing siding changes indicating previous connecting structure to neighbor's house.



East, street-facing elevation of gabled end covered porch



Detail of covered porch looking south.



Detail of covered porch column capital.



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Detail of south elevation showing original lap siding and post-1948 shiplap siding.



Detail showing original lap siding and post-1948 shiplap siding in corner.



North 3-sided bay window on east elevation. Joints in the siding indicates original window location and size.



South sliding window on east elevation. Joints in the siding indicates original window location and size.



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Detail of north elevation showing joints in original siding indicating the location and size of original window.



Original stone foundation from crawlspace.



Detail of floor framing in crawlspace showing original stone foundation at mid-span support.



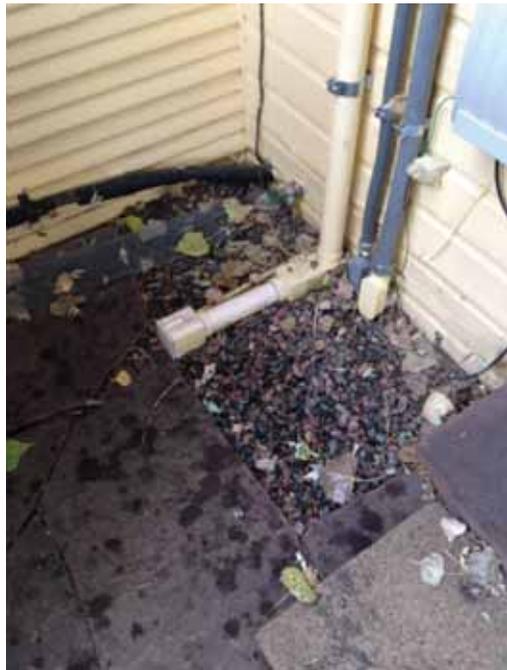
Detail of brick-clad foundation on the south elevation.



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Attic space showing 2x4 roof rafters and diagonal strut supports.



Detail of grading on the west elevation.



Detail of grading at the southwest corner of the house.

Rapid Visual Screening
Existing Condition Assessment

Address 625 LINCOLN AVE
Homeowner Barbara & Peter Hamlington

A - New
B - Good
C - Fair
D - Poor

Date: 8/25/16

Item	Building Component	Reviewer	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*	
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other			
A SUBSTRUCTURE																	
A1	Foundations/ Basement																
	Original shallow foundation	DAJ	~12" wide stacked sandstone rubble foundation that runs approximately 12" below grade, except at entry to crawlspace. Foundation wall is uninsulated. The portions of foundation wall that is visibly accessible is either coated with a cement stucco parging or covered in a brick veneer. There is a mid-span support made of the same sandstone rubble running east-west to support the floor joists.	Foundation is in fair shape for the age of the building. Nominal, rough-sawn 2x6 bearing plate shows signs of deterioration in a few locations. Levelness of flooring shows signs of settlement in the foundation. Floor is well within the tolerances for unlevelness for age of house, and does not pose any structural concerns.				X						X		Repair 2x6 bearing plate, where possible. Tuck point stone foundation where accessible. If feasible and appropriate, repair or redo cement stucco parge coat in combination with any other work being conducted to the house (i.e. grading).	\$1000 or T.B.D.
	Crawlspace	DAJ	Entry to crawlspace is through floor hatch in side entry with mortared sandstone walls that run full depth of crawlspace height (74" from concrete slab to bottom of joist). Crawlspace has concrete block walls at "dug out" portion of space with slab-on-grade concrete floor.	Foundation is in good shape and does not require any repair.				X						X		Tuck point stone foundation where accessible. If feasible and appropriate, repair or redo cement stucco parge coat in combination with any other work being conducted to the house (i.e. grading).	\$500
	Circa 1950's foundation	DAJ	8" concrete foundation wall under kitchen and west bedroom.	Visibly inaccessible.				X						X		No recommendations.	\$0 or T.B.D.
A2	Floor Construction																
	Original floor framing	DAJ	2X8 wood joists at 24" O.C. with 1x4 Douglas fir tounge & groove subfloor.	60% of the original rough-sawn nominal 2x8 floor joists have been replaced by newer dimensional 2x8 wood joists. All floor joists appear to be in good shape. The floor is out of level by 1/2" running east-west, and out of level by 3/4" from north-south. The center of the house is ~1" lower running east-west. Change in elevation is due to settlement in foundation and poses no structural issues. Blocking is missing between floor joists at center support.				X						X		Provide blocking between floor joists at center support.	\$600
B SHELL																	
B1	Roof Construction																
	Original roof.	DAJ	2x4 wood rafters at 24" O.C. with 2x4 hip rafters and 2x4 wood framed flat section centered over original house footprint. There is OSB sheathing over the top of the 1x skip-sheathing at roof. Dormers are over-framed on top of the existing roof framing and skip sheathing.	All but one existin roof rafter is in good shape. One 2x4 roof rafter on the north side of the house has failed and was repaired by straightening out rafter and nailing a 1x to the side of the rafter. Diagonal 1x wood struts support the flat portion of the roof and bear on a center beam running in the original ceiling rafter framing. Ceiling rafters were not visible at time of inspection. The interior ceiling is a "false" ceiling framed below the original ceiling rafters by ~14". Existing ceiling is 100-101" from finished floor, and original ceiling is 114" from finished floor as measured through attic access.				X						X		Repair brocken roof rafter. Remove "false" interior ceiling provide access to existing roof framing. Replace 1x struts with 2x material, per a structural engineer's recommendations.	\$3000, possibly more once false ceiling is removed
B2	Roofing																
		DAJ	Roofing is a traditional sphalt composite shingles with shingled valleys. Shingles are one layer over OSB sheathing (see above). Flat roof section has a membrane roof.	Shingles seem adequate and realtively new circa 2007.				X						X		Asphalt shingles should be checked for hail damage and replaced, if appropriate.	\$0
B3	Exterior Walls																
	Main level walls	DAJ	2x4 wood framing, presumed to be mostly at 24" O.C. based on siding nail patterns. Walls are insulated. Exterior has mix of different wood and composite siding materials. The older siding is installed over rosin paper. Interior has one layer of 1/2" gypsum wall board.	Wall framing seems to be in acceptable shape. There are five different types of siding used on the house. The original siding is a 4" lap siding with a 2-1/2" exposure and is in need of repair in numerous locations. The wood shiplap siding is in need of repair in numerous locations. The composite sheet siding should be removed and replaced with the 4" lap siding to match the existing.				X	X	X				X		Replace composite siding on the north side with lap siding to match the original. Strip paint and repair original siding where appropriate. Prep, seal and repaint with a proper primer to maintain longevity.	\$8,000

Rapid Visual Screening
Existing Condition Assessment

Address 625 LINCOLN AVE
Homeowner Barbara & Peter Hamlington

A - New
B - Good
C - Fair
D - Poor

Date: 8/25/16

Item	Building Component	Reviewer	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint.	Other		
B4	Exterior Windows		Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*
	East	DAJ	One vinyl slider window on the south side of the east street facing elevation, and one vinyl 3-window bowed bay window on the north side. Both with insulated glass, and both functioning.	Windows are of different manufacturers and seem to have been installed at different times. Both windows are fully functioning. Both windows are different from the windows shown in the 1948 County Assessor's photo, which shows one 36" wide by 54" tall double hung window on either side of the front door. Indications of the existing windows are evident in the pattern left in the siding.		X					X			X	Replace two east windows to match 1948 County Assessor's photo. Scope of work would include framing, siding and trim reconstruction.	\$4,000
	South	DAJ	One vinyl single hung with insulated glass in original gable-end dormer pop-out; 2 sets of double single-hung wood windows with insulated glass; one aluminum frame single pane window.	Windows are from different manufacturers and installed at different times. The vinyl window is in good shape and relatively new. The two sets of wood windows and the aluminum frame window show many signs of deterioration and air leakage.			X	X	X					X	Replace vinyl window to match new east windows (see above). Replace wood windows and aluminum window.	\$6,000
	West	DAJ	One aluminum single hung window and one vinyl 3-window bowed bay window in the bedroom; and, one aluminum-clad wood single hung egress window and wood single-hung window in the bedroom. All functioning except the bathroom wood window.	Wood window in bathroom is presumed the oldest window in the building, however it is in poor shape and inoperable due to painting and deterioration. The aluminum window should be replaced immediately. The other windows should be replaced for consistency throughout the entire house.			X	X	X						Replace all windows for consistency with east window replacements (see above).	\$6,000
	North	DAJ	No north facing windows.	There is a phantom window from a previously installed window, presumably original, on the eastern portion of the north side. There was likely the same window opening on the western portion of the north side but no signs of it exist. By code no new windows may be installed due to code issues with the proximity to the neighboring house to the north.											Discuss the possibilities of re-installing north with windows with the City of Louisville CBO.	\$0
B5	Exterior Doors		Components (Description)	Observations (Unusual)	Condition				Expected Life			Category (Issues)			Recommendations*	Approximate Cost*
	Main Level	DAJ	Front door is a fiberglass door with decorative half-lite; south side door is a wood half-lite door with wood screen door; and, north-facing side door is a full-lite wood door. All doors operate.	None of the doors are original to the house or its additions. The front door suffers from a poor installation and has sizable gaps that allows air infiltration and pests. Siding around front door indicates that the original door was either taller or had a transome window above the door, which the 1948 County Assessors photo confirms.			X				X				Replace front door to match 1948 County Assessors photo. Replace other doors for consistency with historic character of house and window replacement.	\$6,500
	Trim	DAJ	1x4 painted wood trim	Door trim does not have the same ornate detailing as the windows, and is in moderate shape.			X				X				Trim should be replaced to match historic window trim represented at south facing window in original dormer pop-out.	\$600
B6	Roof Openings		Components (Description)	Observations (Unusual)	Condition				Expected Life			Category (Issues)			Recommendations*	Approximate Cost*
	(Skylights, Chimneys & Access Hatches)															
			There are no skylights, chimneys or access hatches.	There is no architectural ornamentation at the flat roof typical of similar roof styles (i.e. north neighbor)											Add short, decorative railing detail at top of flat roof.	\$1,200

Rapid Visual Screening
Existing Condition Assessment

Address 625 LINCOLN AVE
Homeowner Barbara & Peter Hamlington

A - New
B - Good
C - Fair
D - Poor

Date: 8/25/16

Item	Building Component	Reviewer	Components (Description)	Observations (Unusual)	Condition				Expected Life Span (Yrs)			Category (Issues)			Recommendations*	Approximate Cost*
					A	B	C	D	Now	5-10	20-25	Code	Repair/Maint	Other		
B7 Porches																
	Front Porch	DAJ	Slab-on-grade, mono-pour concrete front porch with brick veneer at face of concrete on 3-sides. Two tapered, round wood columns with decorative trim and square concrete base, painted. Ceiling is a painted 2" bead-board paneling. Gable-end roof covering has decorative shingled face and profiled trim.	Concrete porch shows signs of settlement, but acceptable for age of house. Gable end porch roof is supported by thin 2x wood band resting on the wood columns. The 2x wood band is mitered at the corners, and the connection to the column is supported by toe-nails.			X			X				X	Reinforce 2x wood band and its connection to the wood columns.	\$1,200
B8 Exterior Trim/Ornamentation																
	Corner trim	DAJ	1x4 painted wood corner trim with profiled, painted wood trim at top installed as crown moulding to look like a corner pilaster.	Trim shows signs of deterioration				X	X					X	Restore wood trim.	\$1,800
	Soffit & fascia	DAJ	1X4 painted wood fascia and painted plywood or hardboard soffit. In some areas the fascia is a double 1x4.	Soffit and fascia show signs of water damage around the entire house.				X	X					X	Restore or replace all fascia and soffit.	\$2,400
	Window trim	DAJ	The south window is the only window that appears to have the original window casing with profiled crown at the head trim. All other window are trimmed in brick mould trim. All trim is painted.	Trim has peeling paint and open gaps in numerous locations around entire house and needs to be repaired. The majority of the window trim around the house is inconsistent with the historic character of the house and should be replaced rather than repaired.				X	X					X	Replace all window trim at window replacement tim with historic wood window trim. Restore window trim at south gable end pop-out window.	\$3,500
C Site																
C1 Site Drainage																
	Gutters & Downspouts	DAJ	4" "K-style" aluminum gutters with 2x3 corrugated downspouts.	All edges of roofs have a gutter. There are 4 downspouts total. No downspouts has an extension, tip-ups, or any way to keep the water a minimum of 5' away from the foundation. Gutters are full of debris due to the large cotton wood trees on the property and in neighboring properties.			X			X			X	X	Provide extensions to all downspouts, or direct bury and daylight away from the foundation where applicable. Provide gutter guards to prevent the build-up of debris inside gutters.	\$1,700
	Site grading	DAJ	Site slopes west to east from drainage ditch to Lincoln Avenue. Landscaping is mostly grassy areas following the natural contours of the site. There is no perimeter drain around the foundation.	The lawn off the southeast corner of the house has a depression that does not drain water. Also the curb cut at the street does not effectively drain water and water remains in both areas after a storm. The area between the house and the neighbor to the north slopes from west-east, but is flat in cross section. Rear yard patio has a swale to allow water around the house.			X		X	X					Re-grade southeast area to remove depression; provide swale along north side of house.	\$1,000
D Mechanical, Electrical, Plumbing																
D1 Mechanical																
	Mechanical	DAJ	Forced air system with air conditioning. Bathroom is vented with a ceiling mounted exhaust fan.	Furnace and AC condensing unit are both relatively new, circa 2007, and seem adequate. Mechanical system is mostly using older ductwork from a previous system. Ductwork is not sealed, and is unsupported in various locations.			X			X			X	X	Seal all accessible duct work with liquid applied mastic, per building code. Support ductwork with metal strapping, where necessary.	\$250
D2 Electrical																
	Electrical	DAJ	Electrical service is 125 amps. Wiring throughout the house is Romex with updated receptacles and switches.	Electrical service was upgraded circa 2007, and wiring has been replaced throughout the house. There is still space available in the service panel.		X				X					No recommendations at this time. A service upgrade may be necessary in the future depending on additions or installation of solar PV.	\$0
D2 Plumbing																
	Plumbing	DAJ	Water heater is a standard gas-fired water heater circa 2007. Sewer line is "Orangeburg" clay piping.	Water heater seems to be in decent shape. Sewer line is showing signs of blockage and possible failure and has been recommended to be replaced.		X		X		X				X	Replace sewer line and tie into existing line at the curb. Upon investigation, the sewer line may need to be replace to the City tap.	\$8,000

*Notes:
- Estimated costs assume no lead or asbestos present.
- Lead testing is noted for every area that includes a potential source of lead paint. A series of 3 tests, one for each of the sources of old paint (windows, doors, siding), would likely provide all the testing needed for the entire project.



Alteration Certificate Application

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DATE: October 26, 2016

Property Address: 625 Lincoln Ave

Legal Description (Lot Number, Block Number, and Subdivision):
Lot 2 Schmidt Subdivision

Property Name (Landmarked Name, if known):
625 Lincoln

APPLICANT INFORMATION

Name: Andy Johnson

Address: 922A Main Street, Louisville, CO 80027

Phone: 303-527-1100 Email andy@dajdesign.com

Relationship to Owner: Architect

OWNER INFORMATION

Name: Barbara & Peter Hamlington

Address: 625 Lincoln Ave, Louisville, CO 80027

Phone: 269-277-7673

PROJECT DESCRIPTION (please attach a separate sheet)

Include the following information:

- Site and floor plan drawings showing all proposed exterior alterations
- Specifications describing all proposed exterior alterations
- Elevation drawings including materials, architectural design, and detail.
(Photos of examples are encouraged)

While plans do not need to be professionally done, they must be sufficiently detailed to determine if the project meets the criteria. The Historic Preservation Commission may ask for additional information as the Commission feels necessary.

PHOTOS

Please include current photos of EACH ELEVATION of EACH BUILDING and STRUCTURE on the property.

FOR OFFICE USE ONLY

Date Filed _____		
Application Number _____		
Date of HPC Sub. Review _____	<input type="checkbox"/> No Significant Impact	<input type="checkbox"/> Referred to HPC
HPC Public Hearing Date _____	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Alteration Certificate Released _____		

Historic Preservation Commissi

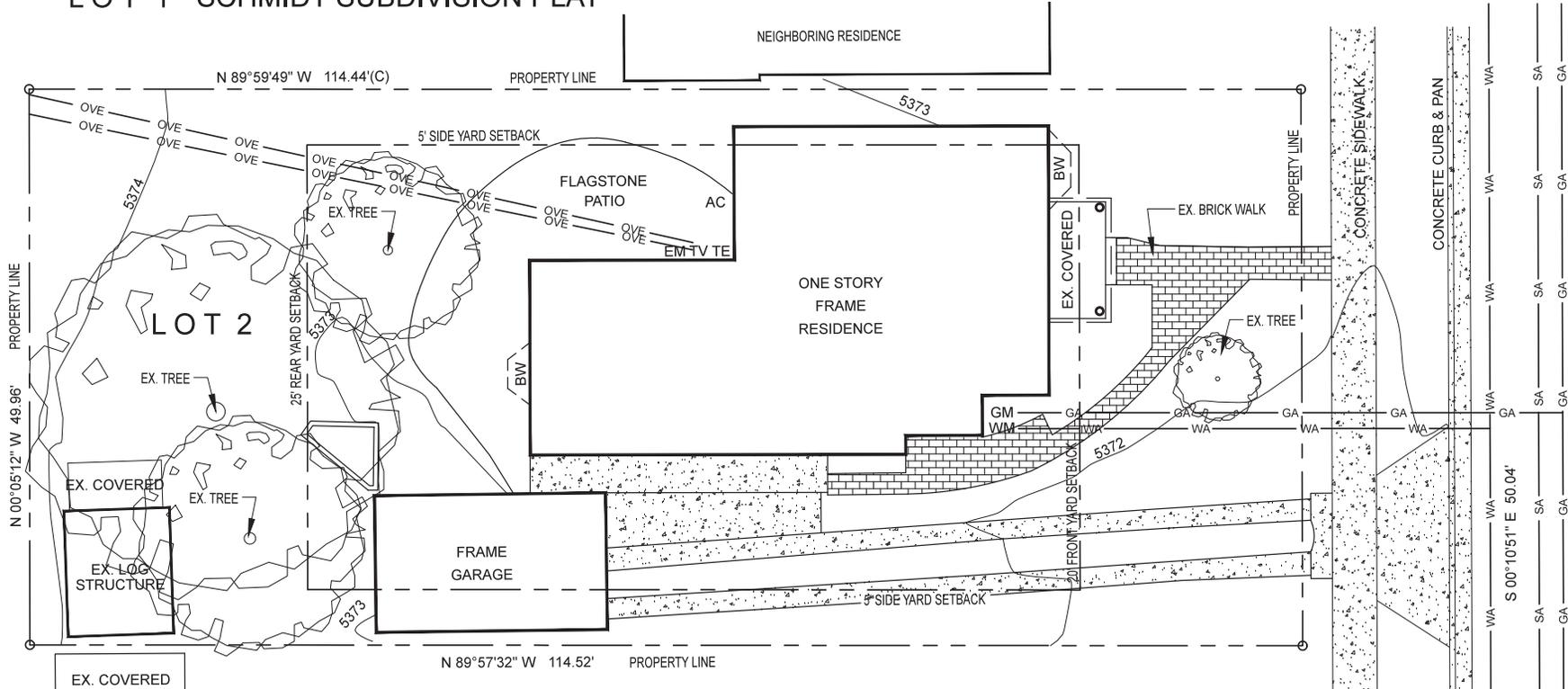
749 Main Street

Louisville CO 80027

www.louisvilleco

303.335.45

LOT 1 SCHMIDT SUBDIVISION PLAT



LINCOLN AVENUE

1
A0

SITE PLAN
SCALE: 1" = 10'-0"



LOT 5 - BLOCK 10
PLEASANT HILL ADDITION

LEGEND

OVERHEAD ELECTRICAL	— OVE — OVE —
UNDERGROUND GAS	— GA — GA —
WATER SERVICE	— WA — WA —
SANITARY SERVICE	— SA — SA —
TE - TELEPHONE PEDESTAL	WW - WINDOW WELL
TV - TELEVISION PEDESTAL	GM - GAS METER
AC - AIR CONDITIONER	EM - ELECTRIC METER

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LOUISVILLE CO 80027

PROJECT
HAMLINGTON RESIDENCE REMODEL
HPC ALTERATION CERTIFICATE SET
625 LINCOLN AVE. LOUISVILLE, CO 80027

DRAWING TITLE
A0 - SITE PLAN
SCALE
1" = 10'-0"

DATE
NOVEMBER 17, 2016

REVISIONS

GENERAL NOTES

LICENSES & PERMITS
ALL WORK SHALL BE PERFORMED UNDER PERMIT FROM ALL GOVERNING AUTHORITIES AND SHALL BE INSPECTED BY THEIR REPRESENTATIVES AND OBSERVED BY THE ARCHITECT.

SAFETY
GENERAL CONTRACTOR SHALL TAKE RESPONSIBILITY FOR SITE SAFETY. GENERAL CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF EMPLOYEES, SUBCONTRACTORS, OCCUPANTS AND THE PROPERTY ITSELF. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT SHALL NOT INCLUDE INSPECTIONS OF THE SAFETY MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME.

SITE DEBRIS
DURING DEMOLITION AND/OR CONSTRUCTION, THE GENERAL CONTRACTOR SHALL KEEP THE SITE CLEAN AND FREE OF DEBRIS. AT JOB COMPLETION, SITE SHALL BE CLEAN AND ALL BYPRODUCTS OF CONSTRUCTION SHALL BE REMOVED PROMPTLY.

VERIFICATION
OWNER AND/OR GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS, AND CONDITIONS ON THESE DRAWINGS PRIOR TO AND DURING CONSTRUCTION. ANY DISCREPANCIES, OMISSIONS OR ERRORS IN THE DRAWINGS, OR ANY DISCREPANCY WHATSOEVER BETWEEN DRAWINGS, SPECIFICATIONS AND/OR EXISTING CONDITIONS, OR ANY OBSTACLE TO WORK PERFORMANCE AS DESCRIBED IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CORRECTION PRIOR TO COMMENCING WORK. FAILURE TO NOTIFY THE DESIGNER WITHIN TEN (10) DAYS OF THE DATE OF THE DRAWINGS SHALL CONSTITUTE FINAL ACCEPTANCE OF THE DRAWINGS. ANY CHANGES MADE AFTER ACCEPTANCE OF THE DRAWINGS SHALL RELEASE THE ARCHITECT FROM ANY FUTURE RESPONSIBILITY/LIABILITY.

INSURANCE
GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY CONTRACTOR'S LIABILITY INSURANCE (PERSONAL AND PROPERTY) AND WORKMAN'S COMPENSATION MEETING MINIMUM COLORADO REQUIREMENTS, AND SHALL PROVIDE PROOF OF SAME UPON REQUEST.

DIMENSIONS
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO FRAMING FOR NEW WALLS FINISH TO EXISTING WALLS, U.N.O. DO NOT SCALE THESE DRAWINGS.

CONSTRUCTION METHOD
THE CONTRACT DRAWINGS AND SPECIFICATIONS SHALL REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

COMPLIANCE
ALL WORK BY THE CONTRACTOR SHALL COMPLY WITH AND BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND AGENCIES HAVING JURISDICTION, AS WELL AS SOILS TEST INFORMATION AND SOIL ENGINEER'S RECOMMENDATIONS.

WORKMANSHIP
IN ALL CASES, REPRESENTATIVES OF THE GENERAL CONTRACTOR EXPERIENCED AND SKILLED IN THEIR TRADE SHALL PERFORM THE WORK. THE OWNER HAS ESTABLISHED THE HIGHEST LEVEL OF QUALITY AND WORKMANSHIP AS A GOAL IN ALL AREAS OF THIS PROJECT AND RESERVES THE RIGHT TO REFUSE WORK NOT UP TO THESE STANDARDS OR MANUFACTURERS' INSTALLATION REQUIREMENTS. GENERAL CONTRACTOR SHALL COORDINATE, SUPERVISE AND TAKE RESPONSIBILITY FOR ALL WORK OF HIS REPRESENTATIVES.

INSPECTIONS
GENERAL CONTRACTOR AND/OR SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AS WELL AS SCHEDULE FOR SAME.

CHANGES & NOTICE OF CHANGE OR DISCREPANCY
OWNER AND GENERAL CONTRACTOR SHALL NEGOTIATE ADDITIONS, DELETIONS, OR REVISIONS TO THE SCOPE OF THE WORK. A WRITTEN RECORD SHALL BE KEPT BY GENERAL CONTRACTOR FOR FINAL ACCOUNTING, AND THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY. THE ARCHITECT SHALL RECEIVE PROMPT WRITTEN NOTICE OF ALL PENDING CHANGES. RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG OWNER, GENERAL CONTRACTOR AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS/HER CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

ARCHITECT'S ROLE
THE ARCHITECT'S SOLE FUNCTION SHALL BE TO ACT AS THE OWNER'S AGENT IN MAKING PERIODIC SITE VISITS, AS REQUESTED BY THE OWNER TO OBSERVE WHETHER THE WORK IS PROCEEDING ACCORDING TO THE CONTRACT DRAWINGS AND SPECIFICATIONS. SUPPORT SERVICES PERFORMED BY THE ARCHITECT, IF ANY, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION SHALL BE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS. THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

DESIGN
COPYRIGHT 2016; DRAWINGS AND DESIGN CONCEPT ARE PROPERTY OF DAJ DESIGN, INC. AND ANY USE OF SAID DRAWINGS AND/OR CONTENT FOR ANY OTHER PROJECT, WITHOUT WRITTEN CONSENT FROM DAJ DESIGN, INC. IS STRICTLY FORBIDDEN BY LAW.

VICINITY MAP



PROJECT INFORMATION

PROJECT ADDRESS:	625 LINCOLN AVE. LOUISVILLE, CO 80027		
PROJECT DESCRIPTION:	RESIDENTIAL REMODEL OF EXISTING HOME.		
LEGAL DESCRIPTION:	LOT 2 SCHMIDT SUB		
ZONING:	RESIDENTIAL LOW DENSITY		
BUILDING HEIGHT:	23' - 6"		
APPLICABLE CODES:	2012 INTERNATIONAL BUILDING CODE (2012 IBC) 2012 INTERNATIONAL FUEL GAS CODE (2012 IFGC) 2012 INTERNATIONAL PLUMBING CODE (2012 IPC) 2012 INTERNATIONAL MECHANICAL CODE (2012 IMC) 2011 NATIONAL ENERGY CODE (2011 NEC) 2012 INTERNATIONAL ENERGY CONSERVATION CODE (2012 IECC) OLD TOWN OVERLAY ZONING DISTRICT REGULATIONS		
LOT SIZE:	5,724 SF		
ZONING CALCULATIONS	ACTUAL	ALLOWED	
LOT COVERAGE AREA:	1,471 SF	2,719 SF	
LOT COVERAGE PERCENTAGE:	25.8 %	47.5 %	
(WITH PRESERVATION LANDMARK BONUS)			
FAR AREA:	2041 SF	3148 SF	
FAR PERCENTAGE:	35.5%	55%	
(WITH PRESERVATION LANDMARK BONUS)			
BUILDING SPECIFICATION	EXISTING	PROPOSED	FINAL
# OF BEDROOMS	2	4	4
# OF FULL BATHS	1	2	2
# OF ¾ BATHS	0	1	1
# OF ½ BATHS	0	0	0
ENCLOSED AREA	UNFINISHED	DEMO	FINISHED
EXISTING MAIN LEVEL	0 SF	576 SF	733 SF
NEW MAIN LEVEL	0 SF	-	357 SF
EXISTING DETACHED GARAGE	192 SF	192 SF	0 SF
NEW ATTACHED GARAGE	0 SF	-	264 SF
NEW TOTAL MAIN LEVEL			1,354 SF
NEW UPPER LEVEL		0 SF	687 SF
NEW TOTAL MAIN LEVEL			687 SF
NEW TOTAL (FINISHED)			2,041 SF



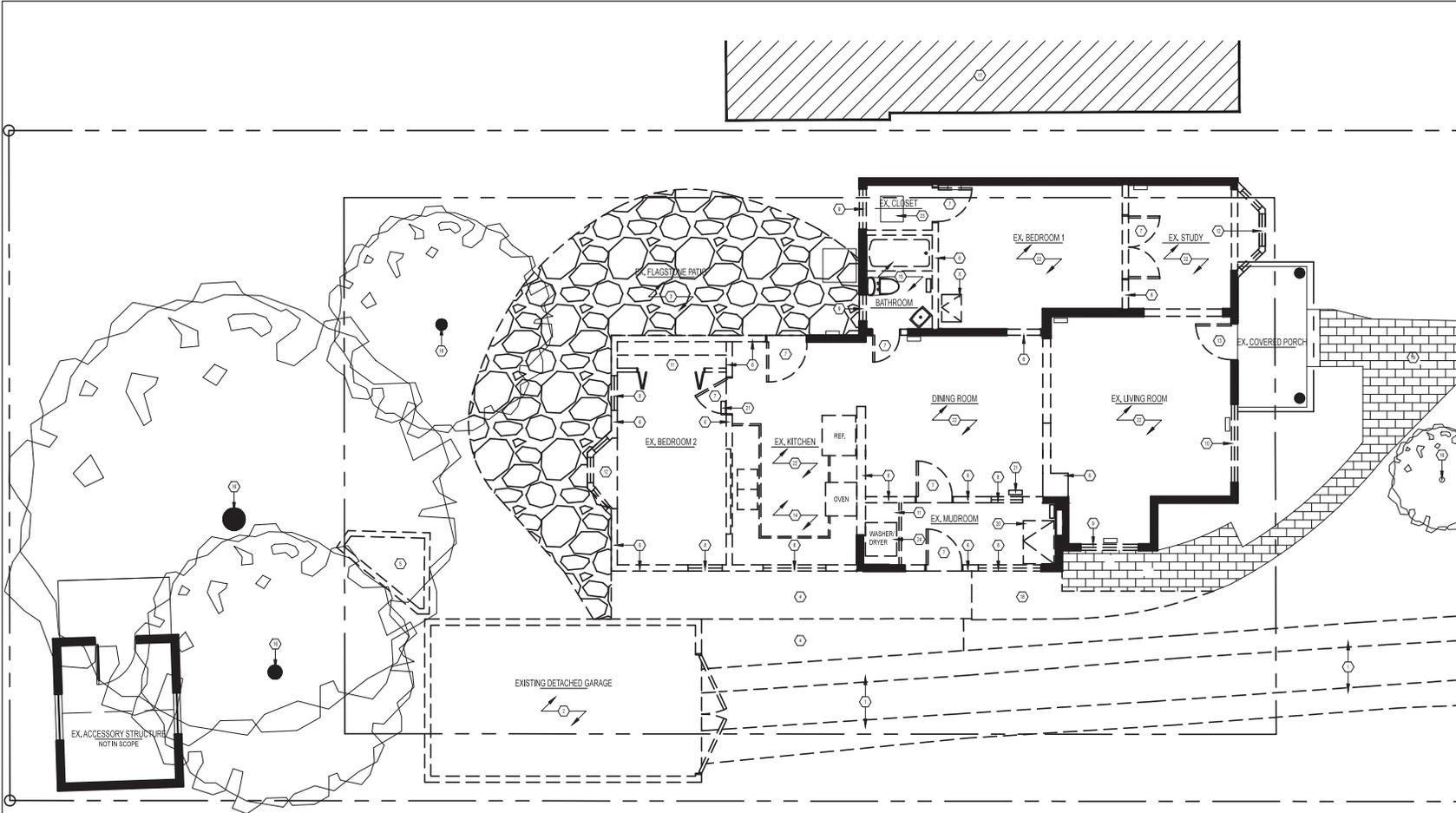
PROJECT
H A M L I N G T O N R E S I D E N C E R E M O D E L
H P C A L T E R A T I O N C E R T I F I C A T E S E T
 625 LINCOLN AVE. LOUISVILLE, CO 80027

922 A MAIN STREET | PHONE:
 LOUISVILLE CO 80027 | 303.527.1100

DRAWING TITLE
A1 - PROJECT INFORMATION
 SCALE
 NOT TO SCALE

DATE
 NOVEMBER 17, 2016

REVISIONS



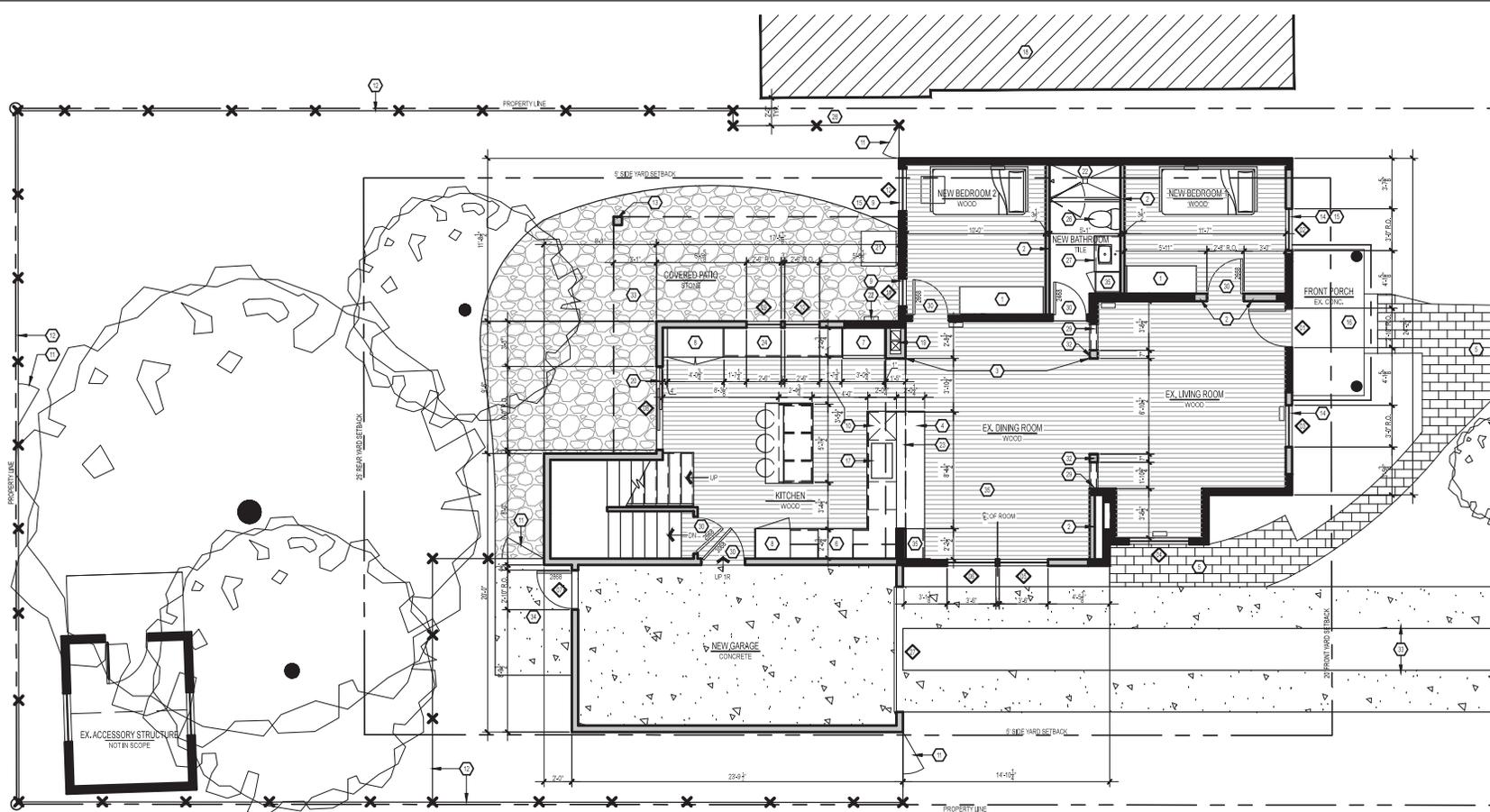
KEY NOTES

1. DEMO EXISTING CONG. DRIVEWAY STRIPS
2. DECONSTRUCT AND REMOVE EXISTING DETACHED GARAGE, REMOVE ALL EXISTING FOUNDATION
3. DEMO EXISTING FLAGSTONE PATIO, SAVE STONES FOR REUSE
4. DEMO EXISTING CONCRETE WALK
5. REMOVE EXISTING RAILROAD TIE PLANTER
6. DEMO PORTION OF EXISTING FRAMED WALL
7. REMOVE EXISTING DOOR
8. REMOVE EXISTING WINDOW
9. REMOVE EXISTING WINDOW, TO BE REPLACE W/ NEW WINDOW IN EXISTING ROUGH OPENING
10. REMOVE EXISTING WINDOW, RE-FRAME ROUGH OPENING FOR NEW WINDOW
11. DEMO EXISTING CLOSET DOORS/SHELVING
12. DEMO EXISTING BAY WINDOW
13. REMOVE EXISTING FRONT DOOR, REFRAME R.O. FOR NEW DOOR & TRANSOM ABOVE
14. REMOVE EXISTING CABINERY, APPLIANCES & PLUMBING FIXTURES THROUGH OUT
15. REMOVE EXISTING TUB, CABINERY & PLUMBING FIXTURE THROUGHOUT
16. PROTECT EXISTING TREES FROM DAMAGE DURING DEMOLITION AND NEW CONSTRUCTION
17. EXISTING NEIGHBORING RESIDENCE SHOWN HATCHED
18. REMOVE PORTION OF EXISTING BRICK WALK
19. PORTION OF EXISTING BRICK WALK TO REMAIN
20. EXISTING CRAWL SPACE HATCH TO BE REMOVED & FILLED IN
21. EXISTING AIR SUPPLY TO BE RELOCATED
22. REMOVE EXISTING FLOOR FINISH, PREP SUB FLOOR FOR NEW HARDWOOD FLOORING
23. EXISTING ATTIC HATCH TO REMAIN
24. REMOVE EXISTING WASHER/DRYER, CONSULT OWNER FOR REUSE

1
A2
DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



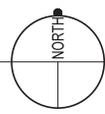
WALL LEGEND
 EXISTING WOOD FRAMED WALLS TO BE DEMOLISHED
 EXISTING WOOD FRAMED WALL TO REMAIN



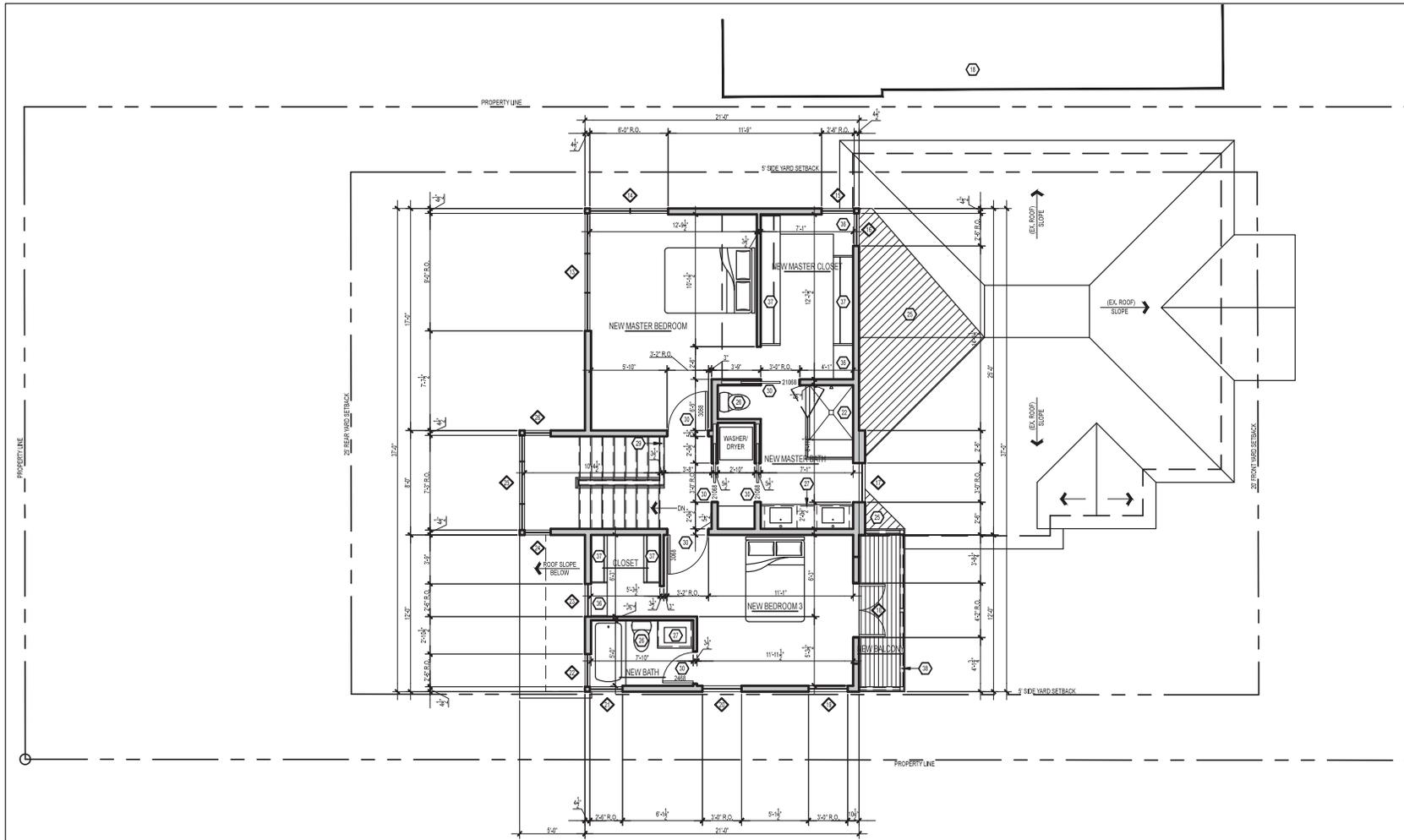
KEY NOTES

1. IKEA CLOSET CABINET, T.B.D.
2. NEW SECTION OF FRAMED WALL
3. ALIGN END OF WALLS
4. COUNTERTOP OVERHANG FOR BAR TOP W/ 2X4 FRAMED WALL BELOW
5. EXISTING BRICK WALK
6. NEW RANGE
7. NEW REFRIGERATOR
8. NEW PANTRY CABINET
9. NEW WINDOW IN EXISTING ROUGH OPENING
10. NEW DISHWASHER
11. NEW WOOD GATE
12. NEW 6" WOOD FENCE
13. NEW 8X8 WOOD POST
14. NEW HISTORIC DOUBLE HUNG WINDOW
15. NEW WINDOW MUST MEET EGRESS REQUIREMENTS
16. EXISTING FRONT PORTICO, CONCRETE PORCH & STEP TO REMAIN
17. NEW KITCHEN SINK
18. EXISTING NEIGHBOR'S RESIDENCE, MAINTAIN 24" CLEAR W/ NEW WOOD FENCE
19. NEW MECHANICAL CHASE
20. EXISTING A/C UNIT IN EXISTING LOCATION
21. EXISTING ELECTRICAL PANEL AND METER IN EXISTING LOCATION
22. NEW SHOWER
23. NEW BULKHEAD/SOFFIT ABOVE, PAINTED G.W.B
24. 42" HIGH COUNTERTOP
25. NEW ROOF TO BE OVER FRAMED, MATCH EXISTING ROOF PITCH
26. NEW TOILET
27. NEW BATH VANITY & BASE CABINET
28. 2' MAINTENANCE SETBACK FROM NEIGHBOR'S HOUSE
29. LOW WALL (36" AFF) W/ WOOD CAP, PAINTED
30. NEW INTERIOR DOOR
31. STONE PAVER PATIO REUSING SALVAGED STONE PAVERS FROM EXISTING PATIO
32. NEW COLUMNS W/ WOOD WRAP
33. NEW CONCRETE DRIVE STRIPS
34. NEW CONCRETE WALK
35. NEW CABINETRY, T.B.D.
36. NEW BUILT IN SHELVING
37. NEW ROD & SHELF
38. NEW WOOD RAILING

1
A3
MAIN LEVEL PLAN
SCALE: 1/8" = 1'-0"



- WALL LEGEND**
- EXISTING WOOD FRAMED WALL TO REMAIN
 - NEW WOOD FRAMED WALL
 - NEW WOOD FENCE

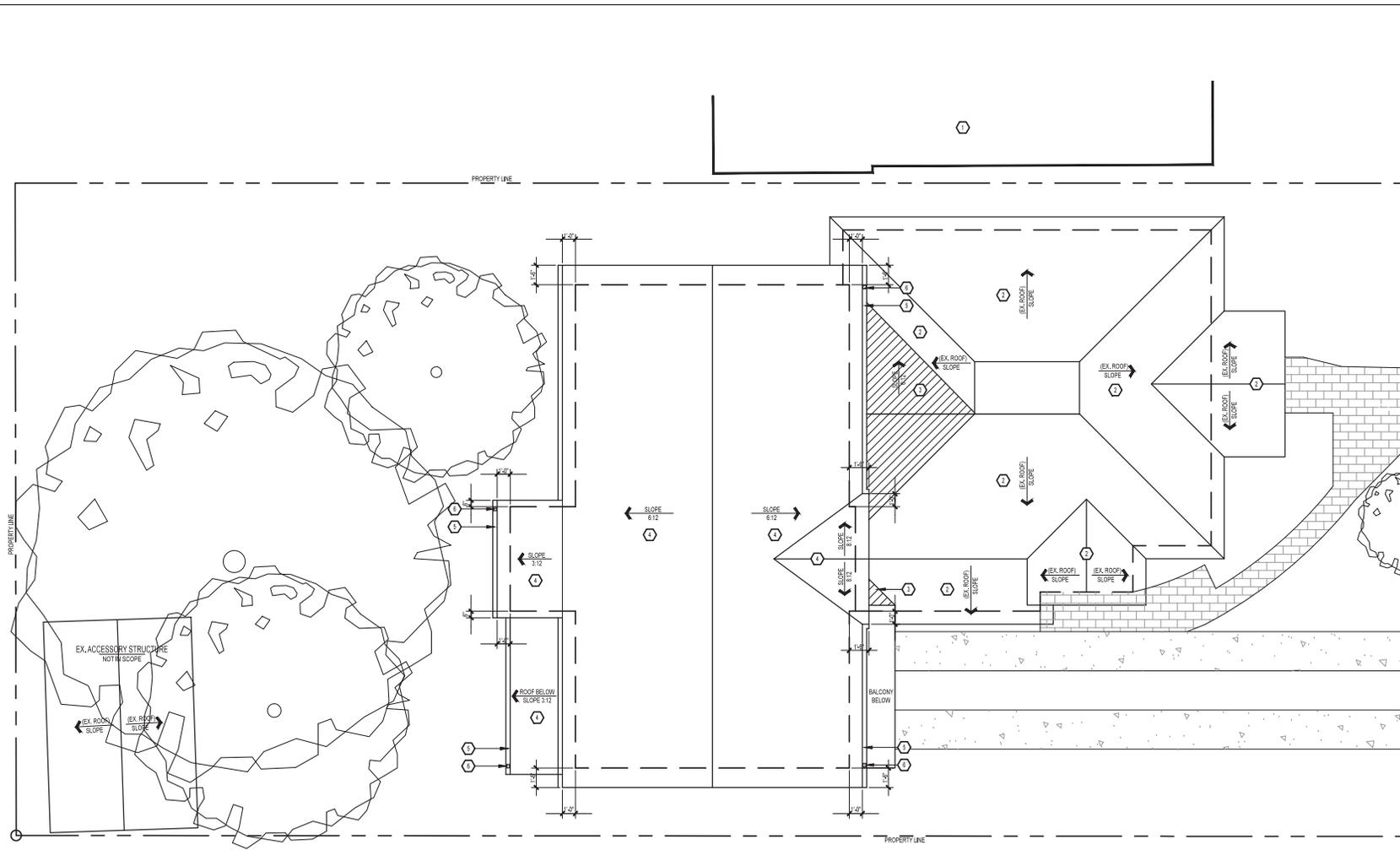


1
A4
UPPER LEVEL PLAN
SCALE: 1/8" = 1'-0"

WALL LEGEND
 ■ EXISTING WOOD FRAMED WALL TO REMAIN
 □ NEW WOOD FRAMED WALL

KEY NOTES

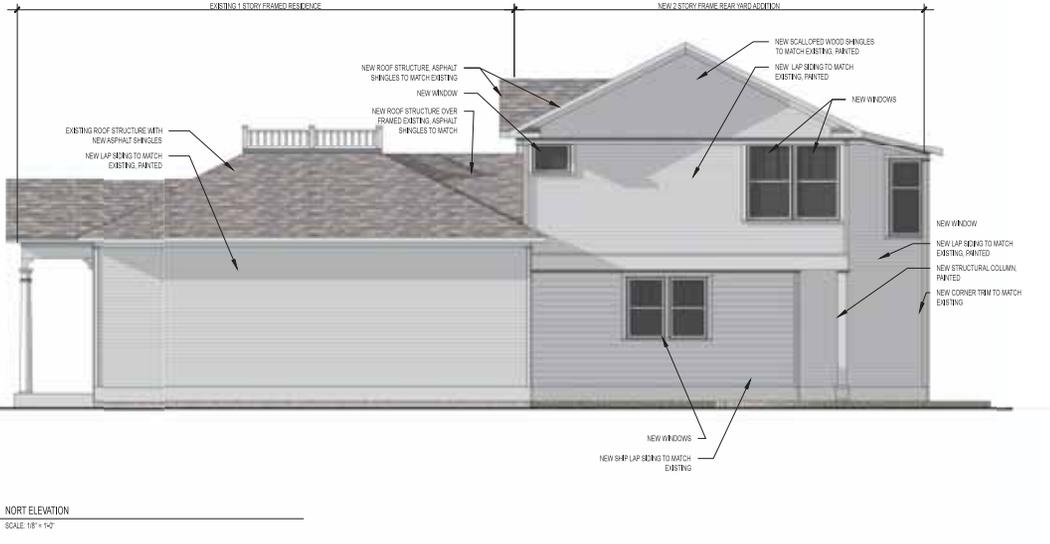
1. IKEA CLOSET CABINET, T.B.D.
2. NEW SECTION OF FRAMED WALL
3. ALIGN END OF WALLS
4. COUNTERTOP OVERHANG FOR BAR TOP W/ 2X4 FRAMED WALL BELOW
5. EXISTING BRICK WALK
6. NEW RANGE
7. NEW REFRIGERATOR
8. NEW PANTRY CABINET
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33. NEW CONCRETE DRIVE STRIPS
34. NEW CONCRETE WALK
35. NEW CABINETRY, T.B.D.
36. NEW BUILT IN SHELVING
37. NEW ROD & SHELF
38. NEW WOOD RAILING



- ### KEY NOTES
1. EXISTING NEIGHBORING STRUCTURE
 2. EXISTING ROOF STRUCTURE, NEW ASPHALT SHINGLES, TO MATCH EXISTING
 3. NEW OVER FRAMED ROOF STRUCTURE, ASPHALT SHINGLES TO MATCH EXISTING
 4. NEW ROOF STRUCTURE, ASPHALT SHINGLES TO MATCH EXISTING
 5. NEW GUTTER, TO MATCH EXISTING
 6. NEW DOWNSPOUT, TO MATCH EXISTING

1 ROOF PLAN
A5 SCALE: 1/8" = 1'-0"







Historic Preservation Fund Application

The following information must be provided to ensure adequate review of your proposal. Please type or print answers to each question. Please keep your responses brief.

1. OWNER/APPLICANT INFORMATION

Owner or Organization

- a. Name: Barbara & Peter Hamlington
- b. Mailing Address: 625 Lincoln Ave, Louisville, CO 80027
- c. Telephone: 269-277-7673
- d. Email: hamlingtonba@gmail.com

Applicant/Contact Person (if different than owner)

- a. Name: Andy Johnson
- b. Mailing Address: 922A Main Street, Louisville, CO 80027
- c. Telephone: 303-527-1100
- d. Email: andy@dajdesign.com

2. PROPERTY INFORMATION

- a. Address: 625 Lincoln Ave

b. Year of construction or estimate: circa 1902

C. Is the building designated as a landmark or in an historic district? (local, state, or federal) If so, what is the name of the landmarked property: 625 Lincoln

The Grant Fund application is being submitted along with the Landmark and Alteration Certificate applications.

D. Attach information on the history of the site, including old photos and social history if available.

Please see Social History and Colorado Cultural Resource Survey

E. Primary Use of Property (check one): *Residential*

Commercial

3. PROJECT DESCRIPTION (Please do not exceed space provided below.)

a. Provide a brief description of the proposed scope of work.

Historic Preservation of the existing primary structure, deconstruction of the enclosed porch on the primary structure, deconstruction of the detached garage, and construction of a 1308 SF two-story addition to the west side of the original house.

b. Describe how the work will be carried out and by whom. Include a description of elements to be rehabilitated or replaced and describe preservation work techniques that will be used.

Windows and doors are to be replaced to original location and size, siding and trim restored and/or replaced where applicable, roof rafters in attic repaired, false interior ceiling removed and structure repaired, gutters and downspouts replaced, foundation tuck and pointed and re-coated with concrete parge, regrade around house to maintain proper drainage.

c. Explain why the project needs rehabilitation grant funds now. Include a description of community support and/or community benefits, if any.

Grant funding is being requested now so the historic preservation scope of work can be combined with new construction addition.

4. DESCRIPTION OF REHABILITATION

Feature A	
<p>NAME OF ARCHITECTURAL FEATURE: <u>Foundation & Crawlspace</u></p> <p>Describe feature and its condition:</p> <p>Please see the details in the HSA by DAJ Design.</p>	<p>Describe proposed work on feature:</p> <p>Repair 2x6 bearing plate, where possible; tuck point stone foundation where accessible; if feasible and appropriate, repair or redo cement stucco parge coat in combination with any other work being conducted to the house (i.e. grading).</p>
Feature B	
<p>NAME OF ARCHITECTURAL FEATURE: <u>Floor Construction</u></p> <p>Describe feature and its condition:</p> <p>Please see the details in the HSA by DAJ Design.</p>	<p style="text-align: center;">Text</p> <p>Describe proposed work on feature:</p> <p>Provide blocking between floor joists at center support.</p>
Feature C	

NAME OF ARCHITECTURAL
FEATURE: Roof Construction

Describe feature and its condition:

Please see the details in the HSA by DAJ
Design.

Describe proposed work on feature:

Repair broken roof rafter. Remove "false" interior
ceiling provide access to existing roof framing.
Replace 1x struts with 2x material, per a
structural engineer's recommendations.

4. DESCRIPTION OF REHABILITATION (continued)

Feature D	
<p>NAME OF ARCHITECTURAL FEATURE: <u>Exterior Walls</u></p> <p>Describe feature and its condition:</p> <p>Please see the details in the HSA by DAJ Design.</p>	<p>Describe proposed work on feature:</p> <p>Replace composite siding on the north side with lap siding to match the original. Strip paint and repair original siding where appropriate. Prep, seal and repaint with a proper primer to maintain longevity.</p>
Feature E	
<p>NAME OF ARCHITECTURAL FEATURE: <u>Exterior Windows</u></p> <p>Describe feature and its condition:</p> <p>Please see the details in the HSA by DAJ Design.</p>	<p>Describe proposed work on feature:</p> <p>Replace all windows with historic preservation compatible aluminum clad wood windows.</p>
Feature F	

<p>NAME OF ARCHITECTURAL FEATURE: <u>Exterior Door</u></p> <p>Describe feature and its condition:</p> <p>Please see the details in the HSA by DAJ Design.</p>	<p>Describe proposed work on feature:</p> <p>Replace front door with historic preservation compatible door and transom.</p>
---	---

Please photocopy this sheet and attach copies if necessary.

<p>NAME OF ARCHITECTURAL FEATURE: <u>Roof Openings</u></p> <p>Describe feature and its condition:</p> <p>Please see the details in the HSA by DAJ Design.</p>	<p>Describe proposed work on feature:</p> <p>Add short, decorative railing detail at top of flat roof.</p>
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Please photocopy this sheet and attach copies if necessary.

<p>NAME OF ARCHITECTURAL FEATURE: <u>Front Porch</u></p> <p>Describe feature and its condition:</p> <p>Please see the details in the HSA by DAJ Design.</p>	<p>Describe proposed work on feature:</p> <p>Reinforce 2x wood band and its connection to the wood columns.</p>
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Please photocopy this sheet and attach copies if necessary.

<p>NAME OF ARCHITECTURAL FEATURE: <u>Exterior Trim/Ornamentation</u></p> <p>Describe feature and its condition:</p> <p>Please see the details in the HSA by DAJ Design.</p>	<p>Describe proposed work on feature:</p> <p>Restore wood corner trim. Restore or replace all fascia and soffit. Replace all window trim at window replacement trim with historic wood window trim. Restore window trim at south gable end pop-out window.</p>
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Please photocopy this sheet and attach copies if necessary.

<p>NAME OF ARCHITECTURAL FEATURE: <u>Site drainage</u></p> <p>Describe feature and its condition:</p> <p>Please see the details in the HSA by DAJ Design.</p>	<p>Describe proposed work on feature:</p> <p>Re-grade southeast area to remove depression; provide swale along north side of house.</p>
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Please photocopy this sheet and attach copies if necessary.

5. COST ESTIMATE OF PROPOSED WORK

*Please provide a budget that includes accurate estimated costs of your project. Include an **itemized breakdown** of work to be funded by the incentives and the work to be funded by the applicant. Include only eligible work elements. Use additional sheets as necessary. **(Please reference this section in your contractor’s bid attachment).***

Feature	Work to be Funded	Type and Amount of Incentive Sought	Applicant Cost
A.	Foundation / Crawlspace	\$ \$2,000	\$ \$3,000
B.	Floor Construction	\$ \$800	\$ \$1,600
C.	Roof Construction	\$ \$1,200	\$ \$3,400
D.	Exterior Walls	\$ \$3,000	\$ \$6,000
E.	Exterior Windows	\$ \$8,000	\$ \$12,000
F.	Exterior Door	\$ \$2,000	\$ \$2,000
G.	Roof Openings	\$ \$1,700	\$ \$3,400
H.	Porches	\$ \$800	\$ \$1,600
I.	Exterior Trim / Ornamentation	\$ \$2,800	\$ \$3,400
J.	Site Drainage	\$ \$1,500	\$ \$6,000
K.		\$	\$
	Subtotal Incentive Cost/Applicant Cost	\$ \$21,000	\$ \$42,400

Total Project Cost	\$ 413,344
---------------------------	------------

If partial incentive funding were awarded, would you complete your project?

YES

NO

6. ADDITIONAL MATERIALS REQUIRED

The following items must be submitted along with this application:

- a. One set of photographs or slides for each feature as described in Item 4 "Description of Rehabilitation". Please label of each photograph with the address of your property and the feature number.

- b. A construction bid if one has been made for your project (recommended).

- c. Working or scaled drawings, spec sheets, or materials of the proposed work if applicable to your project.

7. Assurances

The Applicant hereby agrees and acknowledges that:

A. Funds received as a result of this application will be expended solely on described projects, and must be completed within established timelines.

B. Awards from the Historic Preservation Fund may differ in type and amount from those requested on an application.

C. Recipients must submit their project for any required design review by the Historic Preservation Commission and acquire any required building permits before work has started.

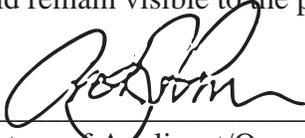
D. All work approved for grant funding must be completed even if only partially funded through this incentives program.

E. Unless the conditions of approval otherwise provide, disbursement of grant or rebate funds will occur after completion of the project.

F. The incentive funds may be considered taxable income and Applicant should consult a tax professional if he or she has questions.

G. If this has not already occurred, Applicant will submit an application to landmark the property to the Historic Preservation Commission. If landmarking is not possible for whatever reason, Applicant will enter into a preservation easement agreement with the City of Louisville. Any destruction or obscuring of the visibility of projects funded by this grant program may result in the City seeking reimbursement.

H. The Historic Preservation Fund was approved by the voters and City Council of Louisville for the purpose of retaining the city's historic character, so all work completed with these funds should remain visible to the public.



Signature of Applicant/Owner

October 26, 2016

Date

Hamlington Cost Estimate

Hamlington Remodel Project
 Peter and Barbra
 625 Lincoln Ave, Louisville, CO 80027

Estimate Date
 9/15/2016



Item	Cost estimate		Notes/comments	
01 - General Conditions				
Insurance				
Homeowners Insurance Policy by owner		a1	By owner	
General Liability and Workers comp by GC		a2	Included	
Builder's Risk by owner		a3	By owner	
Design Professional Fees				
Architectural Fees		a5	By owner	
Structural engineer site visit	\$1,000.00	a6	Estimate only. Assumes footing, foundation and two framing inspections.	
Soils engineer site visit	\$400.00	a7	Estimate only. Assumes one open hole inspection for new foundation	
Asbestos testing	\$0.00	a7a	Assumes testing or abatement not required	
Energy Rater Fee's for onsite inspection		a9	Assumes no rater required by city. Assumes no blower door test required.	
Survey + Staking +form check+ ILC+ Ht. cert	\$1,400.00	a10	Estimate only. Assumes foundation stake to setback, form check if required, ht. cert and ILC.	
Printing cost	\$250.00	a11		
Site Utilities Fees				
Temporary Power		a13	NA. Assumes using onsite power	
Water tap fee		a14	NA	
Sewer tap fee		a15	NA	
Permits				
by owner		a18	By Owner	
Temporary Toilet rental	\$780.00	a19	Monthly rate of \$115 per month	
Temporary Fencing/construction fencingsecurity fence	\$350.00	a20	If required, construction fence at sidewalk to deter after hours ped traffic.	
Weather Protection	\$250.00	a21	Tarps for roof.	
Waste, Recycling & Clean Up	\$1,650.00	a22	Assumes 30 yd roll off on site, BCI trailer when required.	
Tool rental	\$250.00	a23	If required	
	\$6,330.00			
02 - Site				
02050	Misc. site prep	\$1,600.00	b1	As required. T&M estiamte to pull all stone material for future use
02210	Asbestos removal		b2	If required
02220	Excavation	\$5,200.00	b3	T&M only. Assumes access by mini ex and skid steer
	Export material	\$1,600.00	b4	T&M only. Assumes access by mini ex and skid steer
	Back fill and rough grading	\$6,000.00	b7	T&M only. Estimate only
	Import material for fill	\$1,500.00	b9	NA. Assumes fill material left onsite.
02660	Water re-connect		b10	NA.
02730	Sewer replacement/repair	\$4,500.00	b12	Estimate only. Assumes replacement to sidewalk and no work in the rightaway. Depth unknown.
02740	Gas line reconnect		b13	NA.
02780	Power & Communications (dry lines), move to subsurface utilities		b14	assumes no change from overhead to underground
	Privacy fence and yard fencing	\$7,500.00	b15	Estimate only
	Tree Removal and/or trim back	\$750.00	b18	Allowance as needed
02900	Landscaping		b19	By other
		\$28,650.00		
03 - Concrete				
03300	Foundation walls, footers	\$11,500.00	c1	Assumes footers
	Concrete demo and removal	\$3,800.00	c2	TBD
	Concrete flatwork	\$7,500.00	c3	Driveway, garage floor and mud slab in crawl space
		\$0.00	c4	

Hamlington Cost Estimate

	Concrete coring or sawing	\$400.00	c5	Estimate only. Actural TBD
03350	Concrete pumping	\$1,200.00	c6	T&M only
02520	Wall bracing-required by engineer		c7	T&M only. If required
		\$24,400.00		
04 - Masonry and Stucco				
04220			d1	
04250			d2	
		\$0.00		
05 - Metals				
05120	Struct steel, fabrication	\$420.00	e1	TBD
05520	Welding	\$250.00	e2	TBD
	Window well ladders	\$0.00	e3	NA
	Metal handrails	\$0.00	e5	NA
		\$670.00		
06 - Wood				
06005	Temp shoring and materials	\$350.00	e6	Temp framing only
06100	Rough framing materials	\$11,000.00	e7	Estimate only. Actural tbd during demo and framing. Existing conditions may vary lumber required.
	Demo labor	\$6,500.00		Estimate based on plans only
	Rough framing labor	\$20,000.00	e8	Estimate based on plans only.
06123	window/door install labor	\$2,500.00	e9	
	Trusses	\$800.00	e10	Estimate only. Actural at roof framing
06190	Interior trim material	\$4,000.00	e11	Allowance Estimate
06200	Interior trim labor	\$6,000.00	e12	Estimate. Actual scope tbd.
	Cabinets	\$18,000.00	e13	Allowance
	Cabinet install labor	\$2,900.00	e14	Assumes no cabinet assembly (IKEA)
06400	Interior Doors	\$2,500.00	e15	Assumes TS1000 1-38" doors
	Interior trim other/misc.	\$1,500.00	e16	Allowance
06410	Door and cabinet hardware	\$800.00	e17	Allowance
	Exterior Trim labor	\$7,500.00	e18	
	Exterior siding, trim, soffit and fascia	\$4,200.00		TBD. Assumes custom mill to match existing
		\$88,550.00		
Thermal and Moisture Protection				
07100	Waterproofing & Perimeter Drain	\$1,200.00	f1	Actual TBD at excavation. Assumes tie in to existing. Add \$400 for sump pit
07210	Building Insulation	\$4,500.00	f6	TBD
07301	Roofing-Aspahlt shingles and metal per plan	\$11,500.00	f7	Assumes new asphalt for entire roofing
07620	Gutters and down spouts	\$900.00	f9	K-style only to new addition areas
		\$18,100.00		
Doors & Windows				
08610	Windows & Exterior doors	\$14,000.00	g2	TBD
08710	Shower enclosures (Glass)	\$1,500.00	g3	TBD. Assumes master shower only
08800	Overhead door	\$1,600.00	g4	TBD
	Mirrors	\$300.00	g5	Allowance
		\$17,400.00		
Finishes				
09250	Gypsum Board (drywall) house only	\$14,500.00	h1	TBD
09300	Duroock or denzsheild shower areas		h2	Included in drywall estimate
	tile material and labor	\$14,000.00	h3	TBD
09550	Hardwood flooring	\$9,200.00	h6	Assumes new flooring to LR, DR, Kitchen only. Main floor BR's to remain
09680	Carpet	\$1,600.00	h7	TBD
09900	Painting interior	\$10,500.00	h8	TBD

Hamlington Cost Estimate

09920	Painting exterior	\$5,750.00	h9	TBD. Assume repainting entire exterior.
09930	Counter tops	\$5,000.00	h10	TBD
		\$60,550.00		
Specialties				
10800	Toilet & Bath Accessories	\$500.00	i1	Allowance
		\$500.00	i2	
Equipment				
11450	Residential Equipment (Appliances)		j1	By owner
		\$0.00		
Special Construction				
13600	Solar Energy Systems		k1	By owner. TBD
		\$0.00		
Mechanical				
15400	Plumbing	\$15,700.00	l1	TBD
15440	Plumbing Fixtures	\$6,500.00	l4	TBD
15500	Heating, Ventilation, & Air Conditioning	\$7,500.00	l7	TBD-Asumes new furnance. Use existing AC
	Make-up air kit for kitchen exhaust hood	\$400.00	l11	Estimate-TBD; for any hood over 400cfm
15555	Exhaust piping installed for exhaust hood	\$350.00	l12	Estimate-TBD
15700	Radon Mitigation-installed	\$0.00	l13	TBD
15870	Whole house fan	\$1,800.00	l15	Allowance
	Attic Fan	\$300.00		Alowance \$200 for fan, \$100 labor allowance.
		\$32,550.00		
Electrical				
16100	Electrical	\$16,000.00	m1	Panel upgrage to 200 amp. Required.
16500	Light fixtures	\$2,200.00	m2	TBD
	Ext/Landscape Lighting		m3	na
16700	Communications (data, television, stereo, phone, speakers)		m4	included in Electrical quote
		\$18,200.00		
Misc.				
	Window Cleaning	\$300.00	n1	Estimate only
	Ducts cleaned	\$300.00	n2	Estimate only
	Final cleaning	\$400.00	n3	Estimate only
		\$1,000.00		
Building Total				
		\$296,900.00		
	General labor- No GC Fee applied	\$9,500.00	o1	Hourly @ \$40 per hr
	Supeintendent- No GC Fee applied	\$15,000.00	o2	Hourly @ \$40 per hr.
10%	Contingency/Misc. (% of Building Total)	\$29,690.00	o3	
16%	Contractor Profit and Overhead	\$52,254.40	o4	fee not to exceed except unless substantial change orders change building total by 10% or more. 12 % GC fee applied to the exceed cost.
Benchmark Total				
		\$403,344.40		
Owner purchases (no markup)				
	Appliances, including BBQ grill	\$10,000.00		Allowance by owner
	Building permit			TBD
Project Total				
		\$413,344.40		

All Cost are estimates only.

LOUISVILLE HISTORIC PRESERVATION COMMISSION

STAFF REPORT

November 21, 2016

ITEM: Case #2016-010-LANDMARK Landmark, Alteration Certificate and Preservation and Restoration Grant for 701 Garfield Avenue.

APPLICANT: Brian and Betsy Harvey
1332 Lark Court
Louisville, CO 80027

OWNER: Same

PROJECT INFORMATION:
ADDRESS: 701 Garfield
LEGAL DESCRIPTION: Lot 9 less the north 10 feet, plus Lots 10 and 11, Block 8, Louisville Heights subdivision

DATE OF CONSTRUCTION: 1907

REQUEST: A request to landmark 701 Garfield Avenue. A request for an alteration certificate and a request for a Preservation and Restoration Grant for restoration work on the historic structure at 701 Garfield Avenue.



HISTORICAL BACKGROUND:

Information from Bridget Bacon, Louisville Historical Museum Coordinator

Anthony C. V. Romeo built this house in 1907 out of stone brought from Marshall, Colorado. He and his wife, who were both born in Italy, and their children were a lively, talented, musical family. “Tony” Romeo was a miner, union organizer, and the owner of a second hand goods store on Front Street in downtown Louisville. The Romeo family owned and lived in the house until 1919. Other longtime owners were the Binks and Maxwell families.



701 Garfield Avenue – ca. 1914 with Romeo Family



701 Garfield Avenue – 1948 Assessor's Photo



701 Garfield Avenue – East Elevation



701 Garfield Avenue – Southeast Corner



701 Garfield Avenue – Northwest Corner

Additional current photos of the property are available here: <https://www.redfin.com/CO/Louisville/701-Garfield-Ave-80027/home/35262325>

ARCHITECTURAL INTEGRITY:

From 2000 Old Town Survey

This 1 1/2 story stone house is situated on an 8,000 SF lot, on the west side of Garfield Street, west of downtown Louisville. A stone foundation supports the building and its exterior walls are natural buff colored stone, random sizes with battered face. The roof is an 8:12 pitched hip with four dormers, one on each side of the symmetrical gable roof. There are newer blue-grey asphalt shingles and boxed eaves. There are no

chimneys. The windows on the first floor of the original structure are 1/1 wood double-hung sash, with painted white wood frames, bronze colored aluminum storm windows, and stone cornices and sills. Windows on the addition to the west are single-hung, white vinyl framed. Windows on the addition to the south are wood fixed casement with 2 jalousie windows for ventilation. The house's façade fronts toward Garfield Street on the east elevation. An unfinished modern wood-paneled entry door has three upper sash lights. The front façade contains a circular fixed window that is original to the structure. This door opens onto a 4-step concrete porch, which extends nearly the full length of the facade. Painted white wood round columns support a low pitch hip porch roof. The architectural features of structure (central dormer, hipped roof, flared eaves, and doric columns) are typical of the Classic Cottage style.

Changes to the structure since its construction 1907 include:

- Additions to the south and west sides of the structure. Based on building permit records, construction of the west addition occurred in 2011. It is likely that the side porch the south elevation was construction in the 1990s. These additions are not in the 1948 photo.
- Construction of a wood frame detached garage on the southwest corner of the property. The date of the garage construction is unknown. An addition was made to the garage in 1971.
- Enlargement of the original dormers after 1948, addition of a dormer to the west side, and removal of the balcony on the east elevation
- Removal of two corbeled brick chimneys.

HISTORICAL SIGNIFICANCE AND CRITERIA FOR LISTING AS LOCAL LANDMARK:

Landmarks must be at least 50 years old and meet one or more of the criteria for architectural, social or geographic/environmental significance as described in Louisville Municipal Code (LMC) Section 15.36.050(A). The City Council may exempt a landmark from the age standard if the Council finds the proposal to be exceptionally important in other significance criteria:

1. *Historic landmarks shall meet one or more of the following criteria:*
 - a. *Architectural.*
 - (1) *Exemplifies specific elements of an architectural style or period.*
 - (2) *Example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally.*
 - (3) *Demonstrates superior craftsmanship or high artistic value.*
 - (4) *Represents an innovation in construction, materials or design.*
 - (5) *Style particularly associated with the Louisville area.*
 - (6) *Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.*
 - (7) *Pattern or grouping of elements representing at least one of the above criteria.*
 - (8) *Significant historic remodel.*
 - b. *Social.*
 - (1) *Site of historic event that had an effect upon society.*

- (2) *Exemplifies cultural, political, economic or social heritage of the community.*
 - (3) *Association with a notable person or the work of a notable person.*
 - c. *Geographic/environmental.*
 - (1) *Enhances sense of identity of the community.*
 - (2) *An established and familiar natural setting or visual feature that is culturally significant to the history of Louisville.*
- 2. *Prehistoric and historic archaeological sites shall meet one or more of the following:*
 - a. *Architectural.*
 - (1) *Exhibits distinctive characteristics of a type, period or manner of construction.*
 - (2) *A unique example of structure.*
 - b. *Social.*
 - (1) *Potential to make an important contribution to the knowledge of the area's history or prehistory.*
 - (2) *Association with an important event in the area's history.*
 - (3) *Association with a notable person(s) or the work of a notable person(s).*
 - (4) *A typical example/association with a particular ethnic group.*
 - (5) *A unique example of an event in Louisville's history.*
 - c. *Geographic/environmental.*
 - (1) *Geographically or regionally important.*
- 3. *All properties will be evaluated for physical integrity and shall meet one or more of the following criteria:*
 - a. *Shows character, interest or value as part of the development, heritage or cultural characteristics of the community, region, state, or nation.*
 - b. *Retains original design features, materials and/or character.*
 - c. *Remains in its original location, has the same historic context after having been moved, or was moved more than 50 years ago.*
 - d. *Has been accurately reconstructed or restored based on historic documentation.*

Staff finds that this application complies with the above criterion by the following:

Social Significance - Exemplifies cultural, political, economic or social heritage of the community.

This house is associated with the Romeo family, which has ties to Louisville's mining and union heritage and the ethnic Italian heritage of early 20th Louisville.

Architectural Significance - Demonstrates superior craftsmanship or high artistic value.

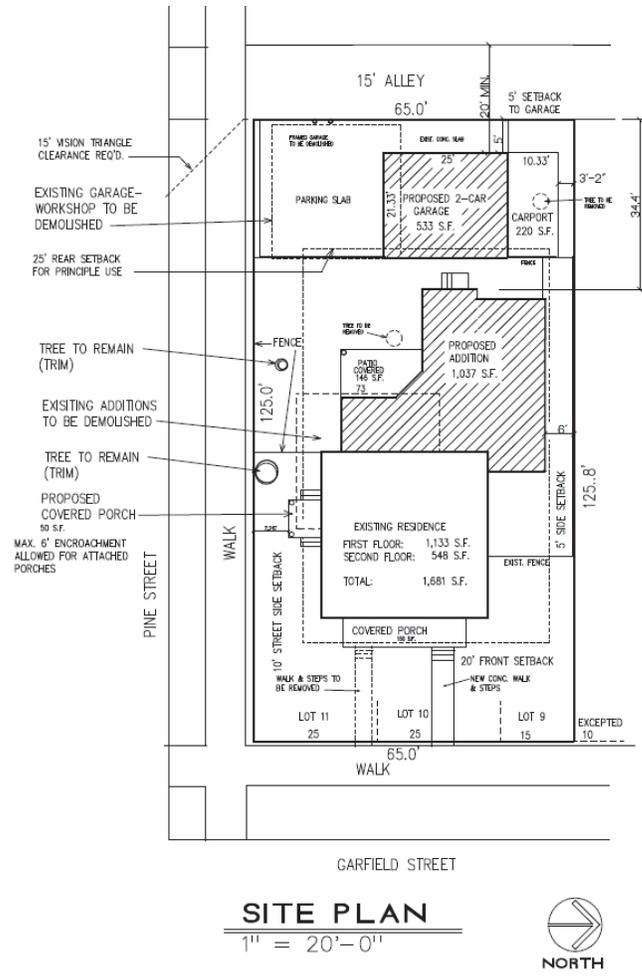
The structure is Louisville's only example of a residential stone dwelling from the early 20th century. The structure is also an example of the Classic Cottage style.

ALTERATION CERTIFICATE REQUEST:

The applicant is applying for an alteration certificate to allow for an addition on the west and north sides of the existing house. The application also includes the restoration of the existing structure.

The City previously approved a demolition permit on the property was previously approved for the following:

- Removal of the sunroom on the southern elevation
- Removal of the enclosed porch on the west elevation
- Removal of the detached garage facing Pine Street



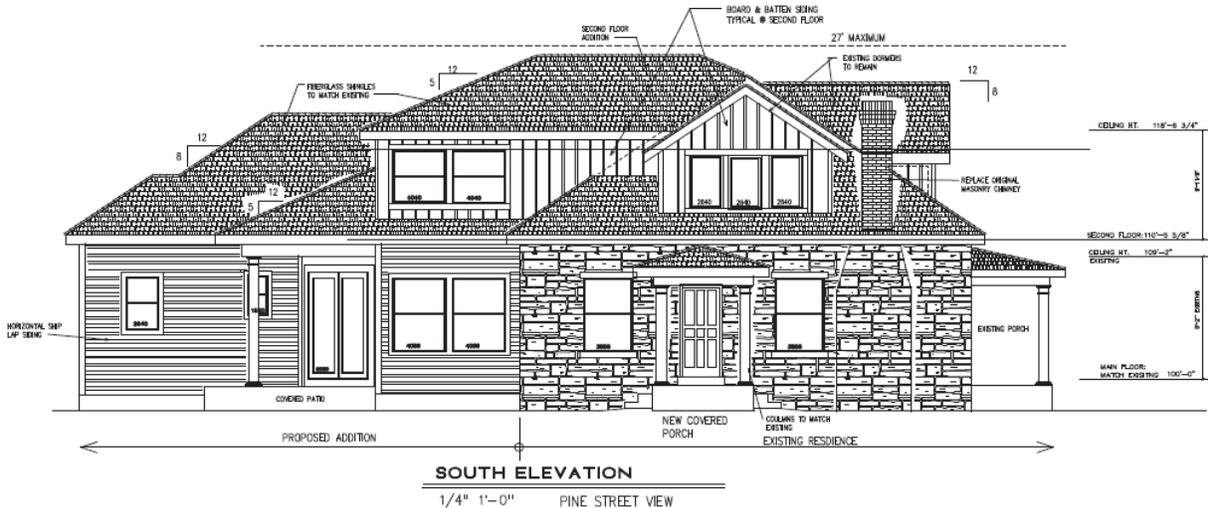
701 Garfield Avenue – Proposed Site Plan and Demolition Plan



701 Garfield Avenue – Current Photo



701 Garfield Avenue – Proposed East Elevation



701 Garfield Avenue – Proposed South Elevation

The proposed addition sits behind the existing structure. The two-story portion of the addition extends the north dormer while removing the west dormer and a portion of the roof. The addition also includes a one-story, hipped roof structure on the northwest corner. The proposed roof on the addition is fiberglass shingles and the siding is a combination of shiplap siding and vertical board & batten siding. The addition also includes rear patio covered with a hipped roof, a side porch on the south elevation and construction of a new detached garage/carport along the alley.

The applicants are also requesting to modify the following on the existing structure:

- Modifying the east elevation to put a door in the northernmost bay and the window is in the southernmost bay
- Modifying the openings on the north elevation to allow for kitchen cabinets
- Replacing windows throughout the structure
- Reconstructing the masonry chimney on south elevation
- Modification of the north dormer

Section 15.36.120 of the LMC gives the criteria for evaluating alteration certificates:

A. The commission shall issue an alteration certificate for any proposed work on a designated historical site or district only if the proposed work would not detrimentally alter, destroy or adversely affect any architectural or landscape feature which contributes to its original historical designation.

B. The commission must find the proposed alteration to be visually compatible with designated historic structures located on the property in terms of design, finish, material, scale, mass and height. When the subject site is in an historic district, the commission must also find that the proposed alteration is visually compatible with characteristics that define the district. For the purposes of this chapter, the term "compatible" shall mean consistent with, harmonious with, or enhancing to the mixture of complementary architectural styles, either of the

architecture of an individual structure or the character of the surrounding structures.

C. The commission will use the following criteria to determine compatibility:

- 1. The effect upon the general historical and architectural character of the structure and property.*
- 2. The architectural style, arrangement, texture, and material used on the existing and proposed structures and their relation and compatibility with other structures.*
- 3. The size of the structure, its setbacks, its site, location, and the appropriateness thereof, when compared to existing structures and the site.*
- 4. The compatibility of accessory structures and fences with the main structure on the site, and with other structures.*
- 5. The effects of the proposed work in creating, changing, destroying, or otherwise impacting the exterior architectural features of the structure upon which such work is done.*
- 6. The condition of existing improvements and whether they are a hazard to public health and safety.*
- 7. The effects of the proposed work upon the protection, enhancement, perpetuation and use of the property.*
- 8. The proposal's compliance with the following standards:*
 - a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
 - b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
 - c. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
 - d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
 - e. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*
 - f. Deteriorated historic features shall be repaired rather than replaced. When the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. In the replacement of missing features, every*

- effort shall be made to substantiate the structure's historical features by documentary, physical, or pictorial evidence.*
- g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
- h. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
- i. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
- j. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Staff finds the proposed changes and additions maintain and enhance the historic character of the retained portion of the historic building because the addition is setback to rear of the lot and has a minimal visual impact from both Garfield Avenue and Pine Street (see Criterion C8b above). In addition, the proposed design differentiates the materials on the addition from the historic stone structure. However, staff recommends simplifying the columns on the side porch so they are not duplicating the historic front porch columns in order for the proposal to fully conform to the review criteria (see Criterion C8i above).

GRANT REQUEST:

The applicants, Brian and Betsy Harvey, are requesting approval of a Preservation and Restoration Grant for rehabilitation work on the structure at 701 Garfield Avenue. The applicants' grant request is for \$21,800.

The grant request is only for the work on the historic structure, not on the proposed new addition. This grant request is in addition to the \$1,000 unrestricted signing bonus for landmarking.

The applicants did not receive a grant for the historic structure assessment through the Historic Preservation Fund. The applicants obtained a historic structure assessment for the property, completed by Michael Steinhoff Architect. The assessment (attached) makes several recommendations including: remove the detached garage, repair stone walls, repair floor joists, replace original windows, replace floors, refinish door and window trim, replace sewer line and upgrade electrical system.

The Historic Structure Assessment includes the cost estimates for the project. The proposed total cost for all of the work on the historic structure is \$63,570.

The requested rehabilitation work and costs are:

- Electrical system upgrades - \$13,000
- Building Sewer - \$5,000
- Repair stonework – \$7,350
- Demolish the non-historic additions on the west and south – \$5,000
- Repair framing – \$4,500
- Demolish detached garage - \$4,000
- Tree removal – \$2,000
- Replace windows - \$13,600
- Permits, taxes - \$9,300

Flexible Grants

Under Resolution No. 2, Series 2012, the following work items are eligible for funding as a *flexible grant* but limits the maximum grant amount to \$5,000. The following items are either “sensitive upgrading of mechanical, electrical, and plumbing systems” or “restoration of a property to a specific significant point in its history”:

- Electrical system upgrades - \$13,000
 - Building sewer upgrade - \$5,000
- TOTAL - \$18,000 (max \$5,000)**

Focused Grants

The following work items are eligible for funding as *flexible or focused grants* because they fall under “sustaining the existing form, integrity, and material of a historic property”. Resolution 2, Series 2012 limits the following work items to a total of \$15,000 with a match of \$15,000 from the applicant:

- Repair stonework – \$7,350
 - Demolish the non-historic additions on the west and south – \$5,000
 - Repair framing – \$4,500
 - Replace windows - \$13,600
- TOTAL - \$30,450 (max \$15,000 with a \$15,000 match)**

The applicant is also requesting funding for the cost of permits, tree removal and demolish of the existing historic garage. Staff finds that these items are not eligible for historic preservation funds.

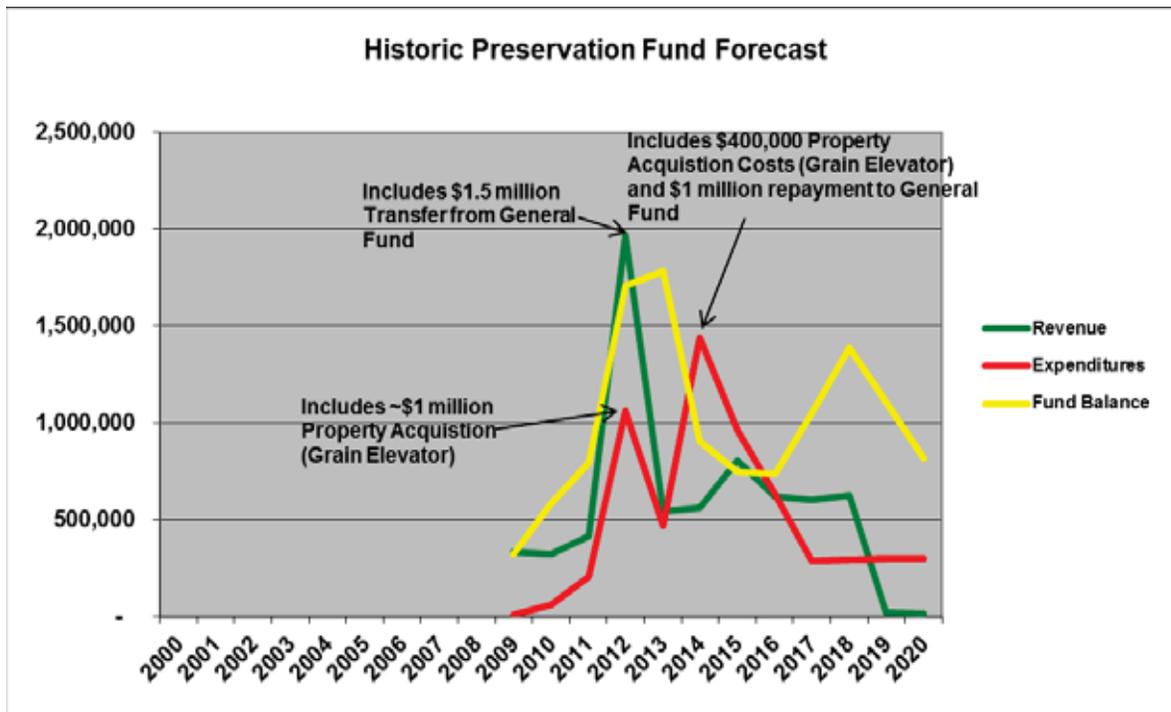
Staff recommends the following of the grant request:

- Electrical system upgrade - \$5,000
 - Repair stonework - \$3,450
 - Repair framing - \$2,250
 - Replace windows - \$6,800
- TOTAL - \$20,000**

FISCAL IMPACT

The project is eligible for a \$20,000 grant plus at \$1,000 landmark bonus for a total fiscal impact of \$21,000.

The following graph shows estimated Historic Preservation Fund revenues, expenditures and fund balance, not including the requested grant.



The current balance of the HPF is \$1,054,842. The 2016 budget includes \$307,800 for grants. The current year to date expenditure is \$122,514.

RECOMMENDATION:

Landmarking

The structure maintains significant architectural integrity since its construction in 1907, including preservation of the overall form. Staff recommends the Historic Preservation Commission and City Council name the house be named for the Romeo Family. Therefore, the staff recommends that the structure be landmarked by approving Resolution No. 13, Series 2016.

Alteration Certificate

The proposed changes to the existing structure, and the proposed new construction, are both compatible with the historic character of the property and comply with the requirements of the LMC. Staff recommends approval of the alteration certificate request by approving Resolution No. 14, Series 2016.

Grant

The grant request includes rehabilitating the existing structure. The proposed changes will facilitate the continued preservation of the structure, and are historically compatible.

Therefore, staff recommends the HPC recommend approval of the grant request of \$20,000 by approving Resolution No. 15, Series 2016.

SUPPORTING DOCUMENTATION AND INFORMATION:

Attached for your review are the following documents:

- Resolution No. 13, Series 2016
- Resolution No. 14, Series 2016
- Resolution No. 15, Series 2016
- Letter from the applicant
- Landmark Application
- Social History
- Historic Structure Assessment
- Alteration Certificate Application
- Drawings
- Historic Preservation Fund Application

**RESOLUTION NO. 13
SERIES 2016**

**A RESOLUTION MAKING FINDINGS AND RECOMMENDATIONS REGARDING THE
LANDMARK DESIGNATION FOR A HISTORICAL RESIDENTIAL STRUCTURE
LOCATED ON 701 GARFIELD AVENUE**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) an application requesting a landmark eligibility determination for a historical residential structure located on 701 Garfield Avenue, on property legally described as Lot 9 less the north 10 feet, plus Lots 10 and 11, Block 8, Louisville Heights Subdivision, Town of Louisville, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the HPC have reviewed the application and found it to be in compliance with Chapter 15.36 of the Louisville Municipal Code, including Section 15.36.050.A, establishing criteria for landmark designation; and

WHEREAS, the HPC has held a properly noticed public hearing on the proposed landmark application; and

WHEREAS, 701 Garfield Avenue (Romeo House) has social significance because it exemplifies the cultural, political, economic or social heritage of the community considering its association with the Romeo family, the mining and union heritage of Louisville, and the the story of ethnic Italian immigrants; and

WHEREAS, the Romeo House has architectural significance because it is Louisville's only example of a residential stone dwelling from the early 20th century.

WHEREAS, the HPC finds that these and other characteristics specific to the Romeo House have social and architectural significance as described in Section 15.36.050.A of the Louisville Municipal Code; and

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

The application to landmark the Romeo House be approved for the following reasons:

1. Architectural integrity of the Classic Cottage style stone structure.
2. Association with the Romeo family and Louisville's mining heritage.

PASSED AND ADOPTED this _____ day of _____, 2016.

Lynda Haley, Chairperson

**RESOLUTION NO. 14
SERIES 2016**

**A RESOLUTION APPROVING AN ALTERATION CERTIFICATE FOR THE ROMEO
HOUSE LOCATED AT 701 GARFIELD AVENUE FOR EXTERIOR ALTERATIONS AND A
REAR ADDITION**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) an application requesting an alteration certificate for a historic residential structure located at 701 Garfield Avenue, on property legally described as Lot 9 less the north 10 feet, plus Lots 10 and 11, Block 8, Louisville Heights Subdivision, Town of Louisville, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the HPC have reviewed the application and found it to be in compliance with Chapter 15.36 of the Louisville Municipal Code, including Section 15.36.120, establishing criteria for alteration certificates; and

WHEREAS, the HPC has held a properly noticed public hearing on the proposed alteration certificate; and

WHEREAS, the proposed scope of work, outlined in the staff report on November 21, 2016, meets the criteria of Louisville Municipal Code Section 15.36.120 and are historically compatible and do not detract from the historic character of the structure; and

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

The application for an alteration certificate for the Romeo House is approved as described in the staff report dated November 21, 2016.

PASSED AND ADOPTED this _____ day of _____, 2016.

Lynda Haley, Chairperson

**RESOLUTION NO. 15
SERIES 2016**

**A RESOLUTION MAKING FINDINGS AND RECOMMENDATIONS REGARDING A
PRESERVATION AND RESTORATION GRANT FOR THE ROMEO HOUSE LOCATED
AT 701 GARFIELD AVENUE**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) an application requesting a preservation and restoration grant for the Romeo House, a historic residential structure located at 701 Garfield Avenue, on property legally described as Lot 9 less the north 10 feet, plus Lots 10 and 11, Block 8, Louisville Heights Subdivision, Town of Louisville, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the HPC have reviewed the application and found it to be in compliance with Section 3.20.605.D and Section 15.36.120 of the Louisville Municipal Code; and

WHEREAS, the HPC has held a properly noticed public hearing on the preservation and restoration grant; and

WHEREAS, the preservation and restoration work being requested for the Romeo House includes making repairs to the existing structure; and

WHEREAS, the Historic Preservation Commission finds these proposed improvements will assist in the preservation of the Romeo House, which is to be landmarked by the City;

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

1. The Historic Preservation Commission recommends the City Council approve the proposed Preservation and Restoration Grant application for the Romeo House, in the amount of **\$20,000**.

PASSED AND ADOPTED this _____ day of _____, 2016.

Lynda Haley, Chairperson

Project Summary

701 Garfield Ave



Background:

Betsy and I were married in 2013 with only our children present. We initially hoped to sell our current two homes, one in Lafayette and one in Thornton and purchase a home within walking distance of downtown Louisville. After looking for several months, with very little inventory available, we purchased a home in the Reserve community in Boulder. With our combined six children, we purchased a large home. After realizing that our three young adult children and three high school aged children really weren't around very often and that our current Boulder home was mostly empty, we decided to start our search in Louisville again. And to be honest, our current neighborhood is not what we are looking for.

The "Find":

When 701 Garfield hit the market and we saw there would be an open house, we knew we needed to see it. When we arrived in front of the home, we were immediately struck by the charm and beauty of the stone cottage exterior. The ivy growing on much of the exterior was particularly interesting to Betsy. After entering and doing the walk around, we knew it had potential, but knew it would be a lot of work to correct some of the serious flaws and bring it into a livable state that would serve our family. We jumped quickly and made an offer, it was accepted!

Due Diligence:

After completing the initial assessment, inspection and structural engineering work, we knew that we had our work cut out for us but were committed to move forward. The electrical, plumbing exterior and interior were all in need of dramatic overhaul. In parallel, I had begun to

find out much of the home's history, met the neighbors and began to really discuss the scope of the project with the city and professionals. We did an initial budget for this home of \$575,000 to purchase and approximately \$400,000 in engineering, architecture, surveying, demo, repair, remodel and new construction for additional space. This factors in the roughly \$20,000 in grant money available from the city of Louisville.

Current State:

We completed the purchase of the home and have begun the initial phases of architectural design and engineering. We have retained the services of an architect and builder and feel pretty good about the partnership that is taking place between us, them and the city. We currently are awaiting a demolition permit to remove the garage that blocks the sight triangle leaving the alley, remove the sunroom and side porch, both of which are not attractive, useful and were added on in the last several years. We also have produced and submitted an architectural package for review to begin the "land-marking" process.

Our Future Home:

We plan to bring the home back to a state where the original builders and owners would have been proud. The front of the home (on Garfield) will see little modification and mostly repairs and restoration of the stone and wood to preserve the original design and charm of the home. The south side of the home (on Pine) will see a dramatic change by removing the added enclosed brick porch that was added several years ago, exposing the stone façade as originally constructed and the addition of a smaller open covered porch to match the front of the home. The home was originally constructed with a door and small porch on the Pine side. On the north side of the home, some changes will occur to accommodate the addition to the west side of the home, but the stone will remain and minimal work will occur around the rear of the home. To the west side (the rear) a substantial addition will be added, with the roof extending back to accommodate a second story addition and a new basement being excavated to increase the livable space for our family. We will attempt to preserve all of the stone removed from the rear to use during the renovation and for various features within the home and on the property. Finally, a new garage will be added in the rear, but with an entrance from the alley, improving the sight plane when pulling out to Pine from the alley.

Summary:

Our hope is to spend the rest of our life in this historic home. We would like to preserve the charm of the stonework and the craftsmanship that went into it for many generations. Currently, the home is unsafe and has a rapidly deteriorating exterior and interior. We are willing to commit to the substantial investment required to both renovate and preserve the charm that is so visible in the community and bring the home to a place where it will accommodate our family. Our willingness to work with the city of Louisville throughout the project is strong and we ask that you are as equally committed in working with us to achieve both of these goals.

Thank You,
Brian and Betsy Harvey



701 Garfield Ave. History

Legal Description: Lot 9 less the north 10 feet, plus Lots 10 and 11, Block 8, Louisville Heights subdivision

Year of Construction: 1907

Summary: Anthony C. V. Romeo built this house in 1907 out of stone brought from Marshall. He and his wife, who were both born in Italy, and their children were a lively, talented, musical family. "Tony" Romeo was a miner, union organizer, and the owner of a second hand goods store on Front Street in downtown Louisville. The Romeo family owned and lived in the house until 1919. Other longtime owners were the Binks and Maxwell families.

Development of the Louisville Heights Subdivision; Date of Construction

The Louisville Heights Addition in which this house sits was first developed in 1904 by the Colorado Mortgage and Investment Co. Ltd.

The 1948 Boulder County Assessor card for this property as well as the current Boulder County Assessor website both give 1907 as the year of construction. Although the County has been found to be in error with respect to the dates of construction of some historic buildings in Louisville, this date appears to be accurate. Although the warranty deed was not recorded until 1908, the deed of trust was recorded in 1907, indicating that the transaction whereby the lots were purchased took place earlier than 1908. The house does appear on the 1909 Drumm's Wall Map of Louisville, so it was built by 1909. For the foregoing reasons, the estimated date of construction is 1907.

Romeo Family Ownership, 1907-1919

Anthony C. V. Romeo (1874-1951) and Mary Vita Girardo Romeo (born about 1883; death date unknown) purchased this property from the subdivision developers in about 1907. Anthony also went by the name Tony or Tony C. V. His last name was originally Romano, and he changed it to Romeo. According to his son, he changed it because of

the Romano name being someone common and he wanted his last name to be different.

Tony Romeo came to the U.S. from Italy as a young person. Census records indicate that he was about 14, 15, or 16. He lived and worked in Pennsylvania before coming to Marshall in Boulder County. In about 1898, he married Mary Vita Girardo (born about 1883) of an Italian family in Marshall. She came to the U.S. with her family as a girl. The following photo shows them on the occasion of their marriage:



Their first child, a son, was born in 1899. Tony named him "Philippine Island" as an expression of his American patriotism. (Spain ceded the Philippines to the U.S. following its defeat in the Spanish-American War of 1898.) Although he mostly went by the nickname of "Phil," the 1920 census did list his name as being "Phillip. Island." Another son, Franklin, was likely named for Benjamin Franklin. According to a later-born son, his father almost named him George Washington Romeo as another expression of his patriotism.

While they lived in Marshall, Tony was a coal miner. He and Mary Vita lived in or near her family. According to their descendants, Tony was working two shifts to make money. He bought a "buckboard" and a mule and "wandered the fields" in and around Marshall to look for stones for building the house in Louisville. He used the buckboard to get them over to Louisville and he would dump them on the lot. Reportedly, he built the house, and it is not known whether he may have had help from a stonemason or if he may have had prior stonemason experience.

This photo shows the family at the front of the house in circa 1910-1912 and shows the distinctive oval window at the front. There is no evidence that the front of the house ever faced in a different direction than towards Garfield.



The next photo of the house, from Boulder's Carnegie Library for Local History, may have been taken at the same time as the previous photo, but this could not be determined for sure. Of the two men in the photo, the man on the left is unidentified and Tony Romeo is on the right.



The following photo is believed to date from about 1913. Tony Romeo is thought to have been behind calling the house "Romeo's Cottage."



This photo, undated, shows Tony Romeo by the house, with children looking out the window.



In about 1914, the house was photographed with the family in front:



The following 1917 photo of the house is a view of the side of the house along Pine Street.



In about 1916, the growing family was again photographed by the house:



The next photos are believed to have been taken at the house in about 1918 and they show Phil, Angelo, and Charles, respectively:



This photo of Ruth and Charles Romeo was taken in about 1919 next to the house:



The family was photographed in a car along the side of the house, next to Pine, not long before they moved to Denver in 1919:



Tony Romeo worked as a miner and eventually became very active in the miners' union. During the early 1910s when mine strikes were happening in different states, he even travelled on behalf of the union to document miners of various ethnicities being cheated out of their rightful pay. According to his son, he spoke several languages, and this ability no doubt was a help in this effort. The following two photos show him during his travels for the union. In this postcard photo, he is shown, second from left, urging miners not to be strikebreakers.



Romeo kept a notebook in 1912 and 1913 that documented his work on behalf of miners. As noted in the notebook, he traveled in 1913 to the upper Midwest, the location of a copper mining strike. This photo shows Romeo during this trip.



In April 1914, violence erupted at the Hecla Mine in Louisville following the Ludlow Massacre in southern Colorado. Gunfire between strikers and the Hecla reportedly continued for fourteen hours. A strikebreaker in the boardinghouse at the Hecla, Pete Stanoff, was hit by a bullet and died. Not long after, a number of striking miners and local union leaders were arrested on the charge of first degree murder. According to a newspaper account from May 1914, Tony Romeo was one of those arrested. Charges were eventually dropped because it was not possible to determine exactly who had killed Stanoff. It also appeared that men had been arrested without a consideration of

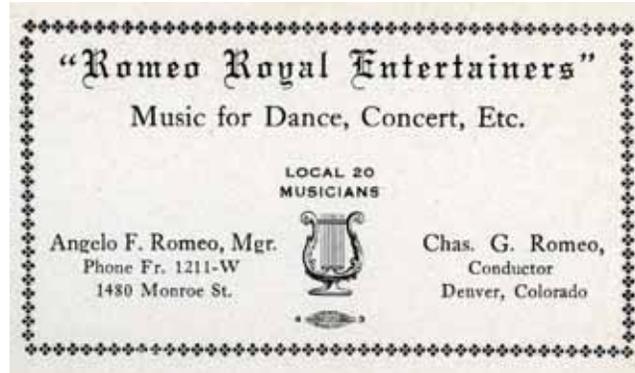
whether they actually could have caused the death. Romeo's arrest, however, is an indication that he may have been very involved in the strike as a union leader.

Records dated 1916 and 1918 show that Romeo was operating a second hand store in Louisville. This is believed to have been located on the west side of the 800 block of Front Street, on the property where the Louisville Public Library now stands.

Tony and Mary Vita Romeo had fourteen children, eleven of whom survived to adulthood. Based on the fact that the family moved to Denver in 1919, eight of their children are believed to have lived in the house in Louisville. They were: Philippine Island (Phil) (1899-1969); Angelo (1902-1978); Franklin (1904-1968); Nicholas (1905-1973); Christina (b. 1910); Florence (b. 1912); Charles (1915-1953); and Ruth (1917-2002). The following photo shows the Romeo family with all eleven children in the 1920s, after the family had moved to Denver:



Tony Romeo was a talented musician who passed on his talent and interest to his children. A number of the Louisville Historical Museum's photos of the Romeo children show them performing with instruments. After the family moved to Denver, some of the children became professional musicians and they even had a family band for a time:



An article clipped from a 1978 *Louisville Times* issue (the exact date of which is unknown) highlighted this home as being one of Louisville's historic buildings. The source for much of the information was Olive Clark Sneddon. Born in 1904, she was about the same age as the older Romeo children and had been friends with them while they lived in Louisville. The following are excerpts from the article:

The two-story house is built of sandstone which was quarried at Marshall and is the only house in Louisville of this type of construction.

The house was "way out in the country" in those days. The only neighbors were the Clark family, in the house to the west.

The Romeo family, builders of the "rock house," was a large and interesting family. . . . Everyone in the family played a musical instrument, and the family is remembered for the fine musicians and family orchestra.

Mrs. Sneddon, who was a friend of the Romeo children, remembers that an older son would call the children home from play by playing a tune on the trumpet. "They would come running from all directions."

The Romeo family enjoyed a rare luxury, a swimming pool, which was located in the lots to the north of the house. Neighbor children were even allowed to join in the swimming fun, but children stayed very close to home and their own neighborhood in Louisville's earlier days and so the swimmers were limited to family and close neighbors.

The next owners of the home, the Jack Binks, filled in the pool.

Remodeling of the home was limited to enclosing the porches and adding dormer windows in the upstairs in recent years. [As noted below, however, the photos of the house from not long after construction show the dormer windows in place.]

According to a current Louisville resident who heard about the swimming pool from her mother, who was about the same age as the older Romeo children, it was a concrete pool that was filled with well water that is prevalent in that part of old town Louisville.

Monty Werdersheim Ownership, 1919-1923

In 1919, the Romeo family moved to Denver and Tony Romeo began to operate a pool hall in a building where they also lived at 3800 Wynkoop, seen here with the family in front:

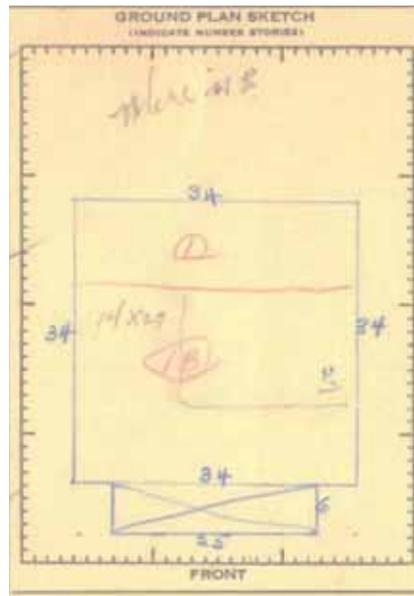


Interestingly, Tony Romeo sold 701 Garfield to the person who previously operated that pool hall (which had been a liquor store and general merchandise store prior to the advent of Prohibition in Colorado in 1916). It seems possible that they did a property swap, but this has not been confirmed. It is thought that Monty Werdersheim never lived at 701 Garfield, but the identity of any renters is also not known.

Binks Family Ownership, 1923-1967

John "Jack" Binks (1886-1966) purchased 701 Garfield in 1923. He also purchased the lots to the north from their owner, and these lots eventually became 725 Garfield. He was born in England and he worked as a coal miner. He and his wife, Elizabeth, lived in the house with their children, George and Elizabeth. In 1948, he transferred ownership from just himself to himself and his wife, Elizabeth (born about 1889). In 1967, his estate sold 701 Garfield and the lots to the north.

The following images show the photo of the house from the 1948 County Assessor card and a ground layout sketch of the house at that time, during the ownership by the Binks family. The 1948 Assessor card noted a garage on the property, with no year of construction stated. The 34' by 34' house was 1,156 square feet at the time.



Maxwell Family Ownership, 1967-1977

In 1967, Enid Wilson Maxwell and Jerry Boyer Maxwell purchased 701 Garfield. Enid Maxwell grew up on Lincoln Ave. as one of the children of Arlo and Daisy Wilson.

Jerry Maxwell became a Louisville City Councilman. In 1972, he was tragically killed as he was driving across the railroad tracks at South Street and his car was hit by a train that he did not see coming in the foggy morning weather. After the accident, due to safety concerns, the City of Louisville closed the South Street crossing of the railroad tracks. Only later this year is South Street expected to become a thoroughfare connecting the east and west sides of the railroad tracks, but this time with a pedestrian underpass.

In 1977, Enid Maxwell sold 701 Garfield and separately sold the lots to the north that became 725 Garfield.

McDonald Family Ownership, 1977-1978

From 1977 to 1978, Jerome and Barbara McDonald were the owners of the house. The 1978 article from the *Louisville Times* stated that they were "restoring the extensive woodwork to its original finish."

Mohr Ownership, 1978-1994

In 1978, the McDonalds sold 701 Garfield to Dean Realty Co., which then sold it to R. Michael & Barbara Mohr.

An inventory record was completed for 701 Garfield in 1982. The architectural description was written as follows: "This stone house has a façade with a full porch and gabled dormer. This is one of the few stone houses in Louisville. It has a stone foundation with a rectangular footprint. There is a porch along most of the front elevation. The structure has a hipped and gabled roof with dormers on front and south sides."

The inventory form additionally mentioned that the dormers appear to have been added at an unknown date. (However, it should be noted that the dormer windows appear in the photos taken not long after the Romeo family built the house. It is possible that the writer based his information on the 1978 article referenced above.) The record indicated that the brick and roofed addition on the south and west elevations had harmed the visual integrity of the house.

Later Owners

In 1994, the Mohrs sold 701 Garfield to John C. Seibert and Elizabeth E. Salkind. Ownership was conveyed in 1998 to Sarah Klahn and Michael Freehling.

The owners from 2004 until 2012 were Callan Childs and Vaughn McWilliams. The house was one of the homes on the 2005 Louisville Holiday Home Tour during that time.

In 2012, the house was sold to Kevin and Nicolle Sloane. Since September 2016, the owners of record are Brian Harvey and Betsy Wells Harvey.

Sources

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, and related resources, and Louisville directories, newspaper articles, maps, files, obituary records, survey records, and historical photographs from the collection of the Louisville Historical Museum.

701 Garfield Avenue

Romeo House

Historic Structure Assessment



Prepared by: Michael Steinhoff Architect
4030 West 102nd Avenue
Westminster, CO 80031

Prepared for: Brian and Betsy Harvey

October 2016



CREDITS FUNDING:

This project was paid for by Brian & Betsy Harvey

PARTICIPANTS:

Michael Steinhoff Architect

Michael Steinhoff

Photo and Map Credits

Michael Steinhoff Architect



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Cultural Resource Survey, 2000	Building History- Louisville Historical Museum, 2015

1.1 Research Background/Participants

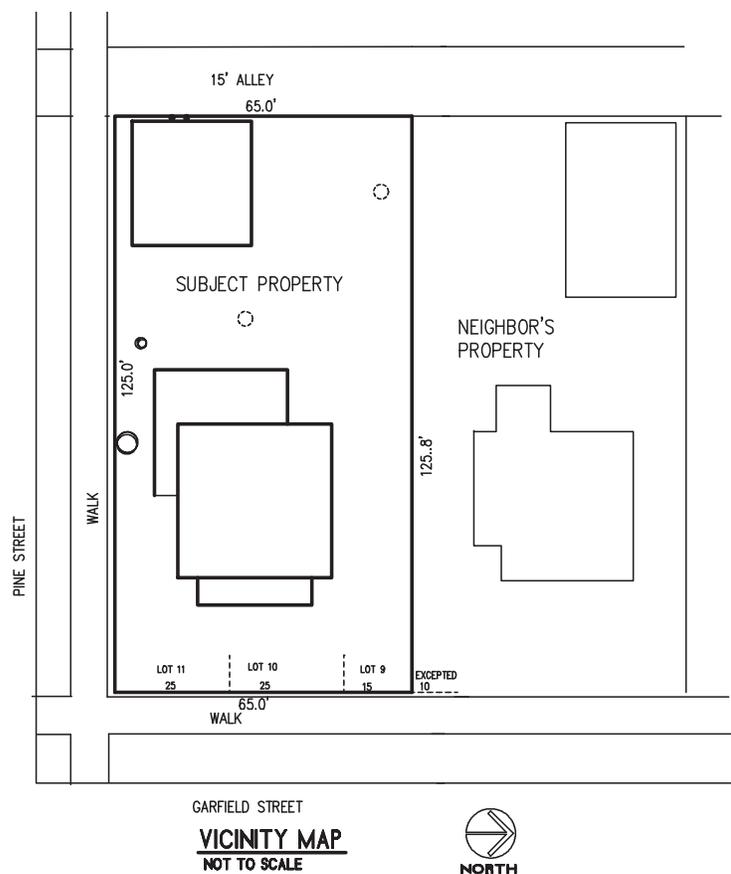
This report was researched and prepared by Michael Steinhoff Architect for Brian and Betsy Harvey. Information was provided by Michael Steinhoff Architect and the City of Louisville.

1.2 Building Location

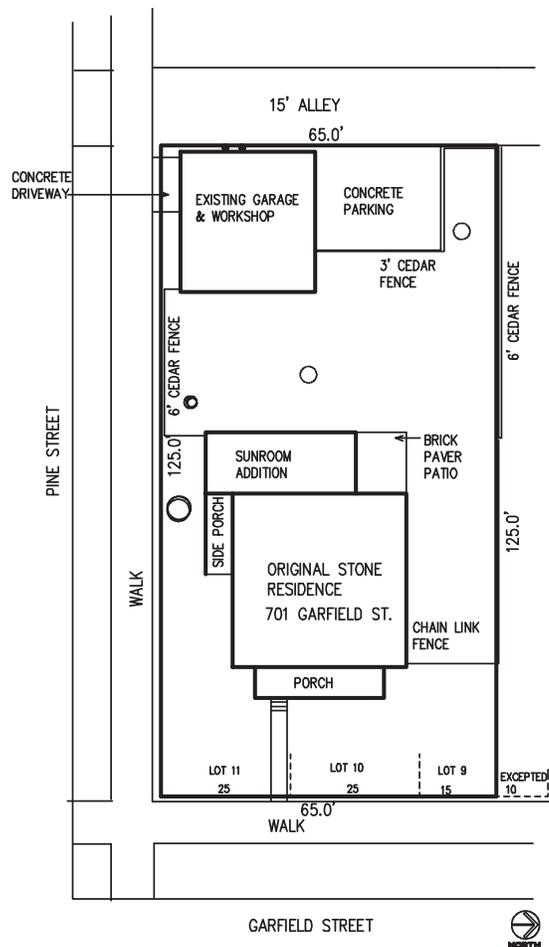
Building Address: 701 Garfield Street

Legal Description: Lots 9, 10 and 11, except for the north 10' of lot 9, Block 8, Louisville Heights, County of Boulder, State of Colorado

Vicinity Map



1.0 Introduction



SITE PLAN-EXISTING CONDITION
NOT TO SCALE

↑ Site Plan



2.0 History and Use

This house was built in 1907, and has served as a single-family residence since that time.

For additional historic research see the report prepared by the Louisville Historical Museum, July 2015 in appendix.

2.1 Architectural Significance and Construction History

Architectural Description:

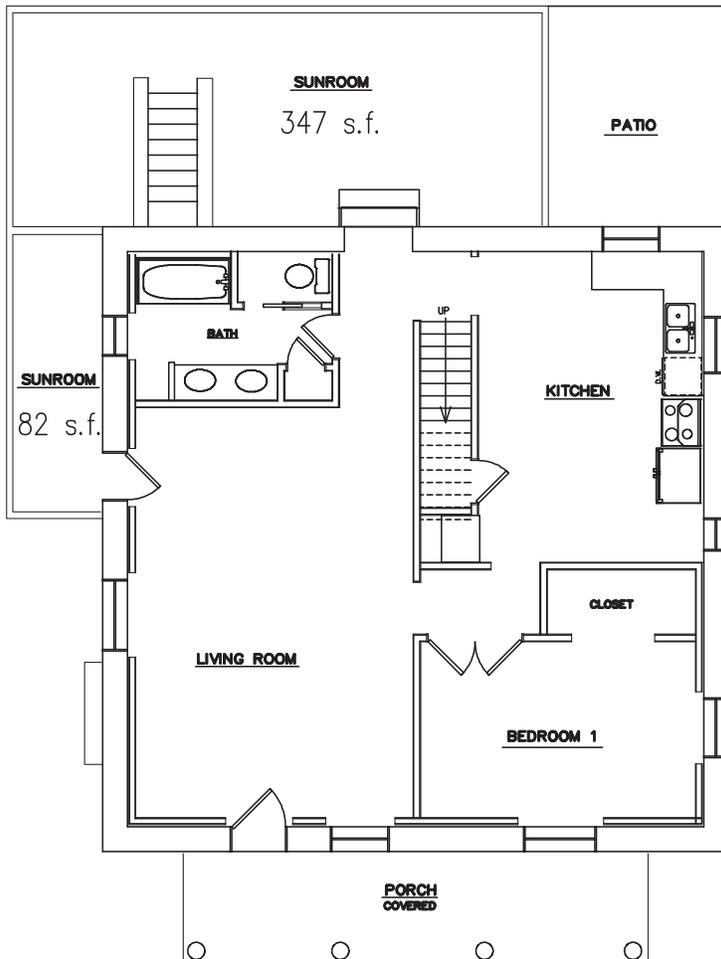
This 1 1/2 story stone house is situated on a large lot, on the west side of Garfield Street, west of downtown Louisville. The building is supported by a stone foundation and its exterior walls are natural buff colored stone, random sizes with battered face. The roof is an 8:12 pitched hip with four dormers, one on each side of the symmetrical gable roof. There are newer blue-grey asphalt shingles and boxed eaves. There are no chimneys. The windows on the first floor of the original structure are 1/1 wood double-hung sash, with painted white wood frames and bronze colored aluminum storm windows over. They have stone cornices and sills. Windows on the addition to the west are single-hung, white vinyl framed. Windows on the addition to the south are wood fixed casement with 2 jalousie windows for ventilation. The house's façade fronts toward Garfield Street on the east elevation. A modern wood-paneled entry door, here, has three upper sash lights, the door is unfinished. This door opens onto a 4-step concrete porch, which extends nearly the full length of the facade. Painted white wood round columns, support a low pitch hip porch roof.

Construction History:

Boulder County Assessor records list 1907 as this building's date of

construction. The original 1 1/2 story stone house measured 33.5' N-S by 33.5' E-W. One single-story addition to the west (rear) elevation and one single story addition to the south (left side) predate 1948. The addition to the south with a shed roof measures 5' N-S by 16' E-W; the west addition, with a shed roof, measures 29' N-S by 12' E-W.

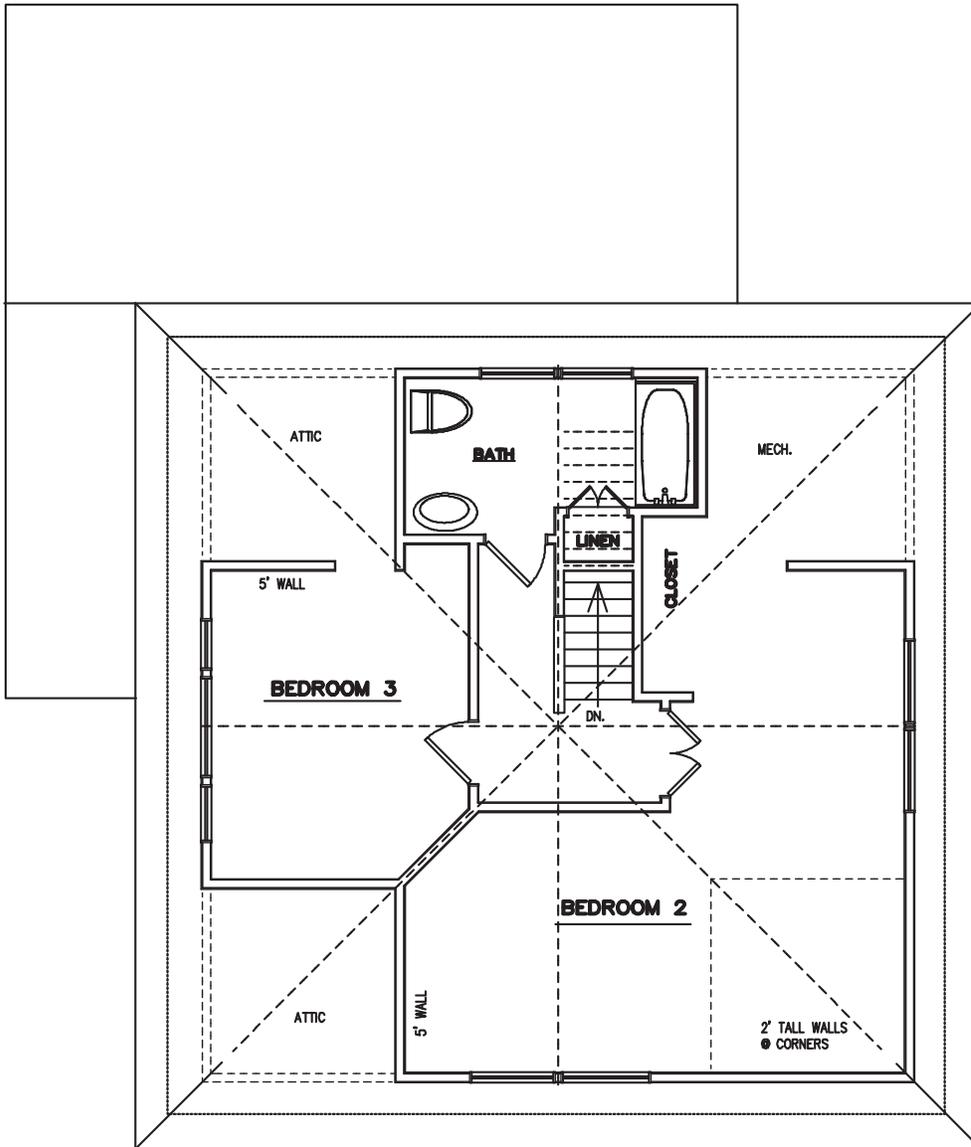
2.0 History and Use



FIRST FLOOR: 1,133 S.F.
SECOND FLOOR: 548 S.F.
TOTAL LIVING AREA: 1,681 S.F.

MAIN FLOOR PLAN-EXISTING CONDITIONS

NOT TO SCALE



SECOND FLOOR PLAN

1/4" = 1'-0"

SECOND FLOOR PLAN-EXISTING CONDITIONS

NOT TO SCALE

548 S.F.

Significance:

This house is historically significant, relative to the National Register Criterion A, for its associations with the Romeo family, and with residential development in Louisville during the first half of the twentieth century. The property is also historically significant for its representation of this Louisville neighborhood's ethnic Italian heritage. The building is architecturally significant because it is the community's only example of a stone dwelling, dating from the early 1900s. For these reasons, this property is eligible for individual listing in the National Register of Historic Places under Criteria A and C.

Criteria A: Associated with events that have made a significant contribution to the broad patterns of our history.

Criteria C: Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possess high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction ⁴

⁴McWilliams, Carl. "Architectural Inventory Form" 2000

2.3 Proposed Use

The historic use as a residence use is anticipated to continue.



3.0 Structure Condition Assessment

This site and building assessment represents the first critical phase to the historic preservation project. The report is based on comprehensive field inspections and research conducted by a number of professionals, including a preservation specialist, an archaeologist, architect and engineer. The assessment recommends, where necessary, appropriate treatments consistent to the *Secretary of Interior's Standards for the Treatment of Historic Properties*.

The users of this assessment will find a description of each feature, element, or space followed by a condition evaluation and finally recommendations for the appropriate treatment of each.

The following condition evaluation rating system is used in this section to evaluate the condition of each feature, element, or space:

GOOD CONDITION: An element, feature, or space is evaluated in good condition when it meets the following criteria:

- It is intact, structurally sound, and performing its intended purpose.
- There are few or no cosmetic imperfections.
- It needs no repair and only minor or routine maintenance.

FAIR CONDITION: An element, feature, or space is evaluated in fair condition when one or more the following are evident:

- There are early signs of wear, failure, or deterioration, although the feature or element is generally structurally sound and performing its intended purpose.
- There is failure of a sub-component of the feature or element.
- Replacement of up to 25% of the feature or element is required.
- Replacement of a defective sub-component of the feature or element is required.

- POOR CONDITION: An element, feature, or space is evaluated in poor condition when the following is evident:
 - It is no longer performing its intended purpose.
 - It is missing.
 - It shows signs of imminent failure or breakdown.
 - Deterioration/damage affects more than 25% of the feature/element and cannot be adjusted or repaired.
 - It requires major repair or replacement.

3.1 Site

<i>Element</i>	<i>Description & Condition</i>	<i>Evaluation</i>	<i>Treatment Recommendation</i>
Landscape	Two large trees existing along the south property line.	Fair	The trees should be trimmed to remove dead limbs and branches and away from the house.
Fencing	There are 6' cedar fences along the south and north property lines. There is a 3' cedar fence along the rear parking area and a 3' chain link fence to the north side yard.	Good	The fence requires some minor repairs.
Grading	The grading is very flat but there is no negative drainage	Fair	Increase slope away from building to enhance drainage and protect foundation.
Parking	There are two parking spaces off the alley on a concrete slab.	Fair	None
Associated Structures	Wood sided garage and attached shed, date of construction unknown.	Poor	To be demolished. Garage door faces Pine Street which creates a dangerous condition when back on to this busy street. The wood framed construction is sub-standard.

3.2 Structural Systems

Detached Wood Framed Garage



<i>Element</i>	<i>Description & Condition</i>	<i>Evaluation</i>	<i>Treatment Recommendation</i>
Structural System	Solid stone blocks structure on stone and concrete foundation	Fair	Tuck point all joints on the stone walls. Caulk around all openings for a watertight condition.
Foundation System	The foundation is not entirely visible but appears to be concrete and rubble stone. On the stone walls extend to below grade. There is an original basement in the southwest corner and basement spaces under the remaining areas have been dug out with concrete retaining walls.	Fair (Based on performance)	Maintain existing foundations.
Floor & Ceiling Systems	Main floor joists are rough sawn 2 x 10s with 1 x wood decking. The additions are slab on grade.	Fair	Main floor exhibits some deflection due to long spans and modifications to the joists. Floor should be jacked up to level condition, intermediate floor joists supports and additional supports added to increase joist strength.
Roof Framing System Addition Framing System	Roof rafters are not observed, but assume 2x rough sawn wood. The original roof appears to be in good condition, it has little deflection as seen from the exterior. The additions are assumed to have 2x sloped rafters	Good	None

Asphalt shingle roof



3.3 Envelope- Exterior Walls

<i>Element</i>	<i>Description & Condition</i>	<i>Evaluation</i>	<i>Treatment Recommendation</i>
Exterior Wall	The exterior walls of the original structure are cut stone. Walls are generally straight and plumb. Mortar joints are in a deteriorated state.	Fair	Clean and tuck point all mortar joints.
Exterior Finishes	The wood siding on the dormers is board and battern style. It is in good condition.	Good	All siding should be properly prepared and painted.

Front Porch



South Addition-Sun Porch



West Addition-Sun Room

3.4 Envelope- Roofing and Waterproofing

<i>Element</i>	<i>Description & Condition</i>	<i>Evaluation</i>	<i>Treatment Recommendation</i>
Roofing Systems	Roofing is 3-tab asphalt shingles installed in 2007. Older layers were removed at that time.	Good	The roof is in good condition and should serve the building for 25 + years.
Sheet Metal Flashing	Galvanized flashing where porch and additions attach to stone walls.	Good	None
Foundation Drain	None		(see recommendations regarding site drainage)
Drainage Systems	There are painted metal O-G gutters on the main house, porch and additions	Fair	Metals gutters should be repaired to be water tight.

Asphalt shingle roof

3.5 Windows & Doors

<i>Element</i>	<i>Description & Condition</i>	<i>Evaluation</i>	<i>Treatment Recommendation</i>
Doors	Main entry door is a newer paneled door with upper glazed portion. There is no storm or screen door. There is no door in the original south entry which now opens into the enclosed porch.	Fair	Replace front door with new more historic style door. Install matching door in original side entry. Side porch to be removed.

Main entry door Interior of main entry

<i>Element</i>	<i>Description & Condition</i>	<i>Evaluation</i>	<i>Treatment Recommendation</i>
Windows	The remaining windows in the original house appear to be original. The NW window in the kitchen consists only of an aluminum storm window. Windows are wood 1 over 1 double hung. They appear to operate but lack hold open hardware and weather stripping	Poor	Windows should be replaced with double glazed wood windows to easily function and to improve energy efficiency. Storm windows should be removed so windows appear as they originally did.
	Windows in the rear addition are vinyl single hung.	Good	These windows were installed in 2011.
	Windows in south addition are fixed wood casements and jalousie style.	Poor	These windows are not original.

3.6 Interior Finishes

<i>Element</i>	<i>Description & Condition</i>	<i>Evaluation</i>	<i>Treatment Recommendation</i>
Wall Finish Material	Walls are plaster on lath. Interior of exterior walls have been furred with 2x4's, have batt insulation and gypsum board finish.	Good	Repair where needed
Ceiling Finish	Ceilings are plaster on lath	Fair	Repair as needed
Floor Finish	Floors on first floor are oak in the original portion with painted pine on the second level. Portions of first floor have been over laid with modern materials.	Poor	Remove all finished floor materials and replace with oak strip floors.
Trim & Built-Ins	Door and window casing is stained wood. It appears to be the original woodwork.	Fair	Refinish door and window trim.

3.7 Mechanical Systems

Typical replaced window trim

<i>Element</i>	<i>Description & Condition</i>	<i>Evaluation</i>	<i>Treatment Recommendation</i>
Heating and AC	A gas fired forced air furnace is located in the basement under the kitchen. It is a recent model, installation date unknown. It is in good condition. Galvanized duct distribution system is older and appears to be in fair condition-though joints are not air tight.	Good	Modify ductwork for more efficient air distribution and seal joints.
Water Service, Plumbing & Sewer Utilities	Bathroom plumbing fixtures appear to have been installed in recent years. The main floor bathroom was	Good	None
Fire Suppression	None		None

3.8 Electrical Systems

Meter and panel with overhead service

<i>Element</i>	<i>Description & Condition</i>	<i>Evaluation</i>	<i>Treatment Recommendation</i>
Electrical Service	Overhead service lines from the alley to the north side of the garage and then underground to the residence serve the building	Poor	The electrical panels on the garage and residence are of a type that are no longer UL approved. They were the subject of a class action law suit. The entire electrical system should be replaced with a new main shut off and panel on the house, then a circuit back out to the garage.
Electrical Distribution	Lighting, switches and outlets were installed or updated in recent years likely in the 1950s.	Fair	When new electrical service is installed, new code requires updating all circuits to meet GFI, arc-fault and ground fault protection.
Fire Detection	None		
Security Systems	None		



Sub-panel in west

Sub-panel in basement

addition (on original west wall)



Main Panel in Garage



4.1 Hazardous Materials

A hazardous material investigation was not conducted as part of this report. It is recommended to conduct such investigation prior to any construction or remodel work on the building.

4.2 Building Code Compliance

As an existing residence the building code allows continued use of the building, even though all elements may not meet current building codes. Except in cases where dangerous or hazardous structural issues are identified.

The following are some items that do not meet current code but may be used as a continued

use:

- Stair risers and treads to 2nd floor.
- Egress windows from bedrooms
- Tempered glass in doors and adjacent to doors
- Structural systems: snow & floor loads, foundations not to frost. Any new construction (additions or alterations) will be required to meet current building codes at the time of construction. In addition, any new work will trigger a requirement for smoke and carbon monoxide detectors to be installed in or near sleeping rooms.

4.3 Zoning Code Compliance The property is located in the medium density, RM, zone district and is within the Old Town Overlay. The 65 x 125 foot lot meets minimum lot size. Residential use is an allowed use.

4.0 Analysis and Compliance

Lot Area	8,178	SF				
Lot Width	65	Ft				
City Regulation						
		Use by	Preservation			Landmark
		Right		Bonus		Bonus
Lot Coverage	0.3	2,453	0.35	2,862	0.4	3,271
FAR	0.35	2,862	0.4	3,271	0.45	3,680

Existing Lot Coverage	
House Footprint	1,562
Covered Porch	145
Garage	736
Total Coverage	2,443
Existing Floor Area	
1st Floor	1,562
2nd Floor	548
Garage	736
Total Floor Area	2,846

High Priority is work necessary to stabilize the structure and assure it is weather tight. This work may also include other Items which fall within the Critical or Serious Deficiency categories (see definitions below)

- ·Remove electrical service meter and all panels, install new meter, main panel, main shut off, sub-panels as needed. Repair interior wiring and switches to code as required with new service.
- ·Replace existing building sewer drain to main city line
- ·Replace exterior windows for energy efficiency, function and weather tightness
- ·Fabricate and install storm windows for comfort and energy efficiency

Medium to Low priority work includes Minor Deficiencies and preservation work, and reconstruction work for interpretive purposes.

- Reconstruct and repair porch railings and 2nd floor
- Reconstruct brick chimney corbels
- Gutter repair and replacement
- Replace interior trim and baseboard with period appropriate woodwork
- Repair or replace plumbing fixtures



5.0 Preservation Plan

5.1 Prioritized Work Prioritized Work

The following identifies two categories of prioritized work:

DEFINITIONS ► **CRITICAL DEFICIENCY:** One or more of the following indicate a critical deficiency:

1. Advanced deterioration has resulted in failure of the building element, feature, or space, or will result in its failure if not corrected within two years. 2. Accelerated deterioration of adjacent or related building materials has occurred as a result of the feature or element's deficiency.

3. The feature or element poses a threat to the health and/or safety of the user. 4. The feature or element fails to meet a code/compliance requirement.

► **SERIOUS DEFICIENCY:** One or more of the following indicate a serious deficiency: *1. Deterioration, if not corrected within two to five years, will result in failure of the feature or element. 2. Deterioration of a feature or element, if not corrected within two to five years, may pose a threat to the health and/or safety of the user. 3. Deterioration of adjacent or related building materials and/or systems will occur as a result of the deficiency of the feature or element.*

► **MINOR DEFICIENCY:** One or more of the following indicate a minor deficiency: *1. Standard preventive maintenance practices and building conservation methods have not been followed. 2. A reduced life expectancy of affected or related building materials and/or systems will result. 3. A condition exists with long-term impact beyond five years.*

5.2 Estimate of Probable Costs of Construction

Since the Architect has no control over the cost of labor, materials,

equipment, the contractor's method of determining prices, or market conditions, opinions of probable costs, as provided herein, are made on the basis of our experience with similar project types and represent our best judgment as design professionals familiar with the rehabilitation/ construction industry. The Architect cannot and does not guarantee that proposals, bids or the construction costs will not vary from our opinions of probable costs.

Notes:

The allowance for general conditions provides for the General Contractor's mobilization, temporary facilities, builders risk insurance, and contingencies.

General Contractor overhead includes indirect costs such as permits, Workers' Compensation, insurances and supervision.

Contingency (for construction) provides for uncovered existing conditions, weather delays and other unforeseen conditions.

Abbreviations

EA lump sum

SF square feet

LF lineal feet

SF square feet

High Priority Work

(Stabilization & weather barriers)

<i>Task</i>	<i>Quantity</i>	<i>Unit</i>	<i>Unit Cost</i>	<i>Total</i>
3.1 Site				
Trim two trees along south side property	1	EA	\$ 1,000.00	\$2,000.00
3.3 Envelope - Exterior Walls				
Tuck point all exterior stone walls	1,050	SF	\$ 7.00	\$7,350.00
3.6 Windows and Doors				
Window replacement (large)	5	EA	\$ 1,850.00	\$9,250.00
Window replacement (small)	1	EA	\$ 1,650.00	\$1,650.00
3.7 Sewer Utilities, replace building sewer	1	EA	\$5,000.00	\$5,000.00
3.8 New electrical service & rewiring	1	EA	\$13,000.00	\$13,000.00
Subtotal Construction Costs				\$38,250.00

Other				
Permits, Contractor O&P, Professional fees	18%			\$6,885.00
Subtotal				
Contingency	10%			\$4,500.00
Total High Priority Costs				\$49,635.00



Low Priority Work

(Preservation and reconstruction)

<i>Task</i>	<i>Quantity</i>	<i>Unit</i>	<i>Unit Cost</i>	<i>Total</i>
3.1 Site				
Demolish non-historical west and south additions and detached garage-workshop	1,165	S.F.	\$7.75	\$9,000.00
3.2 Foundations				
3.3 Structural System				
Reinforce main floor framing	1	EA	\$ 4,500.00	\$4,500.00
3.4 Envelope - Exterior Walls				
Porch concrete slab repairs	145	SF	\$ 12.00	\$1,740.00

3.5 Envelope - Roofing and Waterproofing				
Gutter repair and replacement	1	EA	\$ 1,400.00	\$1,400.00
3.7 Interior Finishes				
Repair and refinish interior trim and base board	1	EA	\$ 3,000.00	\$3,000.00
Wall repair	1	EA	\$ 2,200.00	\$2,200.00
3.8 Mechanical Systems				
Bath and kitchen plumbing fixture repairs	2	EA	\$ 3,500.00	\$7,000.00
3.9 Electrical Systems				
Subtotal Construction Costs				
				\$30,240.00

** Hazardous Material Abatement				
Budget estimate	1	EA	\$ 4,500.00	\$ 4,500
Subtotal Hard Construction Costs				\$ 34,740
Other				
Permits, Contractor O&P, Professional fees	18%			\$ 6,250
Subtotal				\$ 40,990
Contingency	10%			\$ 4,100
Total Low Priority Costs				\$ 45,090.00



6.0 Appendix



Landmark Designation Nomination Form

(6/09)

DATE: 10-25-16

LANDMARK APPLICATION FOR:

- Individual Site/Building Landmark
- Historic District

NOMINATION MADE BY:

- Owner
- Historic Preservation Commission
- City Council
- Third Party

Name: BRIAN & BETSY HARVEY
 Address: 1332 LARK CT, BOULDER, CO 80303
 Phone: 720-201-2057 Email bkh71@icloud.com
 Relationship to Owner: SELF

LOCATION OF PROPOSED LANDMARK:

Address: 701 GARFIELD STREET
 Legal Description (Lot Number, Block Number, and Subdivision):
LOTS 9, 10 & 11, EXCEPT THE NORTH 1/2 OF LOT 9, BLK 8, LOUISVILLE HEIGHTS
 Property Name (Historic and/or Common):
ROMEO RESIDENCE

Former Addresses (If Known):

N/A

OWNER INFORMATION

(For district applications, please attach separate sheet)

Name: BRIAN & BETSY HARVEY
 Address: 1332 LARK CT, BOULDER, CO 80303
 Phone: 720-201-2057

BOUNDARIES and TYPE OF DESIGNATION

Description of Boundary Determination:

SINGLE FAMILY RESIDENTIAL LOT WITH ONE SINGLE FAMILY RESIDENCE.

Historic Preservation Commission

Planning Department 749 Main Street Louisville CO 80027
 303.335.4591 (phone) 303.335.4550 (fax) www.louisvilleco.gov

CLASSIFICATION

Category	Ownership	Status	Present Use	Existing Designation
<input checked="" type="checkbox"/> Building	<input type="checkbox"/> Public	<input type="checkbox"/> Occupied	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> National Register
<input type="checkbox"/> Structure	<input checked="" type="checkbox"/> Private	<input checked="" type="checkbox"/> Unoccupied	<input type="checkbox"/> Commercial	<input type="checkbox"/> Colorado Register
<input type="checkbox"/> Site			<input type="checkbox"/> Educational	
<input type="checkbox"/> District			<input type="checkbox"/> Religious	
<input type="checkbox"/> Object			<input type="checkbox"/> Agricultural	
			<input type="checkbox"/> Government	
			<input type="checkbox"/> Other	

SIGNIFICANCE

Site/Building is Over 50 Years Old and meet one of the following standards

Historic Landmark of Significance – must meet one (1) or more of the following criteria

Architectural Significance: The property:

- exemplifies specific elements of an architectural style or period;
- is an example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally;
- demonstrates superior craftsmanship or high artistic value; represents an innovation in construction, materials or design; is of a style particularly associated with the Louisville area;
- represents a built environment of a group of people in an era of history that is culturally significant to Louisville;
- shows a pattern or grouping of elements representing at least one of the above criteria; or
- is a significant historic remodel.

Social Significance: The property is the site of a historic event that had an effect upon society; exemplifies cultural, political, economic or social heritage of the community or is associated with a notable person or the work of a notable person.

Geographic or Environmental Significance: The property enhances the sense of identity of the community or is an established and familiar natural setting or visual feature that is culturally significant to the history of Louisville.

Prehistoric or Archaeological Site The property has yielded, or may be likely to yield, information important in prehistory or history.

HISTORICAL INFORMATION

Please attach a narrative of the historical significance of the property. Include a title search or city directory research if the property is important for its association with a significant person.

ARCHITECTURAL and PHYSICAL DESCRIPTION

(Attach a separate sheet if needed)

Construction Date:

1907

Architect/Builder:

Building Materials:

STONE

Architectural Style:

COTTAGE

Special Features/Surroundings:

Describe any additions or alterations to the property:

- * THERE ARE ADDITIONS AT THE SOUTH & WEST SIDES OF ORIGINAL STRUCTURE.
- THERE IS A WOOD FRAMED DETACHED GARAGE-WORKSHOP @ S.W. CORNER OF PROPERTY.
- ORIGINAL DORMERS @ SOUTH, EAST & NORTH (ASSUMED) HAVE BEEN ENLARGED FROM ORIGINAL SIZE AS SHOWN IN PICTURES
- A DORMER WAS ADDED TO WEST SIDE, NOT ORIGINAL
- TWO BRICK CHIMNEYS WERE REMOVED.

REFERENCE LIST or SOURCES OF INFORMATION

(Attach a separate sheet if needed)

PHOTOS

Please include photos of EACH ELEVATION of EACH BUILDING and STRUCTURE on the property.

FOR OFFICE USE ONLY

Application Number _____

Date Filed with Planning Department _____

Date Determined "Eligible" _____ Date Determined "Ineligible" _____

Application Approved Denied

HPC Resolution # _____, CC Resolution # _____

Date Recorded _____

Historic Landmark Agreement

Property Address: 701 GARFIELD ST., Louisville, CO 80027

Property Legal Description: lots 9, 10 & 11, EXCEPT THE NORTH 10' OF Lot 9, Block C, Louisville Heights, County of Boulder, State of Colorado

The undersigned owner(s) hereby agrees that the property above described be considered for local historic landmark designation, pursuant to the Louisville Landmark Preservation Ordinance, Ordinance No. 1463, Series 2005, as codified in Chapter 15.36 of the Louisville Municipal Code and amended from time to time (the "Ordinance").

I understand that upon designation, I or my successors in ownership of the property will be required to submit to the review process of the Historic Preservation Commission of the City of Louisville as set forth in the Ordinance prior to the occurrence of any of the following:

1. Reconstruction or alteration of the exterior of the improvements on the property, or;
2. Construction of, addition to, or demolition of improvements on the property.

I further understand that I or my successors in ownership will be required to submit to the review process of the Historic Preservation Commission of the City of Louisville as set forth in the Ordinance if a building permit for the property is requested for any one of the following:

1. Alteration or reconstruction of or an addition to the exterior of any improvement which constitutes all or part of a landmark structure or landmark district;
2. Demolition or relocation of any improvement which constitutes all or part of a landmark structure or landmark district; or
3. Construction or erection of or an addition to any improvement upon any land included in a landmark district.

I understand that as part of any such review process, the Historic Preservation Commission shall be under the time constraints and other requirements as set forth in the Ordinance.

I also understand that any historic landmark designation for the property transfers with the title of the property should the property be sold.

DATED this 26th day of October, 2014.

Brian K Harvey Betsy Harvey
Owner Name (please print)

[Signature] [Signature]
Owner Signature

State of Colorado)

)ss.

County of Boulder)

Subscribed and sworn before me this 26 day of October, 2014,
by Chris Cohen

Witness my hand and official seal. My commission expires 3-16-2020.

[Signature]
Notary Public

CHRISTOPHER STEVEN COHEN
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20164010623
MY COMMISSION EXPIRES MARCH 16, 2020

Landmark Designation Process

- 1) Application submitted by property owner, the Historic Preservation Commission, the City Council, or a third party with a recognized interest in historic preservation.
- 2) Application Processed by Staff for Historic Preservation Commission Public Hearing:
 - Review application and prepare a staff memo to the Historic Preservation Commission
 - Obtain Property Owner Permission to Landmark (if owner is not the applicant)
 - Meet legal notification process
 - Post property with notice
 - 15 days notice of Commission public hearing in newspaper
 - Notice by mail to owner of property in question as well as to all property owners within 500 feet of the proposed landmark)
- 3) Historic Preservation Commission Public Hearing
- 4) Application Processed by Staff for City Council Public Hearing:
 - Review Historic Preservation Commission hearing and prepare a staff memo to the City Council
 - Meet legal notification process
 - Post property with notice
 - 15 days notice of City Council public hearing in newspaper
 - Notice by mail to owner of property in question as well as to all property owners within 500 feet of the proposed landmark)
- 5) City Council Public Hearing
- 6) Final Recordation of Documents with Boulder County Clerk & Recorder



Alteration Certificate Application

(715)

DATE: 10-25-16

Property Address: 701 GARFIELD ST.

Legal Description (Lot Number, Block Number, and Subdivision):

Lot 9, 10 & 11 EXCEPT THE NORTH 10' of Lot 9, BLK 8, LOUISVILLE HTS.

Property Name (Landmarked Name, if known):
ROMEO RESIDENCE

APPLICANT INFORMATION

Name: BRIAN & BETSY HARVEY
Address: 1332 LARK CT, BOULDER, CO 80303
Phone: 720-201-2057 Email bkh71@icloud.com
Relationship to Owner: SELF

OWNER INFORMATION

Name: BRIAN & BETSY HARVEY
Address: _____
Phone: 720-201-2057

PROJECT DESCRIPTION (please attach a separate sheet)

Include the following information:

- Site and floor plan drawings showing all proposed exterior alterations
- Specifications describing all proposed exterior alterations
- Elevation drawings including materials, architectural design, and detail. (Photos of examples are encouraged)

While plans do not need to be professionally done, they must be sufficiently detailed to determine if the project meets the criteria. The Historic Preservation Commission may ask for additional information as the Commission feels necessary.

PHOTOS

Please include current photos of EACH ELEVATION of EACH BUILDING and STRUCTURE on the property.

FOR OFFICE USE ONLY

Date Filed _____		
Application Number _____		
Date of HPC Sub. Review _____	<input type="checkbox"/> No Significant Impact	<input type="checkbox"/> Referred to HPC
HPC Public Hearing Date _____	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Alteration Certificate Released _____		

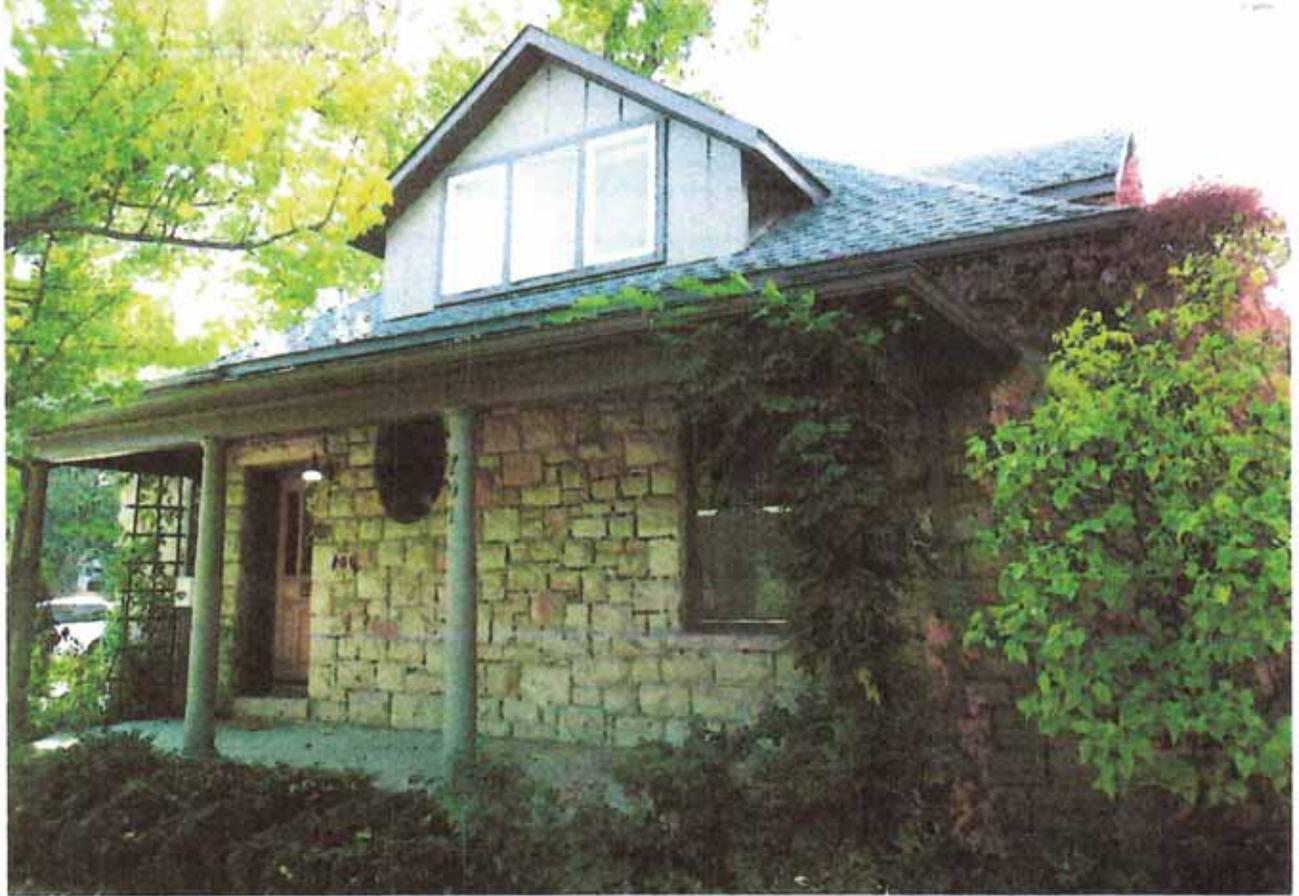
Historic Preservation Commission

Lauren Trice, Planner 749 Main Street Louisville CO 80027
303.335.4594 laurent@louisvilleco.gov www.louisvilleco.gov

Alteration Certificate Process

- 1) Applicant completes an application for an Alteration Certificate including plans and specifications showing all proposed exterior alterations, including their proposed exterior appearance, with texture, materials, and architectural design and detail.
- 2) Applicant submits application for an Alteration Certificate to Lauren Trice, Planner.
- 3) Application Processed by Staff for Historic Preservation Commission including reviewing application and preparing a staff memo to the Historic Preservation Commission
- 4) A staff person and two (2) randomly selected members of the Commission shall review all applications for landmark alteration certificates for alterations to buildings or special features and shall determine within seven (7) days after a complete application is filed whether or not the proposed work would have a significant impact upon or be potentially detrimental to a landmark site or historic district.
 - A) *No significant impact* - If it is determined by both Commission designees that there would be no significant impact or potential detriment, the City shall issue a landmark alteration certificate to the applicant and shall notify the Commission of such issuance.
 - B) *Commission referral*. If one of the Commission designees determines that the proposed work would create a significant impact or potential detriment, they shall refer the application to the Commission for a public meeting and begin the legal notification process:
 - Meet legal notification process
 - 15 days notice of Commission public hearing in newspaper
 - Notice by mail to applicant and/or owner of property
- 6) Historic Preservation Commission holds public hearing no more than 60 days after application submitted. Commission approves or denies request.
- 7) Applicant may appeal decision to the City Council.

Questions? Please contact Lauren Trice, Planner, at 303-335-4594 or laurent@louisvilleco.gov.



EAST ELEVATION

VIEW FROM SOUTHEAST



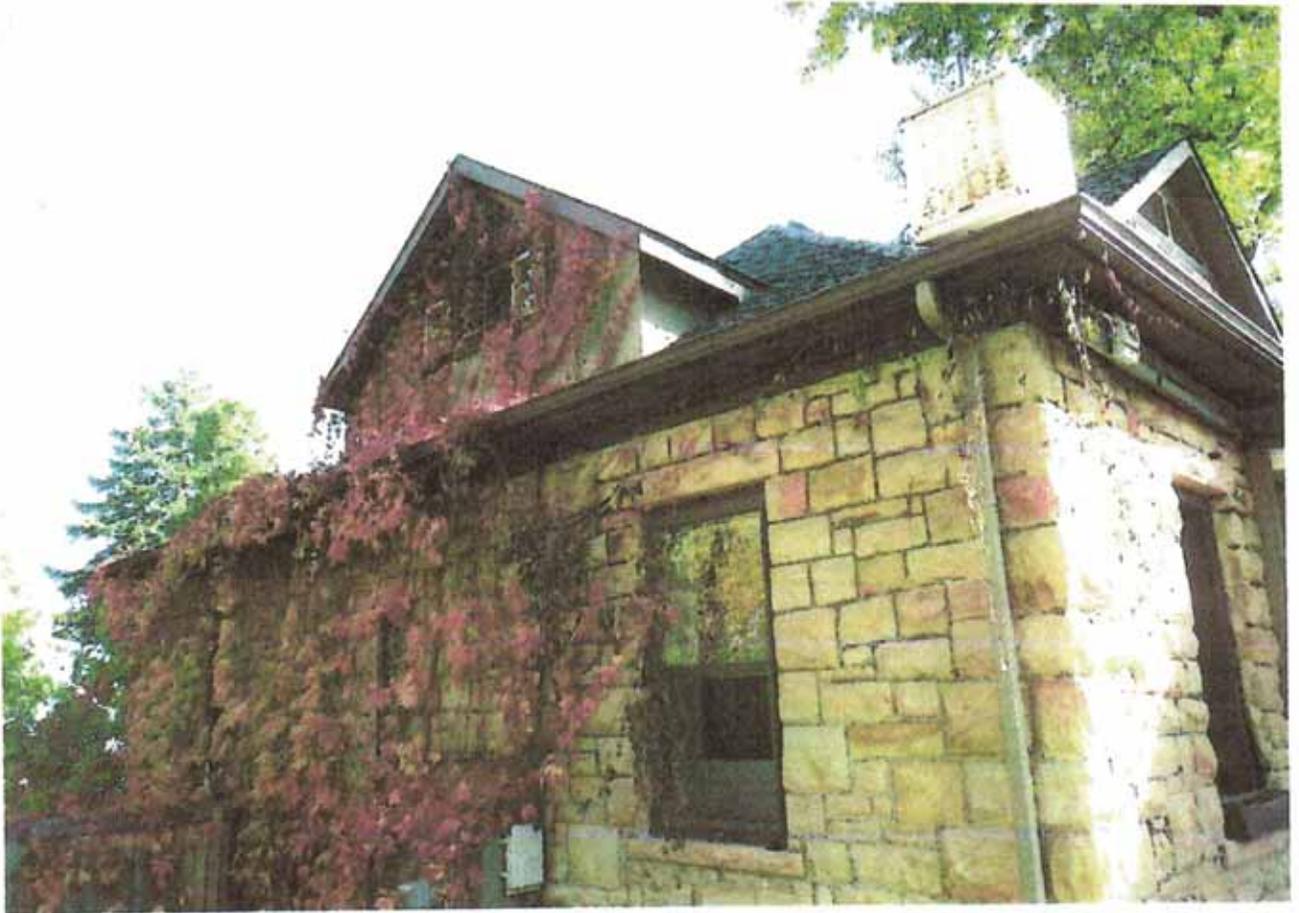


SOUTH ELEVATION (FRONT PORTION)

SOUTH ELEVATION (REAR PORTION)



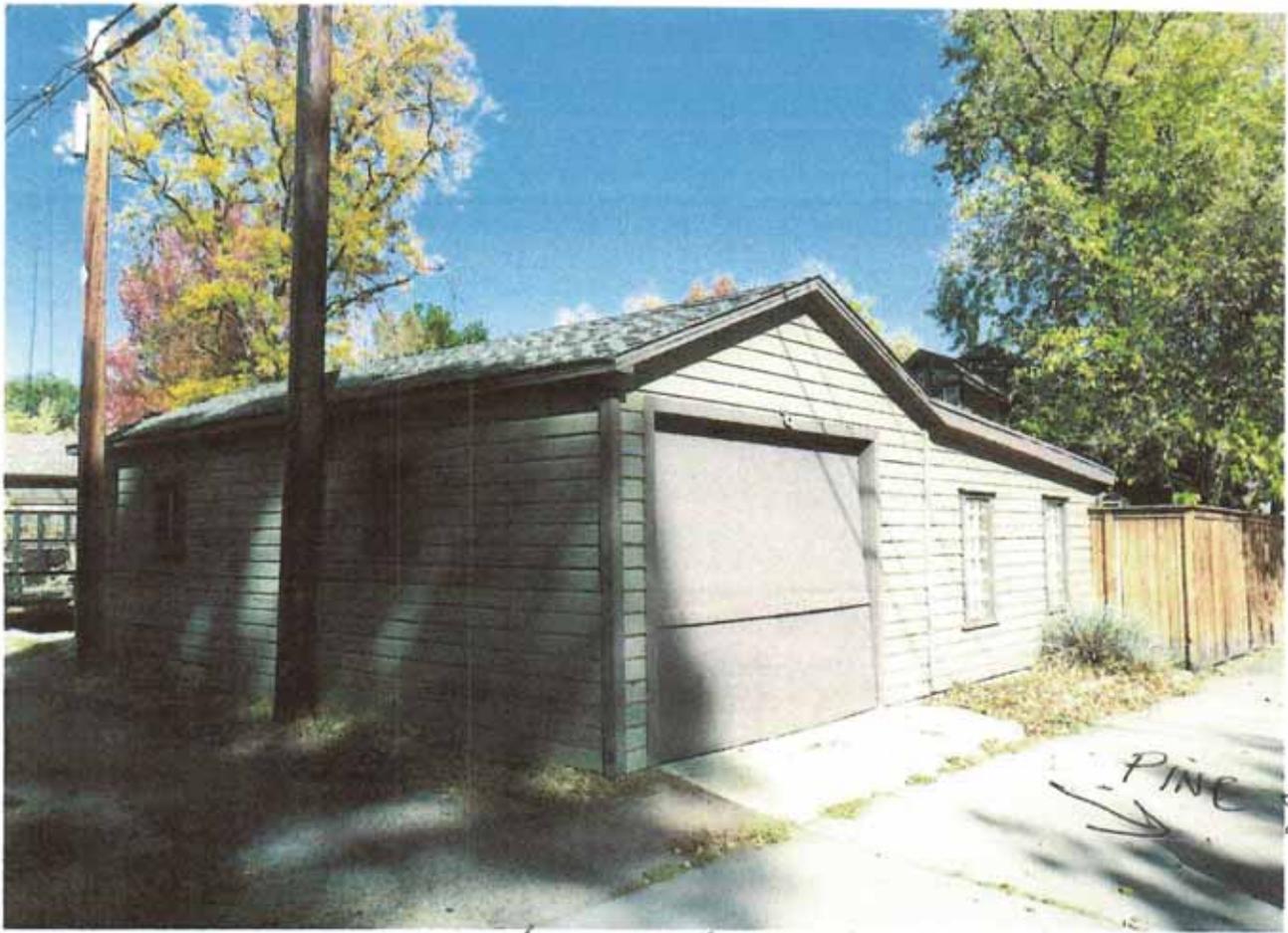
SOUTH ELEVATION



NORTH ELEVATION

WEST ELEVATION w/ ADDITION





PINE ST.
→

DETACHED GARAGE / WORKSHOP FROM S.W.

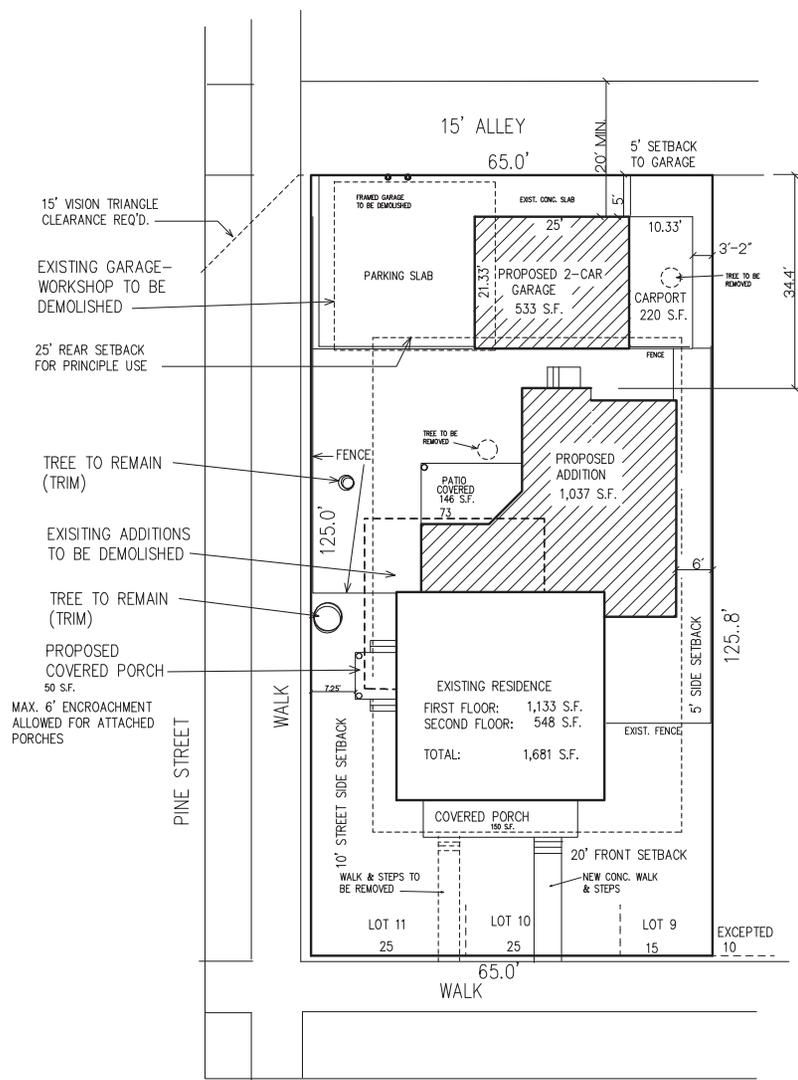
ELECTRIC METER



DETACHED GARAGE FROM N.W

FEATURING 'F'

(1)



- 15' VISION TRIANGLE CLEARANCE REQ'D.
- EXISTING GARAGE-WORKSHOP TO BE DEMOLISHED
- 25' REAR SETBACK FOR PRINCIPLE USE
- TREE TO REMAIN (TRIM)
- EXISTING ADDITIONS TO BE DEMOLISHED
- TREE TO REMAIN (TRIM)
- PROPOSED COVERED PORCH 50 S.F.
- MAX. 6' ENCROACHMENT ALLOWED FOR ATTACHED PORCHES

LEGAL DESCRIPTION	
LOTS 9, 10 AND 11, EXCEPT THE NORTH 10' OF LOT 9, BLOCK 8, LOUISVILLE HEIGHTS, COUNTY OF BOULDER, STATE OF COLORADO.	

LOT COVERAGE	
LOT SIZE:	8,178 S.F.
MAX. LOT COVERAGE (LANDMARK BONUS): 40%	= 3,271 S.F.
ACTUAL LOT COVERAGE:	39.9% 3,264 S.F.
EXISTING STRUCTURE:	1,133 S.F.
MAIN FLOOR ADDITION:	1,037 S.F.
NEW GARAGE:	533 S.F.
CARPORIT:	220 S.F.
FRONT PORCH:	145 S.F.
COVERED PATIO:	146 S.F.
SIDE PORCH:	50 S.F.
TOTAL LOT COVERAGE:	3,264 S.F.

FLOOR AREA RATIO			
MAXIMUM FAR, 45%:	LANDMARK BONUS	3,680 S.F.	
	EXIST.	ADDITION	TOTAL
FIRST FLOOR:	1,133 S.F.	1,036 S.F.	2,169 S.F.
SECOND FLOOR:	548 S.F.	414 S.F.	962 S.F.
TOTAL:	1,681 S.F.	1,450 S.F.	3,131 S.F.
DETACHED GARAGE:			533 S.F.
TOTAL FLOOR AREA, (FAR):			3,664 S.F.

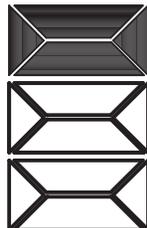
GARFIELD STREET

SITE PLAN

1" = 20'-0"



MICHAEL STEINHOFF ARCHITECT
 4030 WEST 102nd AVENUE
 WESTMINSTER, COLORADO 80031
 303-423-5472 msn_designs@msn.com



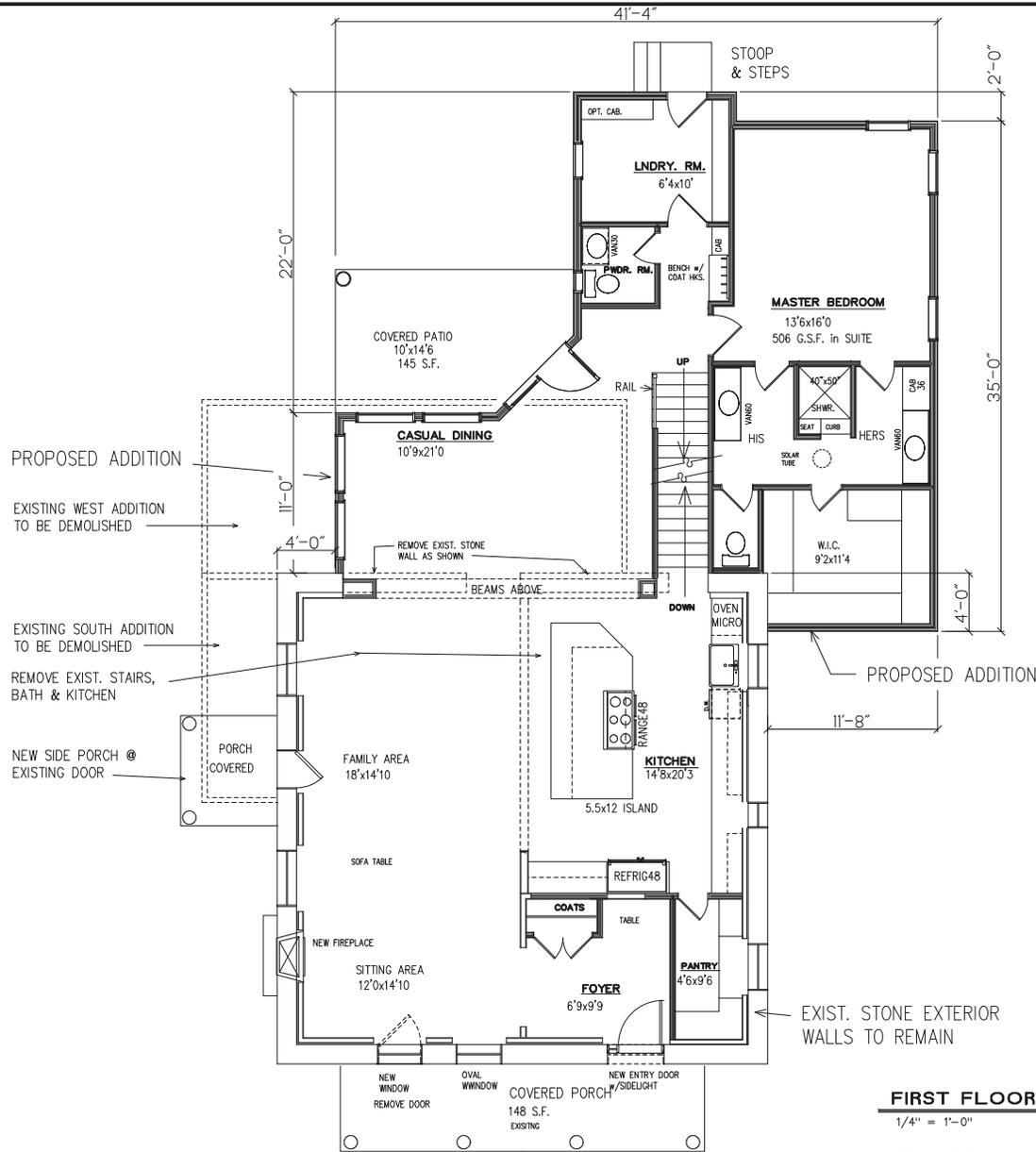
**PROPOSED ADDITIONS & REMODELING
 HARVEY RESIDENCE
 701 GARFIELD STREET
 LOUISVILLE, COLORADO**

MIKEBAN HARVEY-ADD
 HARVEYPL101216

DRAWN: MS
 DATE: 10-25-16
 REV:

**HARVEY
 701 GARFIELD**

DRAWING
SP - 1
 SHEET 1 OF 8



LEGEND

EXISTING WALLS TO REMAIN: ————

NEW 2x4'S @ 16" O.C.: - - - - -
 or 2x6'S @ 16" O.C. ————

REMOVE EXISTING WALL: ······

FIRST FLOOR PLAN

1/4" = 1'-0"

	EXIST.	ADDITION	TOTAL
FIRST FLOOR:	1,133 S.F.	1,036 S.F.	2,169 S.F.
SECOND FLOOR:	548 S.F.	414 S.F.	962 S.F.
TOTAL:	1,681 S.F.	1,431 S.F.	3,131 S.F.

MICHAEL STEINHOFF ARCHITECT
 4030 WEST 102ND AVENUE
 WESTMINSTER, COLORADO 80031
 303-423-5472 ms_designs@msn.com



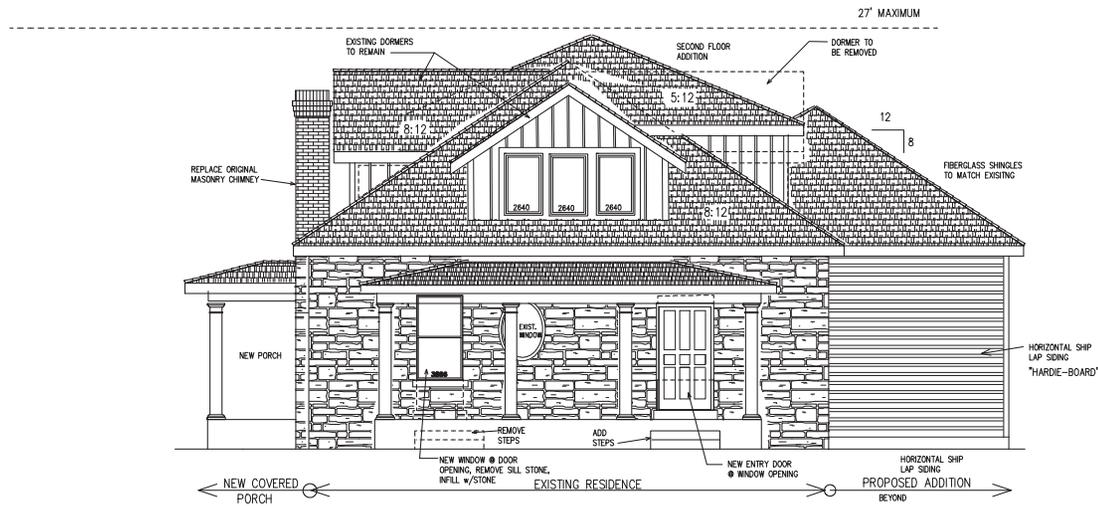
**PROPOSED ADDITIONS & REMODELING
 HARVEY RESIDENCE
 701 GARFIELD STREET
 LOUISVILLE, COLORADO**

MIKEBAN HARVEY-ADD
 HARVEYPL101216

DRAWN: MS
 DATE: 10-25-16
 REV:

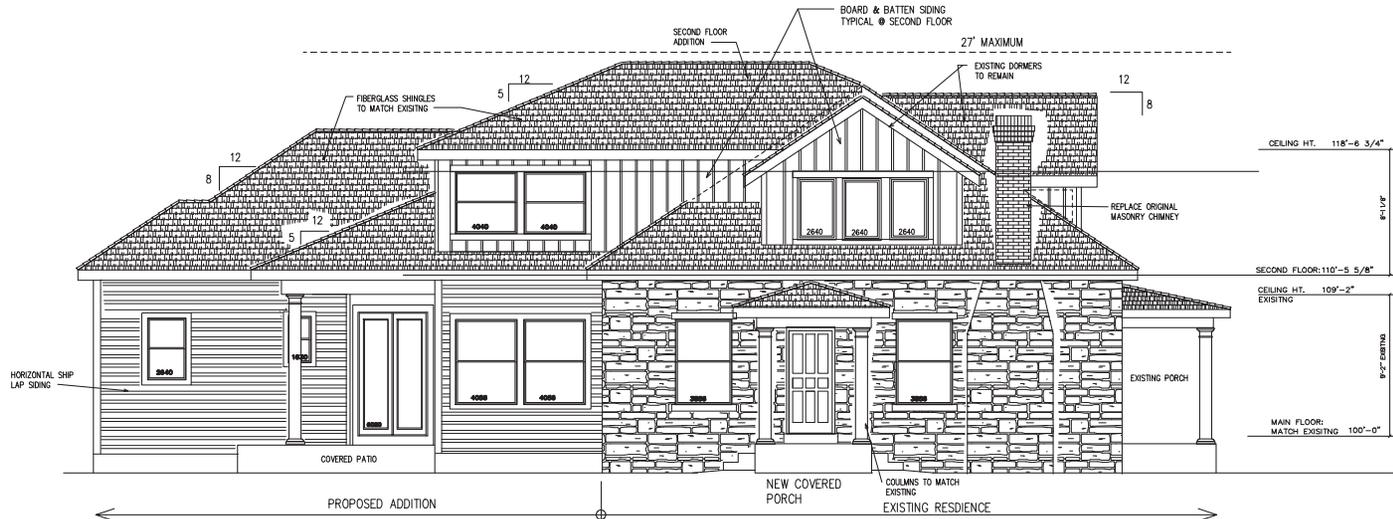
**HARVEY
 701 GARFIELD**

DRAWING
A-1
 SHEET 2 OF 8



EAST ELEVATION

1/4" = 1'-0" GARFIELD VIEW



SOUTH ELEVATION

1/4" = 1'-0" PINE STREET VIEW

**MICHAEL
STEINHOFF
ARCHITECT**

4030 WEST 102nd AVENUE 80031
WESTMINSTER, COLORADO
303-423-3472 ms_designs@msn.com



PROPOSED ADDITIONS & REMODELING

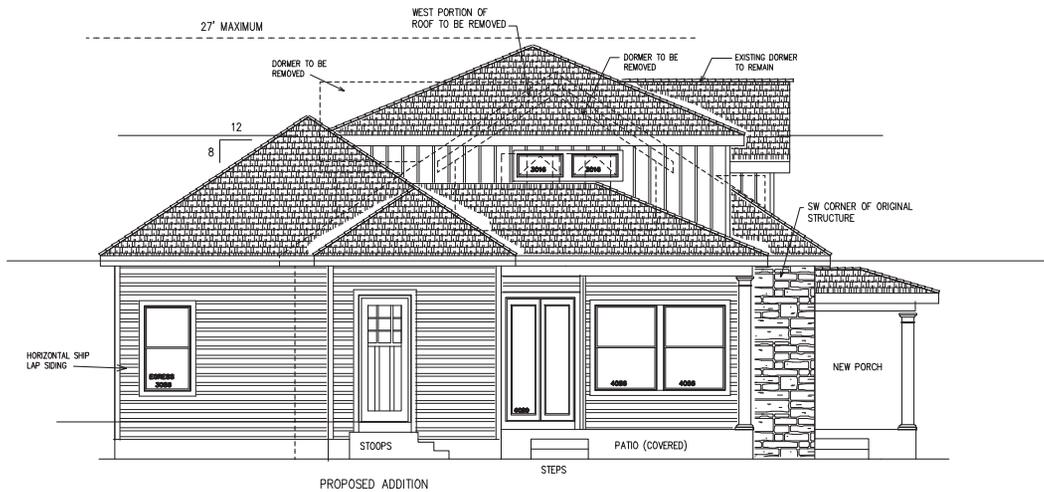
HARVEY RESIDENCE
701 GARFIELD STREET
LOUISVILLE, COLORADO

MIKEBAN/HARVEY-ADD
HARVEYPL101216

DRAWN: MS
DATE: 10-25-16
REV:

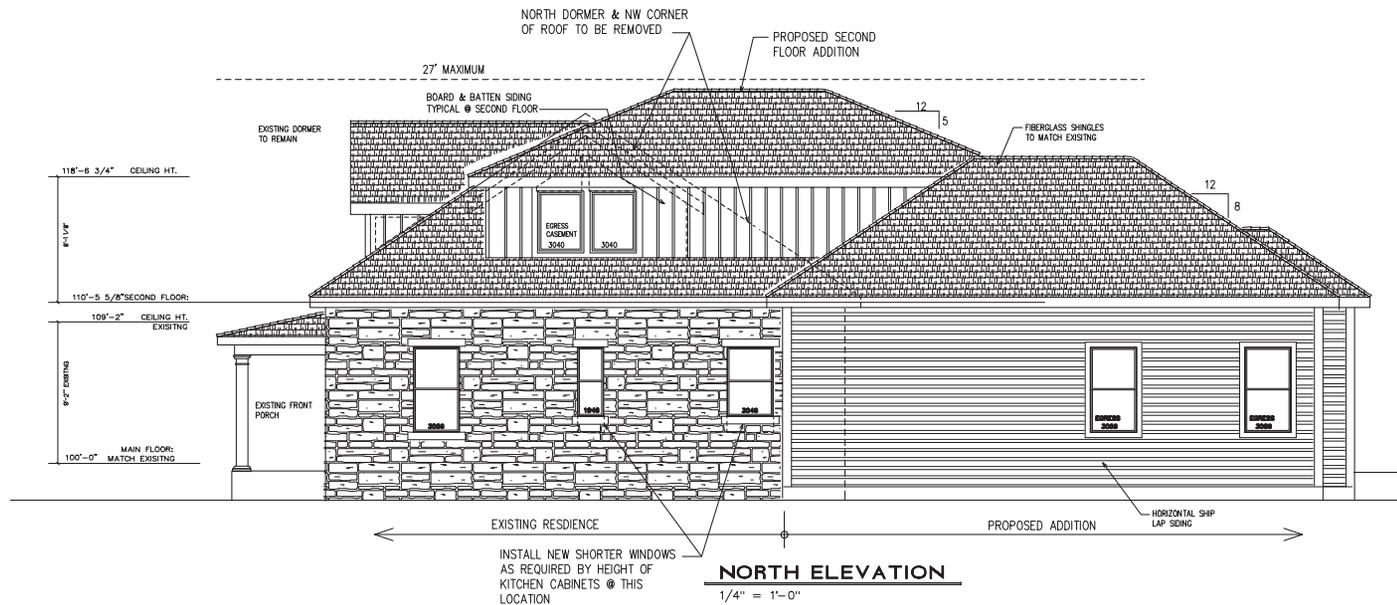
HARVEY
701 GARFIELD

DRAWING
A-4
SHEET 5 OF 8



WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

**MICHAEL
STEINHOFF
ARCHITECT**
4030 WEST 102ND AVENUE 80031
WESTMINSTER, COLORADO
303-423-5472
ms_designs@msn.com

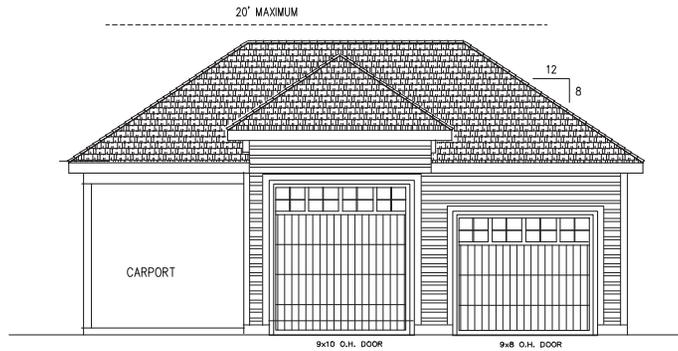


PROPOSED ADDITIONS & REMODELING
HARVEY RESIDENCE
701 GARFIELD STREET
LOUISVILLE, COLORADO

MIKEBAN HARVEY-ADD
HARVEYPL101216
DRAWN: MS
DATE: 10-25-16
REV:

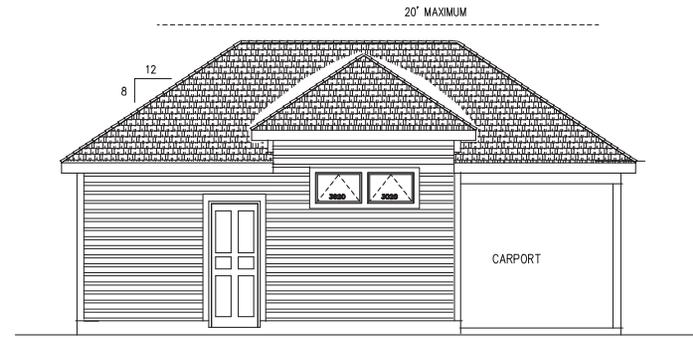
**HARVEY
701 GARFIELD**

DRAWING
A-5
SHEET 6 OF 8



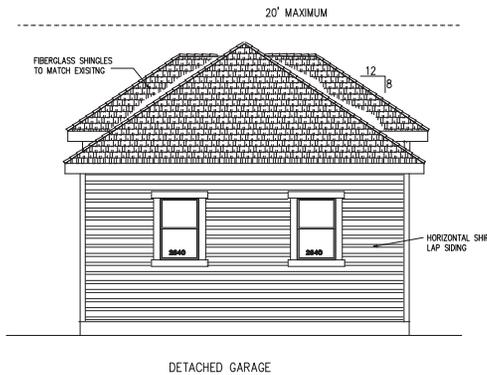
WEST ELEVATION

1/4" = 1'-0"



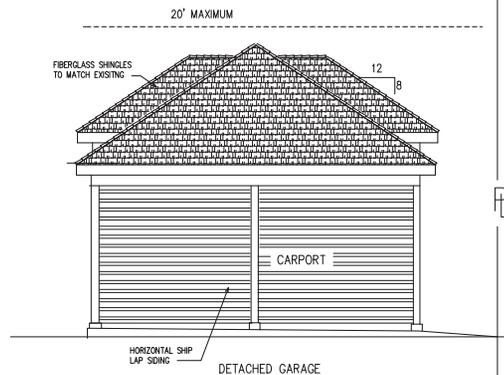
EAST ELEVATION

1/4" = 1'-0"



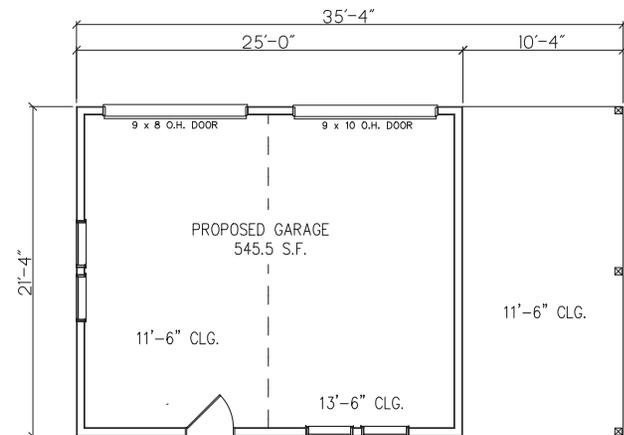
SOUTH ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"



FLOOR PLAN

1/4" = 1'-0"

MICHAEL STEINHOFF ARCHITECT

4030 WEST 102nd AVENUE
WESTMINSTER, COLORADO 80031
303-423-5472 ms_design@msn.com

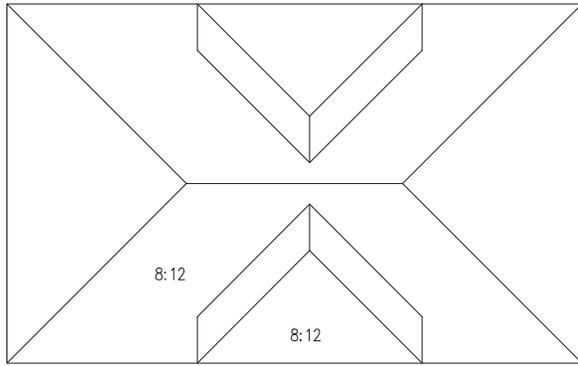
**PROPOSED DETACHED GARAGE
HARVEY RESIDENCE
701 GARFIELD STREET
LOUISVILLE, COLORADO**

MIKEBAN HARVEY-ADD
HARVEYPL101216

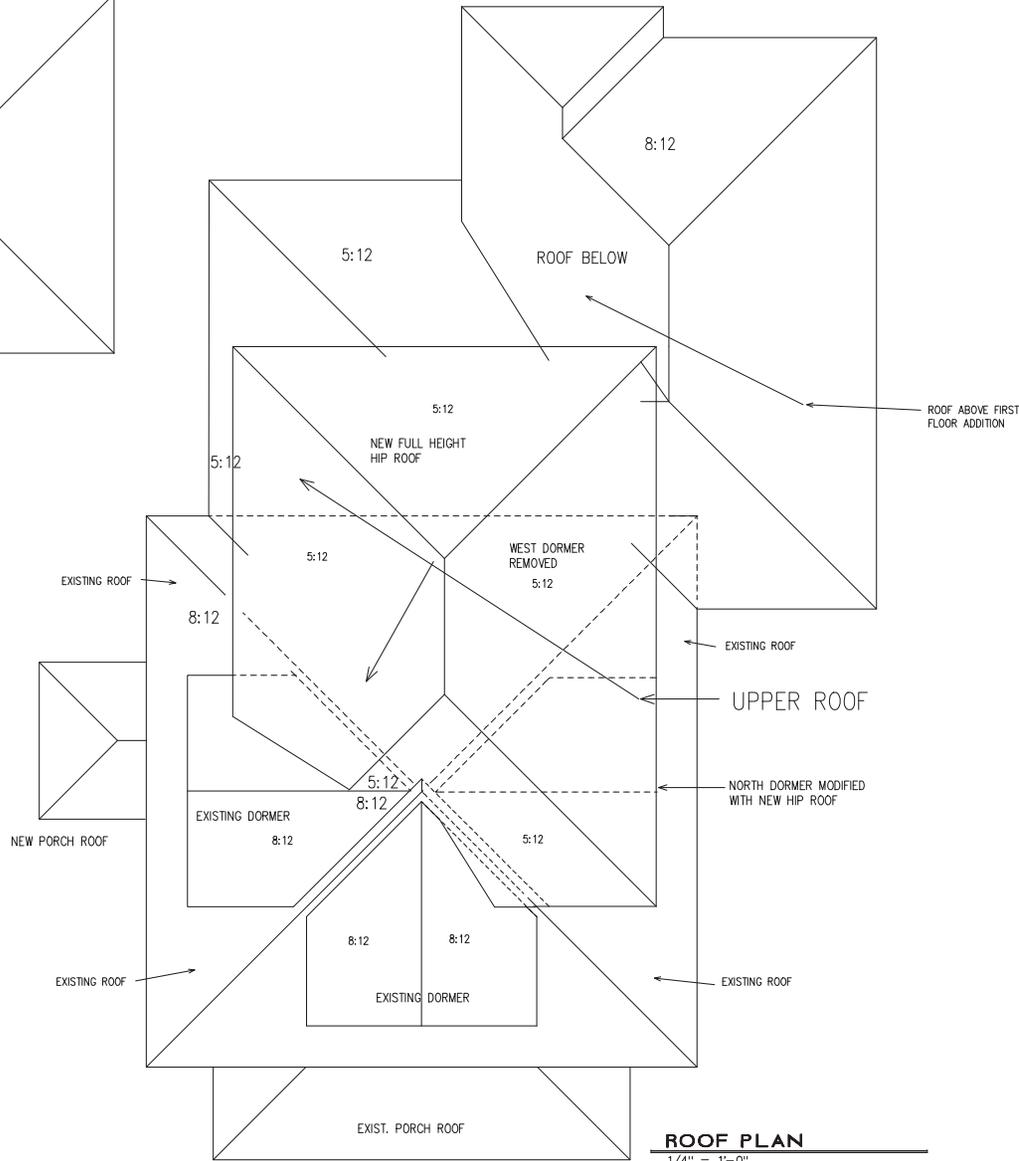
DRAWN: MS
DATE: 10-25-16
REV:

**HARVEY
701 GARFIELD**

**DRAWING
A-6
SHEET 7 OF 8**



ROOF PLAN
1/4" = 1'-0" DETACHED GARAGE



ROOF PLAN
1/4" = 1'-0" EXISTING & PROPOSED

MICHAEL STEINHOFF ARCHITECT
4030 WEST 102nd AVENUE
WESTMINSTER, COLORADO 80031
303-423-5472 ms_designs@msn.com



PROPOSED ADDITIONS & REMODELING
HARVEY RESIDENCE
701 GARFIELD STREET
LOUISVILLE, COLORADO

MIKEBAN HARVEY-ADD
HARVEYPL101216

DRAWN: MS
DATE: 10-25-16
REV:

HARVEY
701 GARFIELD

DRAWING
A-7
SHEET 8 OF 8



Historic Preservation Fund Application

The following information must be provided to ensure adequate review of your proposal. Please type or print answers to each question. Please keep your responses brief.

1. OWNER/APPLICANT INFORMATION

Owner or Organization

- a. Name: BRIAN & BETSY HARVEY
- b. Mailing Address: 1332 LARK CT. BOULDER CO 80302
- c. Telephone: 720-201-2057
- d. Email: bkh71@icloud.com

Applicant/Contact Person (if different than owner)

- a. Name: _____
- b. Mailing Address: _____
- c. Telephone: _____
- d. Email: _____

2. PROPERTY INFORMATION

- a. Address: 701 GARFIELD STREET

- b. Year of construction or estimate: 1907
- c. Is the building designated as a landmark or in an historic district? (local, state, or federal) If so, what is the name of the landmarked property: NO
- d. Attach information on the history of the site, including old photos and social history if available.
- e. Primary Use of Property (check one): Residential
 Commercial

3. PROJECT DESCRIPTION (Please do not exceed space provided below.)

- a. Provide a brief description of the proposed scope of work.
 REPLACE ELECTRIC SERVICE IN ITS ENTIRETY, TUCKPOINT STONE WALLS, REPLACE BUILDING SEWER DRAIN, DEMOLISH 2 NON-HISTORIC ADDITIONS, DEMOLISH WOOD FRAMED GARAGE/WORKSHOP, TRIM 2 TREES. FIRST FLR. FRAMING WILL BE CORRECTED TO LEVEL & STABLE CONDITION.
- b. Describe how the work will be carried out and by whom. Include a description of elements to be rehabilitated or replaced and describe preservation work techniques that will be used.
 WORK WILL BE PERFORMED BY LICENSED CONTRACTOR & BY OWNER. STONE WALLS WILL HAVE JOINTS CLEANED & TUCKPOINTED. WINDOWS & STORM WINDOWS & FIRST FLOOR WILL BE REMOVED & REPLACED, FIRST FLOOR WILL BE MODIFIED AS DETERMINED BY A STRUCTURAL ENGINEER.
- c. Explain why the project needs rehabilitation grant funds now. Include a description of community support and/or community benefits, if any.
 NEW OWNERS PLAN TO REMODEL EXISTING STRUCTURE, INCLUDING REMOVING NON-HISTORIC ELEMENTS, & CONSTRUCT A 2-STORY ADDITION & NEW DETACHED GARAGE-CARPORT

4. DESCRIPTION OF REHABILITATION

Feature A	
<p>NAME OF ARCHITECTURAL FEATURE: <u>ELECTRICAL SERVICE</u></p> <p>Describe feature and its condition:</p> <p>UNSAFE PANELS @ GARAGE, 1ST FLOOR & BASEMENT, SUB-STANDARD WIRING PER 2014 NEC</p>	<p>Describe proposed work on feature:</p> <p>ALL NEW ELECTRIC SERVICE TO RESIDENCE, SERVICE TO NEW GARAGE, REWIRE RESIDENCE AS REQUIRED</p>
Feature B	
<p>NAME OF ARCHITECTURAL FEATURE: <u>BUILDING SEWER LINE</u></p> <p>Describe feature and its condition:</p> <p>EXISTING PIPE IS PAPER-TAR TYPE "ORANGEBURG" THAT IS PARTIALLY BLOCKED & BEYOND ITS SERVICE LIFE.</p>	<p>Describe proposed work on feature:</p> <p>REPLACE SEWER LINE FROM RESIDENCE TO PUBLIC SEWER LINE.</p>
Feature C	

c.

<p>NAME OF ARCHITECTURAL FEATURE: <u>SEWER EXTERIOR WALL</u></p> <p>Describe feature and its condition: CRACK JOINTS IN VARIOUS CONDITIONS. LOOSE, MISSING OR POORLY INSTALLED.</p>	<p>Describe proposed work on feature:</p> <p>CLEAN ALL MASONRY JOINTS & TUCK POINT WITH NEW MORTAR.</p>
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4. DESCRIPTION OF REHABILITATION (continued)

Feature D	
<p>NAME OF ARCHITECTURAL FEATURE: <u>WEST & SOUTH ADDITION</u></p> <p>Describe feature and its condition: Both consist of brick low walls (PAINTED) WITH WINDOWS ABOVE, SHED ROOFS, BOTH ARE NON-HISTORIC (DATES UNKNOWN, SOUTH ADDITION DETRACTS FROM VIEW FROM PINE STREET, ENCLOSES HISTORIC SOUTH ENTRY DOOR.</p>	<p>Describe proposed work on feature: DEMOLISH WEST & SOUTH ADDITION IN THEIR ENTIRETY, INCLUDING FOUNDATIONS</p>
Feature E	
<p>NAME OF ARCHITECTURAL FEATURE: <u>FIRST FLOOR TRIMMING</u></p> <p>Describe feature and its condition: FLOOR IS DEFLECTING IN KITCHEN, JOISTS HAVE BEEN CUT, MODIFIED & HEADERED OFF & ARE NOT STRUCTURALLY SOUND.</p>	<p>Describe proposed work on feature: CORRECT AREAS WHERE INCORRECT MODIFIED, ADD ADDITIONAL JOISTS &/OR SUPPORTS TO RESULT IN SOUND, LEVEL FLOOR SYSTEM</p>
Feature F	

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<p>NAME OF ARCHITECTURAL FEATURE: <u>DETACHED GARAGE/WORKSHOP</u></p> <p>Describe feature and its condition: WOOD FRAMED, VERY LOW CEILINGS, SUB-STANDARD FRAMING, UN-SAFE ELECTRIC SERVICE, GARAGE OVER-HEAD DOOR OPENS TO BUSY PINE STREET, CREATING DANGEROUS CONDITION FOR BACK OUT. LOUISVILLE DOES NOT FAVOR THIS CONDITION</p>	<p>Describe proposed work on feature:</p> <p>DEMOLISH GARAGE - WORKSHOP IN ITS ENTIRETY INCLUDING FOUNDATION & CONCRETE SLAB</p>
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Please photocopy this sheet and attach copies if necessary.

4. DESCRIPTION OF REHABILITATION (continued)

<p>Feature D G</p>	
<p>NAME OF ARCHITECTURAL FEATURE: <u>TRIM 2 TREES</u></p> <p>Describe feature and its condition: 2 LARGE TREES ALONG SOUTH PROPERTY LINE ARE OVERGROWN & HAVE DEAD LIMBS & BRANCHES WHICH POSE A POTENTIAL HAZARD TO PEDESTRIANS, RESIDENTS & THE STRUCTURE</p>	<p>Describe proposed work on feature: PRUNE TREES TO REMOVE DEAD LIMBS & BRANCHES & SHAPE TO HEALTHY CONDITION.</p>
<p>Feature E H</p>	
<p>NAME OF ARCHITECTURAL FEATURE: <u>1ST FLOOR WINDOWS</u></p> <p>Describe feature and its condition: WOOD DOUBLE HUNG, SINGLE PANE WINDOWS w/ALUMINUM STORM WINDOWS. IN POOR CONDITION, NOT ENERGY EFFICIENT, STORM WINDOWS NOT HISTORIC.</p>	<p>Describe proposed work on feature: REPLACE WINDOWS WITH WOOD FRAMED DOUBLE GLAZED (LOW-E) REMOVE STORM WINDOWS. REPAIR & PAINT JAMBS & SILLS & HEADERS.</p>
<p>Feature F</p>	

5. COST ESTIMATE OF PROPOSED WORK

Please provide a budget that includes accurate estimated costs of your project. Include an **itemized breakdown** of work to be funded by the incentives and the work to be funded by the applicant. Include only eligible work elements. Use additional sheets as necessary. (Please reference this section in your contractor's bid attachment).

Feature	Work to be Funded	Type and Amount of Incentive Sought	Applicant Cost
A.	NEW ELECTRIC SERV. WIRING	\$ 6,500	\$ 6,500
B.	BUILDING SEWER LINE	\$ 2,500	\$ 2,500
C.	(TUCK POINT) REPAIR STONE WALLS	\$ 3,000	\$ 4,350
D.	DEMOLISH WEST & SOUTH ADDITIONS	\$ 1,500	\$ 3,500
E.	REPAIR FIRST FLOOR FRAMING	\$ 2,000	\$ 2,500
F.	DEMOLISH DETACHED GARAGE - WORKSHOP	\$ 0	\$ 4,000
G.	TRIM 2 TREES	\$ 0	\$ 2,000
H.	REPLACE FIRST FLOOR WINDOWS	\$ 3,000	\$ 10,600
I.	PERMITS, TAXES 5% CONTRACTOR O.H. & P 13%	\$ 3,300	\$ 6,000
J.		\$	\$
K.		\$	\$
	Subtotal Incentive Cost/Applicant Cost	\$ 21,800	\$ 41,950

Total Project Cost	\$
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If partial incentive funding were awarded, would you complete your project?

- YES NO

6. ADDITIONAL MATERIALS REQUIRED

The following items must be submitted along with this application:

- a. One set of photographs or slides for each feature as described in Item 4 "Description of Rehabilitation". Please label of each photograph with the address of your property and the feature number.

- b. A construction bid if one has been made for your project (recommended).

- c. Working or scaled drawings, spec sheets, or materials of the proposed work if applicable to your project.

7. Assurances

The Applicant hereby agrees and acknowledges that:

- A. Funds received as a result of this application will be expended solely on described projects, and must be completed within established timelines.

- B. Awards from the Historic Preservation Fund may differ in type and amount from those requested on an application.

- C. Recipients must submit their project for any required design review by the Historic Preservation Commission and acquire any required building permits before work has started.

- D. All work approved for grant funding must be completed even if only partially funded through this incentives program.

E. Unless the conditions of approval otherwise provide, disbursement of grant or rebate funds will occur after completion of the project.

F. The incentive funds may be considered taxable income and Applicant should consult a tax professional if he or she has questions.

G. If this has not already occurred, Applicant will submit an application to landmark the property to the Historic Preservation Commission. If landmarking is not possible for whatever reason, Applicant will enter into a preservation easement agreement with the City of Louisville. Any destruction or obscuring of the visibility of projects funded by this grant program may result in the City seeking reimbursement.

H. The Historic Preservation Fund was approved by the voters and City Council of Louisville for the purpose of retaining the city's historic character, so all work completed with these funds should remain visible to the public.

Signature of Applicant/Owner

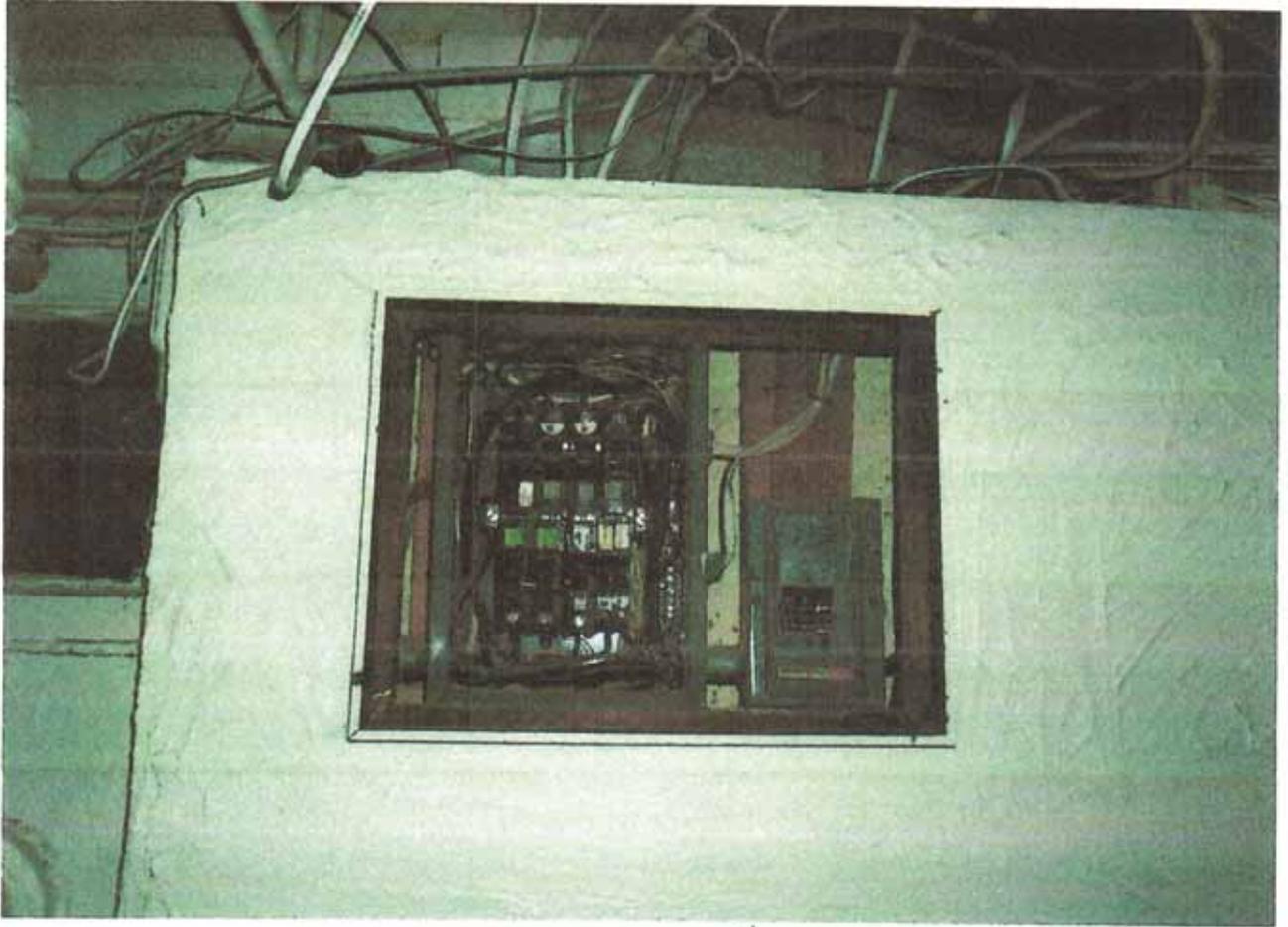
Date



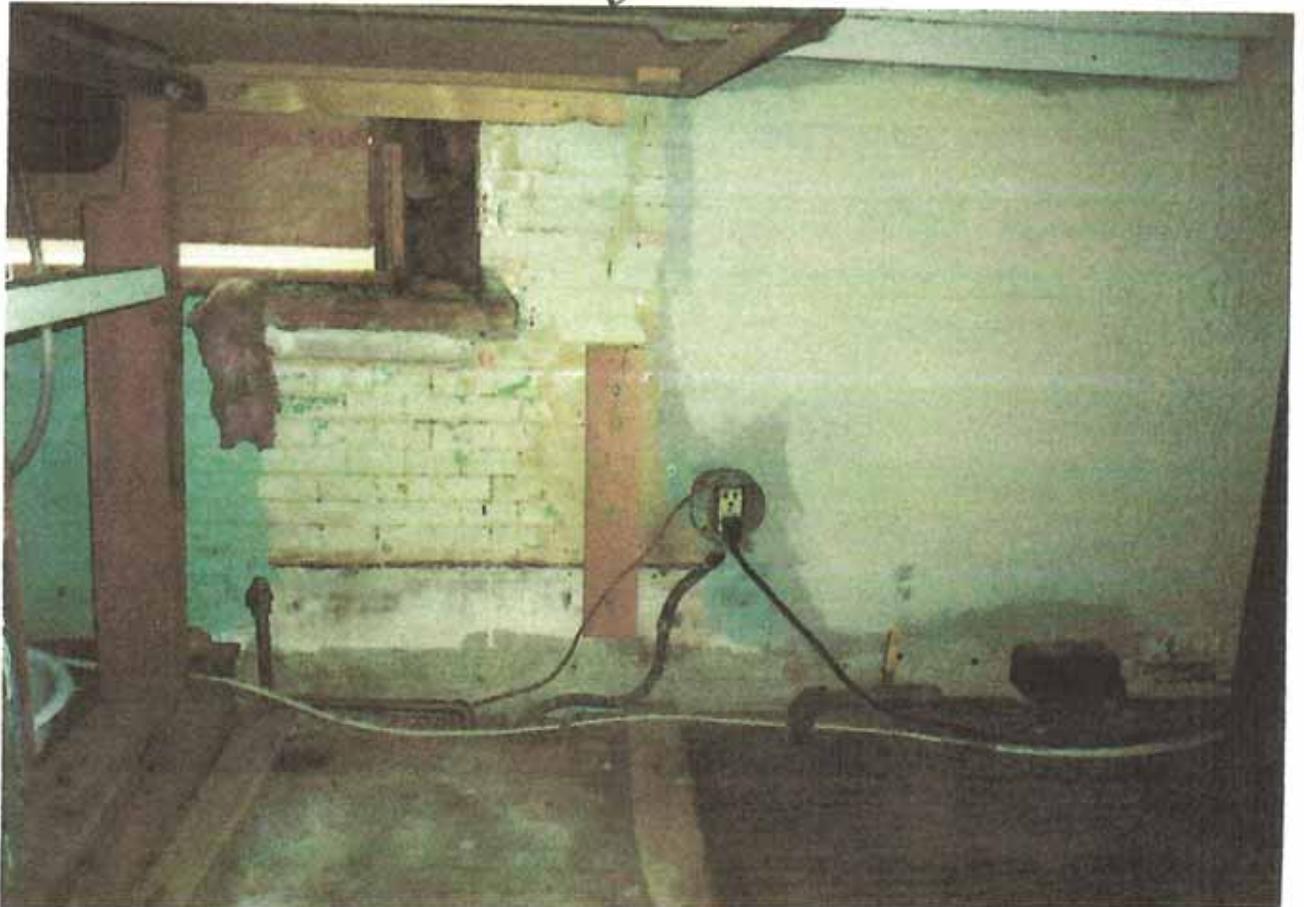
ELECTRIC METER MOUNTED ON GARAGE.
CONDUIT FOR UNDERGROUND POWER TO
RESIDENCE

FEATURE 'A'

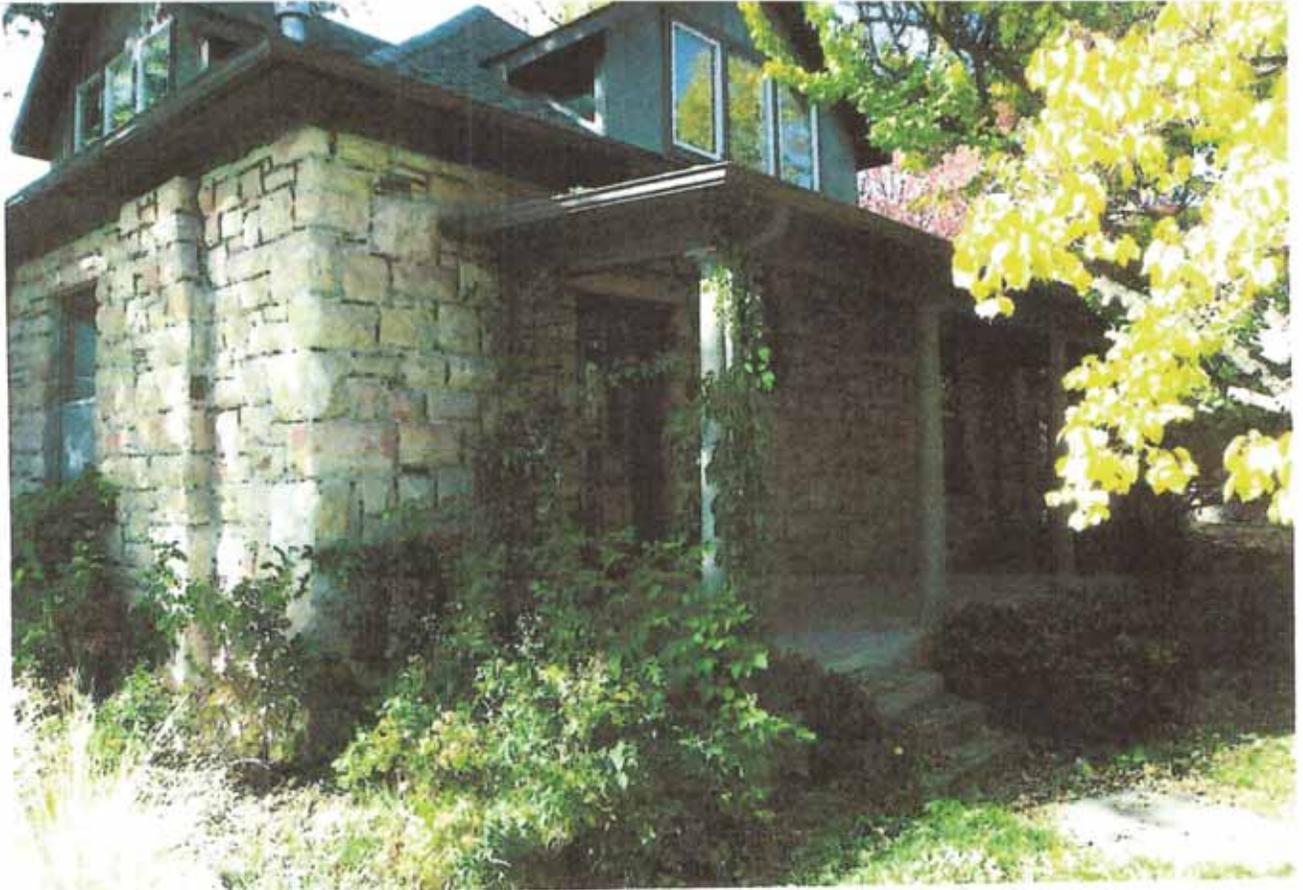
①



SUB-PANEL IN BASEMENT →
WIRING IN KITCHEN ↓



FEATURE "A"



STONE REPAIR - S.E. CORNER

STONE REPAIR - N.W. CORNER



-C FEATURE 'C'



STONE REPAIR - EAST WALL & ENTRY

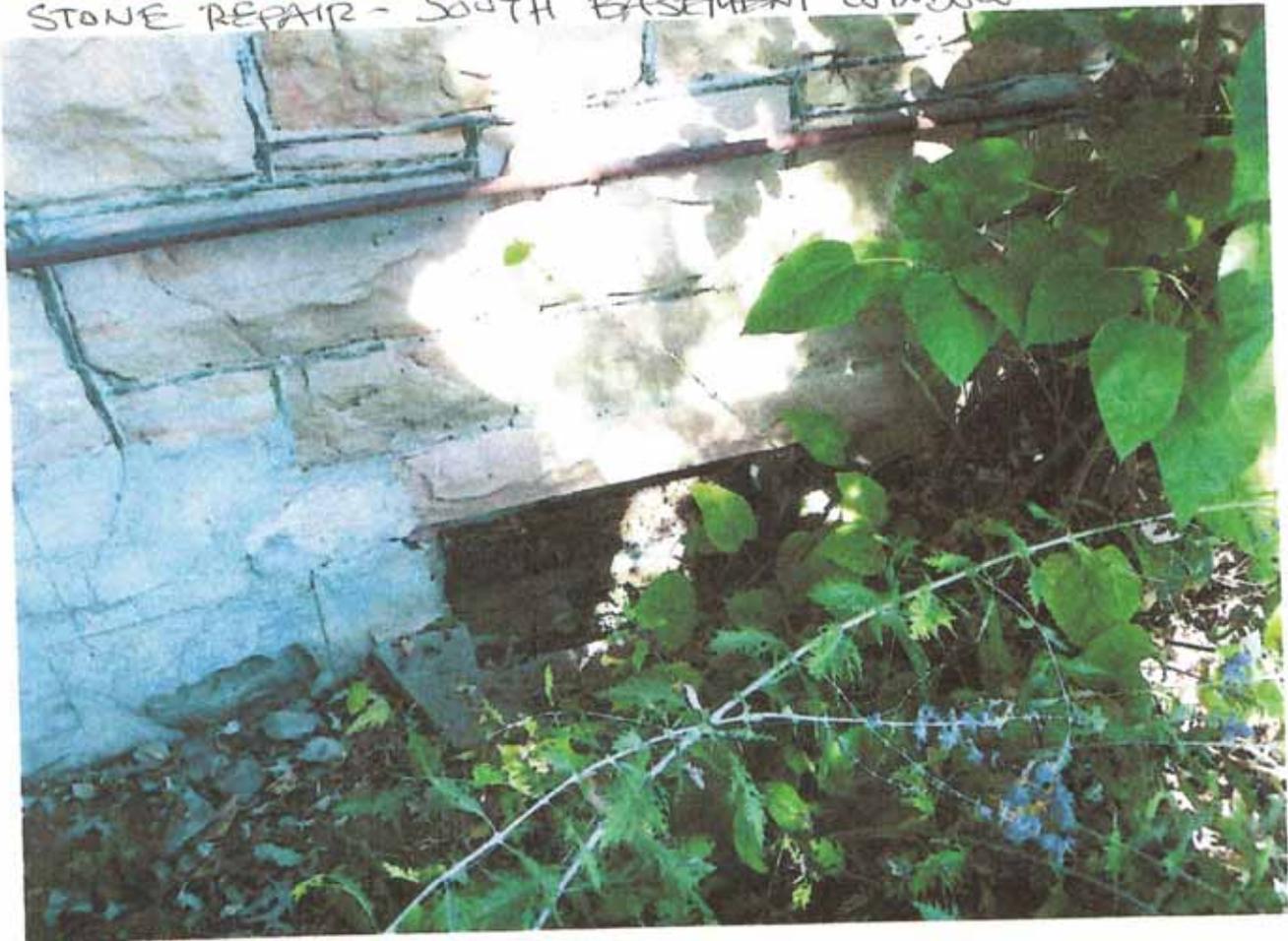


NO FEATURE "C"

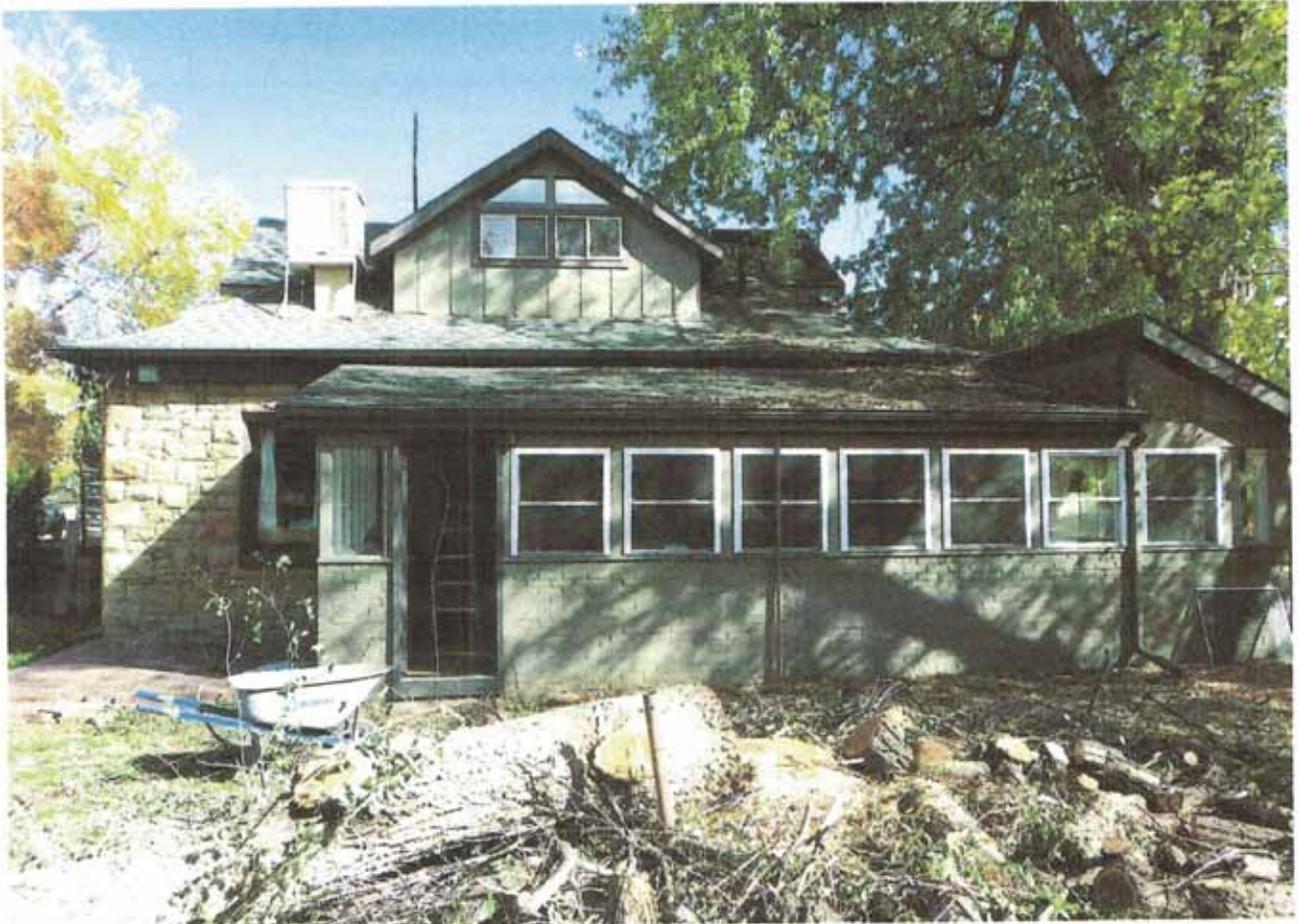


STONE REPAIR - NORTH WALL

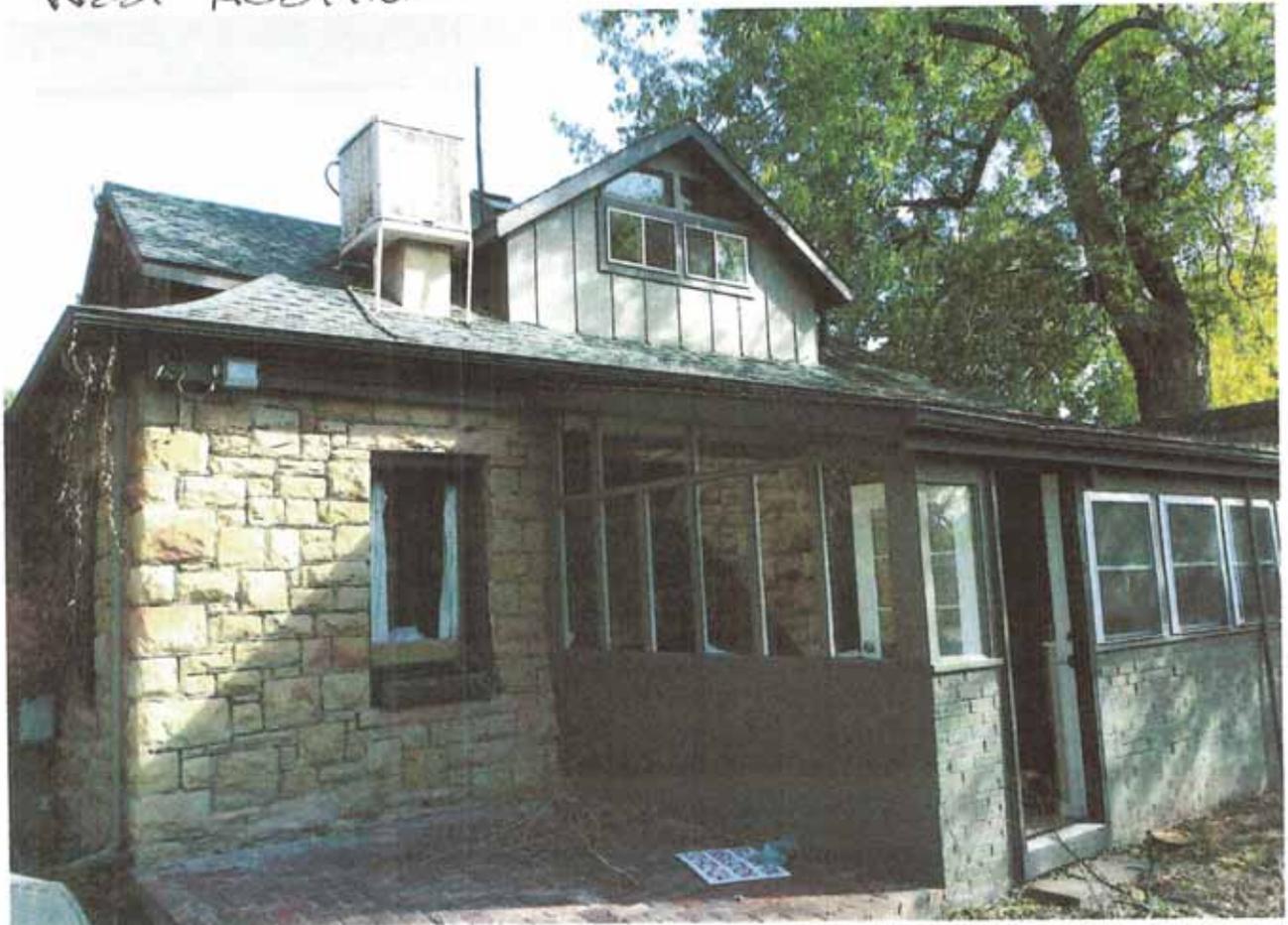
STONE REPAIR - SOUTH BASEMENT WINDOW



300 FEATURE 'C'



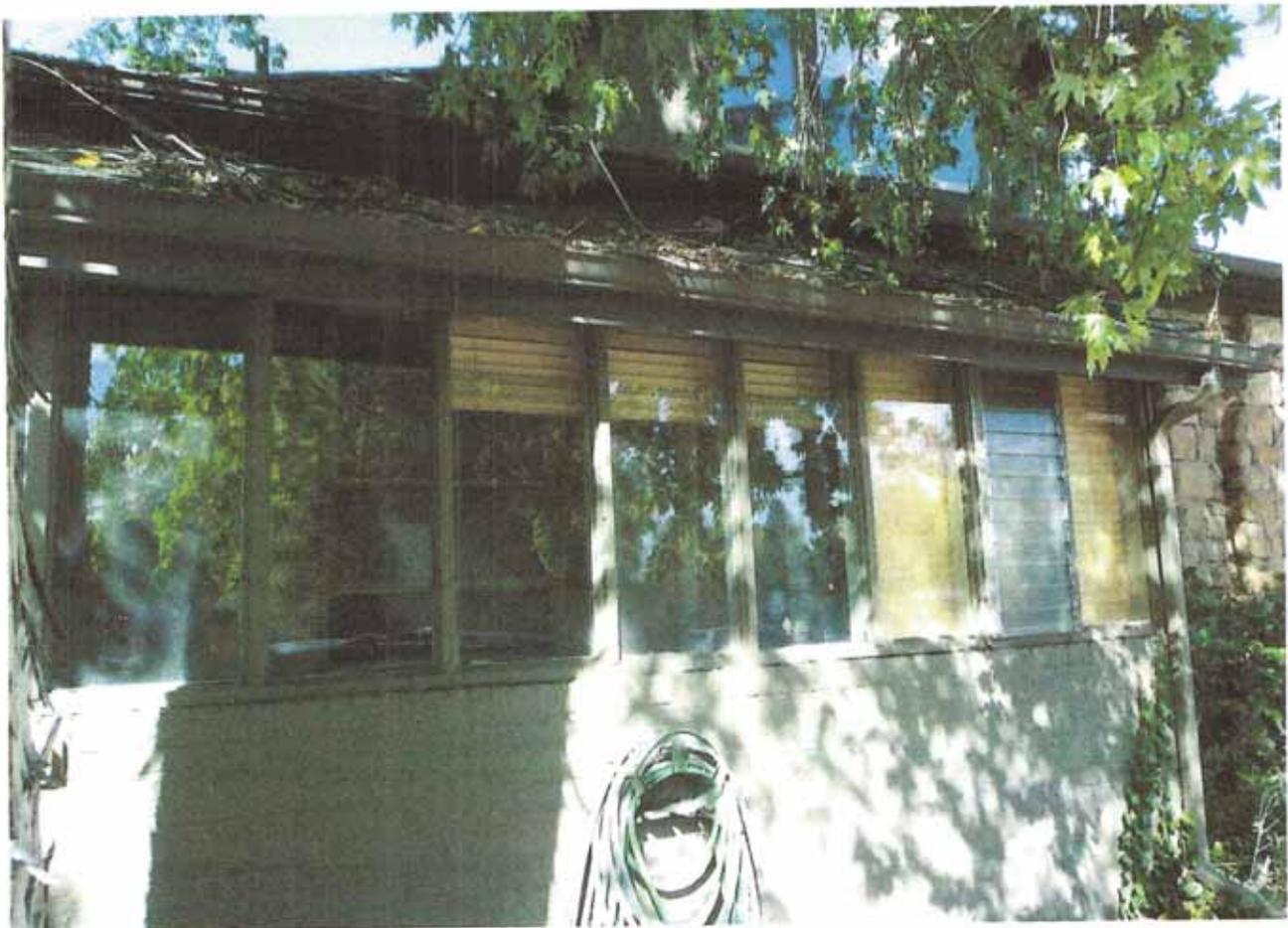
WEST ADDITION



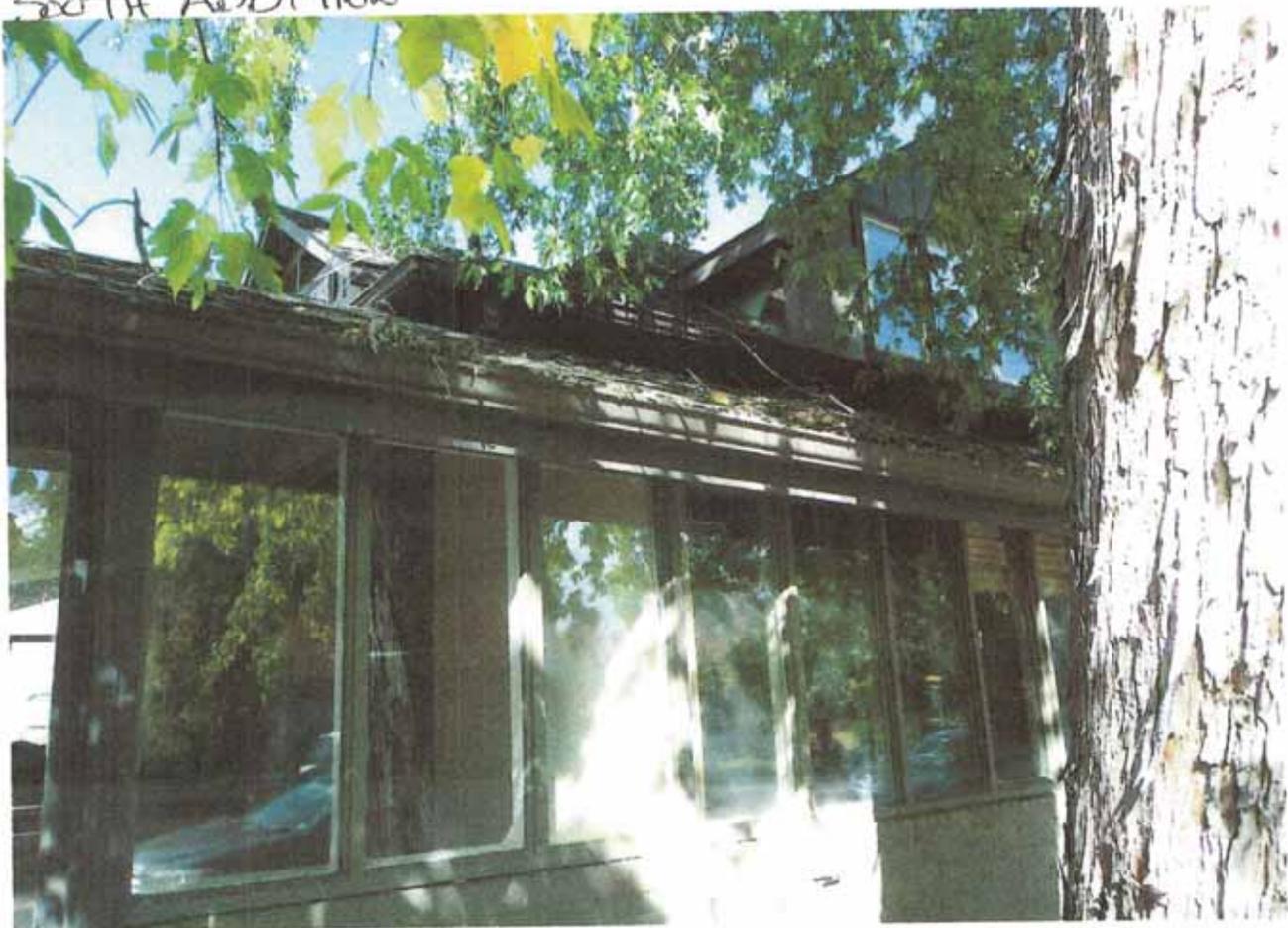
WEST ADDITION

FEATURE 'D'





SOUTH ADDITION



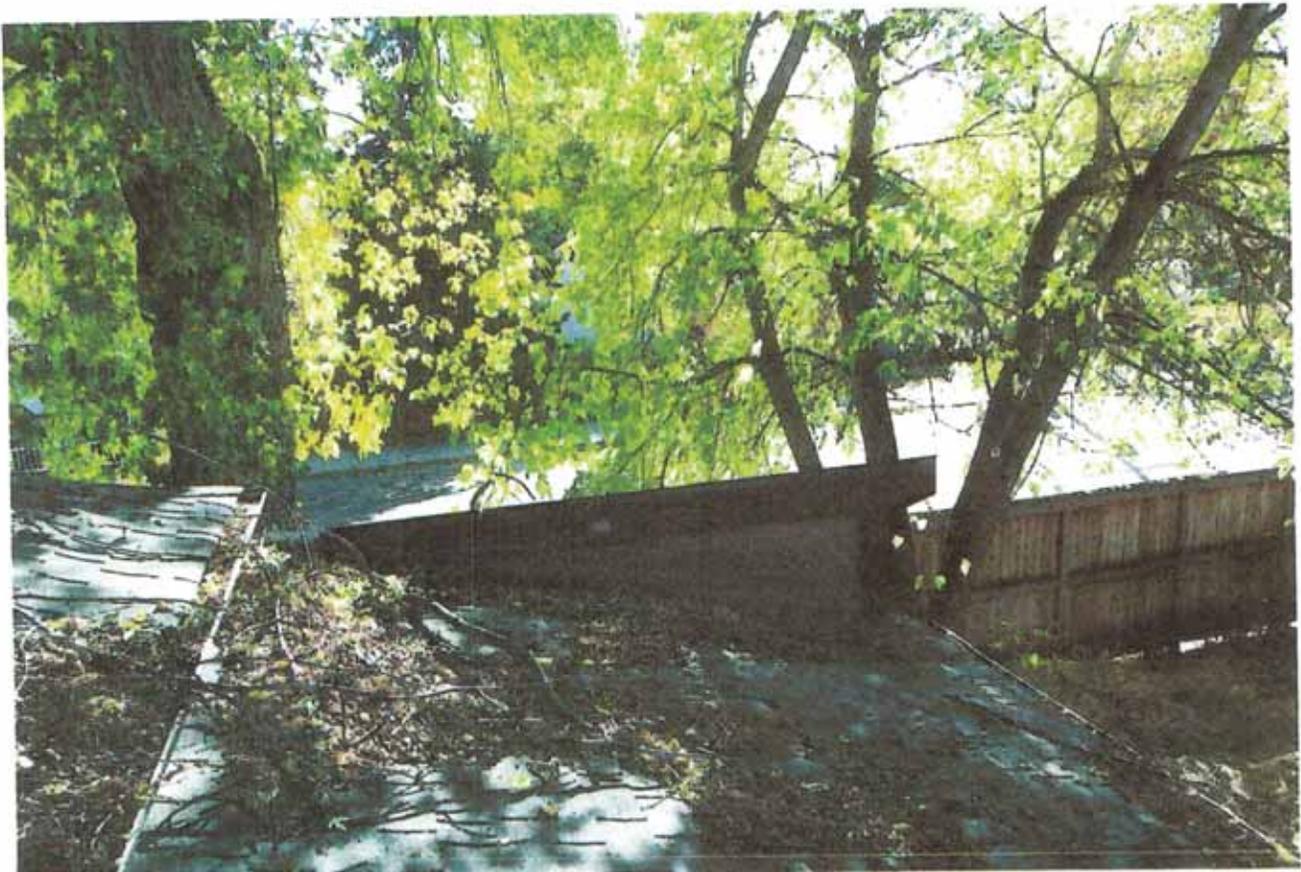
SOUTH ADDITION

FEATURE 'D' (2)



SOUTH ADDITION —
ORIGINAL SOUTH ENTRY DOOR BEHIND

SHEED ROOFS ABOVE SOUTH & WEST ADDITIONS



FEATURE 'D'
(3)



FIRST FLOOR FRAMING

FIRST FLOOR FRAMING



⊙ FEATURE 'E'

MEMORANDUM

To: Historic Preservation Commission Members

From: Department of Planning and Building Safety

Subject: Alteration Certificate Update – 1116 LaFarge (Jannucci House)

Date: **November 21, 2016**

On November 7, 2016 Planning Staff and two subcommittee members of the HPC reviewed a request to replace the roof on the garage at 1116 LaFarge Avenue.



1116 LaFarge Avenue Garage

After deliberation, the HPC subcommittee decided to release the permit because the garage was constructed in the 1980s.

MEMORANDUM

To: Historic Preservation Commission Members
From: Department of Planning and Building Safety
Subject: Demolition Update – Administrative Review
Date: **November 21, 2016**

533 County Road

On November 25, 2016, Planning Staff reviewed a request to replace the roof at 533 County Road. Staff released the permit through the administrative review process outlined in 15.36.200(D) because the existing roof was put in place after 1955.

505 Grant Avenue

On November 2nd, 2016, Planning Staff reviewed a request to replace the roof at 505 Grant Avenue. Staff released the permit through the administrative review process outlined in 15.36.200(D) because the existing roof was put in place after 1955.

MEMORANDUM

To: Historic Preservation Commission Members
From: Department of Planning and Building Safety
Subject: Upcoming Schedule
Date: **November 21, 2016**

December

1st - "Discover Louisville's Historic Subdivisions and Neighborhoods," Brown Bag Presentation, Noon to 1 PM, Library Meeting Room
19th - Historic Preservation Commission Meeting, 6:30pm, Council Chambers
23rd - Early Bird Registration Deadline [CPI Saving Places Conference](#)

January

TBD - Training with City Attorney
9th (2nd Monday) - Historic Preservation Commission Meeting, 6:30pm, Council Chambers

February

1st -4th - CPI Saving Places Conference, Denver
13th (2nd Monday) - Historic Preservation Commission Meeting, 6:30pm, Council Chambers