

Planning Commission

Agenda

May 12, 2016

City Hall, Council Chambers

749 Main Street

6:30 PM

For agenda item detail see the Staff Report and other supporting documents included in the complete meeting packet.

Public Comment will be limited to three (3) minutes per speaker.

- I. Call to Order
- II. Roll Call
- III. Approval of Agenda
- IV. Approval of Minutes
 - April 14, 2016
- V. Public Comment on Items Not on the Agenda
- VI. Regular Business – Public Hearing Items
 - **Lots 6&10, Block 3, CTC 1 Final PUD:** A request for a 62,400 SF industrial building on Lots 6 and 10, Block 3, Colorado Technological Center, Filing #1.
 - Applicant: Komunale Properties (John Komunale)
 - Owner: Tech Commons, LLC
 - Representative: Kimley-Horn and Associates, Inc. (Dan Skeehan)
 - Case Manager: Scott Robinson, Planner II
 - **305 Arthur Final PUD:** A request for a 17,940 SF single story industrial flex building with associated site improvements on Lot 1 of the Business Center at CTC, Replat E.
 - Applicant and Representative: Etkin Johnson Real Estate Partners (Liz Cox)
 - Owner: EJ 305 South Arthur LLC
 - Case Manager: Lauren Trice, Planner I
 - **Kestrel Final PUD Amendment:** A request for an amendment to the existing Kestrel PUD to allow for 9 additional affordable housing units.
 - Applicant, Owner, and Representative: Boulder County Housing Authority (Norrie Boyd)
 - Case Manager: Lauren Trice, Planner I
 - **A Resolution of denial for Business Center at CTC GDP Amendment:** A request for an amendment to the Business Center at CTC general development plan to allow wedding/event venues. This project received a recommendation of denial at the April 14, 2016 Planning Commission meeting.
 - Case Manager: Lauren Trice, Planner I

VII. Planning Commission Comments

VIII. Staff Comments

IX. Items Tentatively Scheduled for the regular meeting June 9, 2016:

- **Balfour Senior Living Plat/PUD Amendment:** A request for a final Plat and planned unit development (PUD) to allow for a new 54-unit Assisted Living Community.
 - Applicant, Owner, and Representative: Balfour Senior Living (Hunter MacLeod)
 - Case Manager: Lauren Trice, Planner I
- **105 Roosevelt Minor Subdivision:** A request for a minor subdivision to create two lots out of one at 105 Roosevelt Avenue.
 - Applicant, Owner, and Representative: Creel Kerss
 - Case Manager: Scott Robinson, Planner II
- **Business Center at CTC Rezoning:** A request to rezone Lot 1, Block 3, Business Center at CTC from PCZD-C to PCZD-I.
 - Applicant, Owner, and Representative: Etkin Johnson (Jim Vasbinder)
 - Case Manager: Scott Robinson, Planner II
- **McCaslin Blvd Small Area Plan:** A request to review a draft copy of the McCaslin Blvd Small Area Plan.
 - Staff member: Scott Robinson, Planner II

X. Adjourn

Planning Commission Meeting Minutes

**April 14, 2016
City Hall, Council Chambers
749 Main Street
6:30 PM**

Call to Order – Pritchard called the meeting to order at 6:30 P.M.

Roll Call was taken and the following members were present:

Commission Members Present: Chris Pritchard, Chairman
Cary Tengler, Vice Chairman
Ann O’Connell, Secretary
Steve Brauneis
Jeff Moline
Tom Rice
David Hsu

Commission Members Absent: None

Staff Members Present: Scott Robinson, Planner II
Lauren Trice, Planner I
Aaron DeJong, Economic Development Director

Approval of Agenda:

Moline moved and **Brauneis** seconded a motion to approve the April 14, 2016 agenda. Motion passed by voice vote.

Approval of Minutes:

Hsu mentioned corrections to vote tally from 6-0 to 6-1 for two resolutions. **Brauneis** moved and **O’Connell** seconded a motion to approve the March 10, 2016 minutes. Motion passed by voice vote.

Public Comments: Items not on the Agenda
None.

Regular Business:

- **Coal Creek Station Final PUD: Resolution No. 08, Series 2016.** A resolution recommending approval of a final subdivision plat and final planned unit development (PUD) to allow for the construction of 51 residential units and 29,242 square feet of commercial space on an approximate 11 acre parcel of the Caledonia Place and Coal Creek Station subdivisions.
 - Applicant and Representative: BVZ Architects (Gary Brothers)
 - Owner: Coal Creek Station Properties, LLC (Bill Arnold)
 - Case Manager: Scott Robinson, Planner II

Conflict of Interest and Disclosure:
None.

Public Notice Certification:

Published in the Boulder Daily Camera on March 27, 2016. Posted in City Hall, Public Library, Recreation Center, and the Courts and Police Building and mailed to surrounding property owners and property posted on March 25, 2016.

Staff Report of Facts and Issues:

Robinson presented from Power Point:

- **BACKGROUND.** Located at southwest corner of South Boulder Road and Highway 42. It incorporates most of the land but leaves out Union Jack Liquor, Fordyce Auto Center, and Louisville Car Wash. It includes the strip retail buildings, Louisville Cyclery building, and all vacant land. Precision Pour coffee shop is excluded because it sits on its own small parcel.
- **PROJECT.** There are a few changes from the preliminary and mostly complies with what was proposed in the preliminary. The residential number and layout stays the same. The location of the commercial buildings stays the same. Some of the commercial buildings have decreased in size. Buildings A and B have shrunk by 20%. Building C has shrunk by 9%. Building D has reduced slightly.

Commercial	Preliminary	Final	Difference	Change
Building A	8,010 SF	6,430 SF	-1,580 SF	-20%
Building B	11,450 SF	8,995 SF	-2,455 SF	-21%
Building C	9,575 SF	8,750 SF	-825 SF	-9%
Building D	5,300 SF	5,297 SF	-3 SF	-0.1%
Residential	Units			
Duplex	34	34	0	N/A
Townhouse	17	17	0	N/A

- **ZONING.** When the preliminary went through, this property was rezoned in compliance with the Highway 42 Revitalization Plan. The property is zoned a mix of commercial community (CC), mixed-use residential (MU-R), residential medium density (RM). The proposal complies with the existing zoning as approved three years ago. It was preliminary approved in the summer of 2013. The applicant has one year to submit for final approval, which the applicants did in January 2014. There were issues to work out. It has been almost three years since preliminary approval.
- **PLAT.** All residential units are proposed to be on individual lots.
 - Relocated Cannon Circle - The applicant proposes to relocate Cannon Circle intersection further south away from Highway 42. CDOT has approved allowance for signal. Applicants propose to install a signal. The intersection would be designed so it will function for both this property and access for Harney-Lastoka property.
 - Truck Only Access - Fordyce Auto Center needs truck access which is currently off the existing Cannon Circle. Applicants have worked with the property owner and CDOT to come up with a solution that will allow a right-in, right-out truck access, signed Truck Access Only. It will not be for customers, just trucks serving Fordyce Auto.
 - South Alley Improvement – Applicants propose to improve and pave the alley. It currently gets access from Highway 42. It will be closed off at Highway 42 and there will be an access onto the new Cannon Circle.
 - Front Street Connection – Issue to be worked out after preliminary is getting access to the new Front Street connection. The applicants were unable to work out a deal with the property owners so they have redesigned the alley to go around it. It would be a private alley for the development. Given the fact that it will be closed off on the east side at Highway 42 and private on the west side, the

City does not believe it is practical for the City to maintain it. The City is requesting that the alley, while still a public alley, be maintained by the HOA going forward.

- **PUD.** The applicants are requesting 51 residential units, a density of 6.9 units per acre, which is less than the minimum required in the MU-R zone district under MUDDSG that calls for a density between 12 and 20 units per acre. The applicant is requesting a waiver to allow for lower density and fewer units. Staff feels this is appropriate given its location, its adjacency to the established Little Italy neighborhood which is of similar density, and it is further from the proposed future transit station. It does not have the same transit oriented development feel to it and the higher densities do not make as much sense here.

- **MU-R Waivers.**

Waiver	Required	Request
Lot Coverage	40%	30%
Front Setback	10 feet	30 feet
Lot Line Coverage	70%	60%

- **RM Waivers.**

	Required	Requested
Minimum lot size	7000 sf	2800 sf
Minimum lot area per unit	3500 sf	2800 sf
Minimum lot width	60 feet	26 feet

Setback	Required	Requested
Front	25'	13'
Side	7'	0' (shared wall) 5' (exterior wall)
Rear	25'	20'
lot coverage	35%	50%

- **CC Waivers.** Building D proposed as a drive-through which is allowed.

Waiver	Requirement	Request
Lot Coverage	30%	10%
Hwy 42 setback	60 feet	120 feet
Cannon Cir setback	30 feet	111 feet
Parking	22 spaces	23 spaces

Buildings A & B Waiver	Requirement	Request
Lot Coverage		
Building A	30%	25%
Building B	30%	25%

- **HEIGHT.** Townhomes and triplexes proposed for northwest corner will comply with height requirements, between two and three stories, 35-45'. Duplexes will be a maximum of two stories and maximum height of 35'. Zoning calls for minimum of two stories, 35'.
- **SIDEWALK.** Sidewalk along South Boulder Road to be widened to 8'. Green space provided as a buffer between the commercial area and residential area. A series of sidewalks and trails will connect through the development. There are no bike lanes or dedicated bike trails proposed. This is an extension of the Downtown Old Town feel.

- **URBAN FORM.** Buildings comply with MUDDSG for commercial buildings. For residential, there are no specific designs for standard single family attached dwelling units such as duplexes or triplexes. Floor elevations are not required in a PUD. Staff is comfortable with what is proposed. They are compatible with the neighborhood and compatible with the design standards.
- **SIGNAGE.** The building signs in the commercial comply with the CDDSG. The proposal calls for entry monument signs, two signs at each of three entrances off South Boulder Road and Highway 42. Standards call for one monument sign per entrance. Staff recommends only one entry monument sign be allowed at each entrance instead of two. The sign design is compatible with the standards.
- **WAIVERS SUMMARY.**
 - Decreased residential density in the MU-R district
 - Decreased minimum lot coverage in the MU-R district
 - Increased maximum front setback in the MU-R district
 - Decreased minimum front lot line coverage in the MU-R district
 - Decreased minimum lot size, lot area per unit, and lot width in the RM district
 - Decreased minimum setbacks in the RM district
 - Increased maximum lot coverage in the RM district
 - Decreased minimum lot coverage for Buildings A, B, and D in the CC district
 - Increased maximum setbacks for Building D in the CC district
 - Increased maximum parking allowance for Building D in the CC district
 - Decreased minimum height and story requirements in both MU-R and CC districts

Staff Recommendations:

Staff recommends Planning Commission move to approve Resolution No. 08, Series 2016, recommending approval of the final plat and final PUD with the following conditions:

1. The southernmost alley will be maintained by the HOA.
2. Satisfy the comments in the Louisville Fire Protection District memo dated February 18, 2016 before City Council.
3. Comply with Public Works comments in April 6, 2016 memo before recordation.
4. Change the rear setback requirement to 20 feet, with an exception of seven feet allowed for the properties adjacent to the realigned alley. Modify the side setback to state the standard is five feet, except zero may be allowed for buildings that straddle lot lines.
5. Limit the number of monument signs to three.
6. Add a note to the PUD that the residential buildings will comply with the design standards and guidelines in section 10 of the MUDDSG to the maximum extent practicable.

Commission Questions of Staff:

Hsu asks about BVSD assessment. Was that done with the preliminary?

Robinson says with the preliminary, Staff sent it to BVSD who sent a letter back saying they can serve it. At the time, it was rezoned and is now zoned residential. The applicant is not requesting any increase in the number of units. If there is no increase in residential over what was allowed, we do not re-fer it to BVSD at final. With more interest and concern about schools, if this had been resubmitted, we would have re-referred it. I have traded emails with **Glen Segrue** from BVSD this week and he did not bring up any additional concerns about this proposal.

Rice says what is being proposed here is considerably less dense than what would have been allowed.

Robinson says yes, the minimum density in the zoning is 12 units per acre and the maximum is 20 units per acre. This proposal is coming in at 7 units an acre.

Rice says they are a little more than half of what the minimum is. The same is true for the commercial space.

Robinson says yes, because of the lot coverage waivers and because they are only doing one story instead of two stories, the commercial square footage is less.

Rice says top to bottom, the whole development is far less dense than would have been allowed. In some instances, it is asking to go below what the minimum is. Those who would suggest that we only approve high density projects might take a look at this one.

Tengler says relative to the question **Rice** just asked, we usually don't see requests to put more parking in. We are typically dealing with the opposite side of the spectrum; we want more density and fewer parking spaces. What are the over-riding considerations when you are looking at reductions? What is the impact to the overall City Plan when that happens?

Robinson says the intent of the MUDDSG and the zoning for the Highway 42 revitalization area was to create a dense mixed-use environment. This is what has been approved in the core area with DELO. This further north development somewhat disconnected from DELO is much closer to major arterials of South Boulder Road and Highway 42. It makes sense that this is more auto-oriented than DELO and the lower density is more compatible with the Little Italy neighborhood. When we put in the maximum standards, it was intended to be part of the dense mixed-use neighborhood. Now that its visitors will be coming from the major arterials, allowing a little extra parking makes sense. We look at the location and the surrounding development to see if it makes sense here. We put these blanket rules in place. The reason we have the PUD process is to address these specific concerns of "does this proposal make sense in this location?" Do these waivers make sense? Since we have worked on this proposal for over three years, given its location, the proposal makes sense.

Brauneis asks about truck only access. It appears to be a really creative solution to an issue that didn't have any other options. It strikes me as odd. I'm not aware of any other situation like this. Are there any concerns surrounding it?

Robinson says we worked this through with our Public Works department and with CDOT. CDOT wanted to move the signal south to get more spacing from the existing signal at South Boulder Road and to line it up with the Harney-Lastoka entrance. There are existing properties that need to be served, so the truck only access is a creative solution to serve the Fordyce property and get the signal in the location we want it. It is not the ideal solution but it is the best one we have at this point.

Brauneis asks about the sixth condition. Why would we have to do something like this at this point in time? Why can't we be reassured that we will get what we think we're looking for?

Robinson says generally, when we get a PUD for a single family development, we may get a cut sheet with some concept drawings of what the houses will look like. We don't get elevations for residential. We see four-sided elevations with commercial developments. We are not asking for a detailed elevation for residential because it is not our normal operation. We want to put this note in the PUD so we are sure that as we review the building permits, if and when other adjacent properties develop in the future, and when people want to make changes to their houses and duplexes, we have this note that directs us to look at these standards and make sure, if applicable, we are applying these standards. The design standards are intended for multifamily residential buildings such as DELO. A lot of the design standards don't make sense for a duplex.

Brauneis says when we talk about compatibility with Little Italy, to me compatibility means variability. My hunch is we are never going to get that out of this, even with an application of the guidelines. I wonder if there is enough there to insure we get a product that feels the way we want it to feel.

Robinson says given the concept drawings included in the PUD, and the standards in the MUDDSG, it is a new development and they will be built at the same time. There will not be the eclectic nature you get in Old Town and Little Italy.

Applicant Presentation:

Gary Brothers, BVZ Architects, 3445 Penrose Place, Boulder, CO

The owners, **Bill Arnold** and **Wade Arnold**, are here with us. I want to thank Scott for his presentation because it was very well done. I want to thank the Planning Staff for helping us move this project forward. We bumped up to several issues through the process, none being any tougher than dealing with the railroad right-a-ways that run down the alley that were negotiated. Our goal is to continue to provide a positive extension of the existing neighborhood onto our site, and to create a viable addition to the community in the commercial and residential areas. I want to talk a little bit about the number of waivers we have asked for, not them specifically but in general. The waiver process allows us to fine-tune this project so that it slips in between what the design guidelines allows us to do, and for us to be able to horseshoe the residential project into the Little Italy and community to the south. Most of our waivers are in reduction of requirements. The parking increase on the commercial property is one space. We laid out the parking to try and maximize it and still allow for berming of the site where we had any kind of headlight exposure to the neighborhoods. It has a pretty significant amount of berming between the community residential area and that commercial piece. With the location of that site, we don't get the advantage of bleed over parking from other activities not filled during the day. This commercial activity is really a stand-alone site and other parking in different off hours would be able to fulfill any needs for the restaurant activity just isn't there. These are the items I want to address.

Commission Questions of Applicant:

Moline asks how would you explain to the community the density reductions and waivers.

Brothers says if we use the density, even the minimum of the density required, you would be adding the same percentage of units along the front or for the areas of the units that are larger. You'd essentially go to more of a rowhouse look where you have four or five connected together. It really creates a wall against the north of the property. The neighbors have been great and at every contact with them, they are surprised we are asking for reduced density. They support it wholeheartedly. We are able to make this development work because of the history with the land and the economy of the land over time. We don't need to maximize the site to make it financially viable.

Rice asks about the six conditions that are being recommended by Staff. Are those all acceptable to you?

Brothers says I have reviewed the sixth condition to see what we would have to do to comply. That is our intention. We want to bring the porches to the front of the house and have balconies and dormers to delineate the house fronts. The advantage of a duplex development is that you get more of a finished feel on all sides of the houses as you move through with spaces in between. A lot of the requirements on the sixth condition is you break up the faces of the units. A lot of those requirements don't apply to us because they start kicking in when you have ten units in a row. We only have two.

Hsu asks about Building A and Building B having one story in the commercial area. Why are they only one story and not two stories?

Brothers says the owner comes from a history of commercial real estate operation. His evaluation is that he's willing to put a one story building on the site and eliminate the office function that would typically be found above it. I think that approach for this site may be currently maturing, given what has happened in the area. At the time we started this and laid out the concept, it really wasn't economically something the owner wanted. We are not looking to maximize the square footage of the sites.

Public Comment:

Danna Hinz, 1030 East South Boulder Road, Louisville, CO

I have two requests. The two concerns I have are our little building had two parking spots in the original plants. I have noticed those are gone now. There is no utility easement. Currently, my utilities are hooked to the blue building and there is no utility easement under the ditch for us to

get new utilities. I want to make sure we are not forgotten about when the utilities go in. I don't want the coffee shop and my tenant cut off.

Robinson says the parking spots are included. There is a note on the plans that says "provide reserved parking signage for northwest building." Danna and I spoke earlier this week and we will insure they are able to get their utilities. The detail to be worked out is where the utilities will go.

Moline says when I look at the plat, it is unclear to me that your property is not considered part of the rest of this. Can you discuss that?

Hinz says we just own the building; we don't own the land around it. I'm a little owner. I am not financially involved with what they are doing.

Robinson says the building exists on the land under the building. It is separate ownership and is not included in this proposal.

Doug Harper, 1160 South Boulder Road, Louisville, CO

I am the owner of Union Jack Liquor. I want to thank Bill and Wade because this development has been a long time coming. The field really needs some work. The one question I have is about the access from the building they will build on South Boulder Road. We have access to Cannon Circle and have had since the development of our building. Can I get some clarification if that access will be maintained on the east side?

Robinson says the access is shown on the PUD connecting to the Union Jack property. There is a note that says "allow for access".

Gordon Fordyce, Fordyce Auto Center, 1655 Cannon Circle, Louisville, CO

I own Fordyce Auto Center. I spoke with the Fire Marshall about Cannon Circle and asked if it would be narrowed or maintain the same width. He said it would be the same width. Is it being narrowed? I want to ask about the truck-only access. At the last meeting, I asked about it and then we had another meeting away from the group. They assured me it was more token than legitimately "trucks only". After 26 years of traffic history, everybody will be breaking that violation. I asked who would monitor it, and they said it was the City's jurisdiction and criteria to monitor it. I am asking again if these are the same conditions. Will it be tongue and cheek? Is it there for the state's liability or an actual sign to keep cars off that site?

Robinson says it will be signed Truck Access Only. We will not have the police sitting out there. We hope that people will obey traffic direction. We have worked with Public Works and CDOT and they are all comfortable with this. It is not the ideal solution but it is the best one we have right now.

Brauneis asks **Robinson** to describe CDOT's perspective on it. What is it about this little sign that makes it legal?

Robinson says CDOT's goal is generally to reduce the number of accesses on their highways (number of curb cuts). This is actually increasing it. Currently, Cannon Circle has one access, and the Trucks Only will increase it to two. To the extent possible, they want to limit the number of cars going in and out of the old access. They are comfortable with the sign and it will meet their standards. The goal of the sign is to encourage cars to use the signalized intersection instead of this access.

Tengler asks if the sign is meant to be a suggestion as opposed to a restriction. Is it a ticketable offense?

Robinson says I don't know the details of traffic law, but it will be a traffic control sign. I don't know what the penalty would be for violating it.

Pritchard says the curb cut is there and we are going to allow truck traffic. I understand your point because the Fordyce business has been there as long as I have lived in this community. How do you break a habit after 26 years? Are we setting ourselves up for an enforcement issue that is not our strong suit? Other than wanting to minimize car traffic, is there any reason to have it as a right-in and a right-out?

Robinson says I think to get CDOT's blessing, we need the sign.

Fordyce says my understanding from the last meeting is the sign is for the purpose of liability for the State. If there is an accident there, they can stand on the law saying you shouldn't have. I didn't get an impression that it would be an issue of cars coming in and out. I understand they don't want more than we have had in past history. I think exit would probably be easier from the stop sign than through the other exit points because you don't worry about staging yourself through the traffic. I am asking if the City understands that there will be cars coming in and out. We can tell them that the exit plan is fine. If the City is as comfortable with this understanding as I am, it is doable. I do need to know about the narrowing because we have semi-trucks coming in and out to deliver our cargo. If you narrow it, you have caused a problem. You are trying to get a semi in a narrower street than it is meant for, and the traffic will be more dangerous.

Robinson says the width of the current road is about 35' curb to curb. The proposed access would be about 25' curb to curb, a reduction of 10'. The applicant has done turning templates. We can ask the applicant if they have any concerns about trucks being able to make the turn.

Fordyce says I am congenial to go forward with this with my understanding from the Fire Department. If you are taking 10' off and you have a 52' semi coming in, you are asking for congestion. I know the Fire Marshall wants to keep it for Fire Department access. I cannot speak for him other than what I was told from him. It is in your hands.

Pritchard asks regarding follow-up we expected from the Fire Department, did they talk about limitations and mobility of their rigs getting through that area? I want to confirm it. I can see some logistical problems when you are taking 10' off with these rigs. I have to agree with Mr.

Fordyce in regard to it.

Robinson says there were a couple areas where they wanted more information from the turning templates. I don't think this was one of them. The other issue was where the fire hydrants were located. There doesn't appear to be anything specific about it in the notes from the Fire Department.

Pritchard says we may want to make a notation on it.

Fordyce says after the reduced entry, the width is back to 35'. Whether it is parking lot or something else, you still have the same width. I don't see the advantage in narrowing it. What are they losing by the 10'?

Robinson says it would take out some of their storm detention area. There is drainage and detention between Highway 42 and the parking lot. If you move the curb 10' to the south, you lose 10' of that drainage area.

Fordyce asks how much of a berm do they need. I don't know the City's criteria for building these things.

Pritchard says we now know the concern. Let's go back to Staff and then listen to the applicant who can address it.

Michael Menaker, 1827 West Choke Cherry Drive, Louisville, CO

I have been sitting in this chamber on a regular basis for over a decade, and only **Mr. Pritchard**, **Bob Tofte**, and I have been doing this long enough to remember when the MUDDSG was drafted. We have worked on this project as a City for over 15 years. It is wonderful to see it come to fruition. In all the meetings I have sat through in this Chamber, I have never seen a project come forward that was less dense, lower, smaller, had more green space, increased commercial, added new retail, and provided better access than the Code required. It is unique and commendable. I know there are people in the community that don't want to see another home built ever anywhere. I get that. But people have property rights too. Given the situation we are in, I think the **Arnolds** should be commended. We are adding 51 units that can't be 150 people the way these are configured in a town of 20,000 people. The design is good, the benefits to the City are huge, and I couldn't be in more support of this project. The business neighbors are satisfied. A couple of comments about comments. Regarding condition #6, I would say to **Commissioner Brauneis** that it is a provision to allow common sense to prevail. That is a small town value. What we are talking about is legislating taste. We have people who know the Code and the **Arnold** family has been working on this project literally for 15 years. I

think we can let reasonable people come to reasonable solutions, and be comfortable that everybody knows what is at stake here. We will be happy with the outcome. As an aside, we get hate mail all the time. When new stuff goes into old neighborhoods, we actually get the appearance of things being built over a wide variety of time. It doesn't matter what you do, somebody not going to be happy. The one story commercial interestingly enough matches what is directly across the street next to Alfalfa's, so it is compatible with the street scape. If memory serves me, it is the preferred design that came out of the architectural surveys that were part of the South Boulder Road Small Area Plan. It is not always economically viable to do a one story commercial building. In this case, we have an opportunity where community desires and commercial reality align, so it is to be reinforced and commended, not discouraged. Finally, as always, I am generally in favor of experimenting with sign code which no one likes, and I would encourage you to have discussion and consider allowing the additional monument signs that have been reduced in the staff report. I get where staff is coming from, and code is code. But nobody really thinks the code works particularly well either. When it comes to commercial signage, in an area that has an opportunity to add real vitality commercially to the area, I would suggest that you consider at least allowing the applicant's request for a sign variance and allowing double monuments at the entrance and provide visibility in both directions on a pretty busy and divided wide street. I urge you to support this and look forward to seeing it go forward with your unanimous approval to City Council.

Robert Tofte, 1417 Courtesy Road, Louisville, CO

I am a member of the Revitalization Commission and as such, I am thrilled to see this development move forward. I also live about one block south of this development. My only concern is in the Little Italy neighborhood, there are about 30 houses. You do not have the ability to turn north at Griffith Street if the Highway 42 plan moves forward. To get north from Little Italy and from parts of DELO (such as the townhouses that face Griffith Street), you have to cross the railroad tracks at Griffith and go in front of the middle school on Main Street to South Boulder Road, or you go south on Main Street to Pine Street to Highway 42. I think we need to look at the traffic that will be generated, not just from the development, but also the developments to the south of Coal Creek Station. I read in the presentation literature that the bicycle access and foot traffic access would be able to happen on a quiet street, but we are concerned with north-south connectivity to Downtown from Steel Ranch and anything farther north. We are waiting for the underpass which may or may not happen. We need to make sure there is as much connectivity across South Boulder Road as we can get.

Summary and request by Staff and Applicant:

Robinson says Staff is comfortable with the design of the access and thinks the overall development is compatible with the neighborhood and the waivers are appropriate. Staff recommends the Planning Commission approve Coal Creek Station, Resolution 08, Series 2016, with the six conditions noted in the Staff Report.

Brothers says there are two issues. One is the issue that the Fire Department wanted us to clarify where their turning radius is. We have identified specifically their large truck traffic, how they clear, and how they use the streets. We gave them a turning radius template. There was some misunderstanding of some of the width of the template. We have since talked to the Fire Marshall and we are meeting with him to make sure that all of the access points he wants are addressed on the plans. He was concerned about the ends of the trucks and the wheel traffic, and whether the ends of the trucks would track the way he would like them to track. We are working with him to make sure we meet all of his requirements. Right now, we are not aware there is anything that needs to be adjusted on the plan. The throat of the turn being discussed, where the existing street width is, was "neck down" as per CDOT's suggestion of how wide they wanted that street to be. The street present right now is set up for parking on both sides. When you neck the street down to the 25', you are essentially eliminating parking on one side. When Fordyce brings a semi in currently, they go over and clear the street because they have control

over all the cars on that street. They have easy access to that. What we have now is that we have eliminated parking on the north side of that site so that **Fordyce** can actually drive his trucks from that driveway to the south, and get a line to back into the lot. It makes it a lot easier than what it is there right now. Currently, he has to pull straight into the street and then get his trailer jacked into his drive. We have made it easier for truck traffic itself as far as the alignment goes. I will work with the owner there so we can template it for him. He can show his drivers coming in what it best works.

Closed Public Hearing and discussion by Commission:

Hsu says thanks to Staff and the Applicant for the presentations. I have not been doing this very long, but I am surprised to see things come in with lower density and shorter than normal. That seems to go with the general feel of the community and granting waivers for that issue does not seem to be a big deal. I am concerned about the reduction in the street. I am not sure who the appropriate person or body is who can give us more direction on this. Is the Fire Department the right body since we are talking about semis and their fire engines. CDOT seems to be concerned about other issues not related to access. I don't know if Public Works is the right body or perhaps **Mr. Fordyce** can work it out with the applicant. I feel like I need a little more information on whether 25' versus 35' is indeed a real issue.

Rice says I am in support of the proposal. I am impressed with the overall design and I think it is very well conceived. I am happy with the way it transitions from the existing residential area to the south. I think we have medium to low density housing just to the north that then transitions into commercial. For those few people who pay attention to what happens in these proceedings, they know that I am the one who usually is concerned about having too much density of residential. I am very pleased with this and it is a great design. **Mr. Menaker's** comments that he is surprised because he has not seen anything like this with reductions, I think this is terrific. You should be applauded for this. **Chairman Pritchard**, in regard to this truck access issue, can we fashion a condition to assure that **Mr. Fordyce** will have adequate access with his trucks and to make sure that the design of that road facilitates it? We don't want to hold up the project, but we want to make sure that the current use can continue to occur.

Pritchard asks **Rice** to work on some verbiage on that?

O'Connell says I am in favor of the project. I think it is well thought through and the exceptions that have been requested seem appropriate for the design and location. We had some thoughts on condition #6. I was trying to think through a different way of wording it, and I think it is the best we will get. I can't think of anything else to do with it. I live in a duplex and I am excited to see that this is being brought further into Louisville. There are very few duplexes anywhere and for us, it has worked as a fantastic living arrangement. I would be in favor of a condition regarding working this out for **Fordyce**.

Tengler says I agree 100% with everything Ann said. I want to thank the **Arnolds** for having shown such restraint in this, and not pushing the boundaries as much as we see in some other projects.

Brauneis says when we look at the big picture of what it is, boundary to boundary and adjacencies, it is a great project. There is a time when we need to discuss the minutia and we look at any number of issues. I am comfortable with this as is.

Moline says I am in support for many of the reasons people have already stated. I think what impresses me the most is the way you have interacted with your neighbors on a number of different sides and way that your proposal responds to the streets, the neighbors to the south, to Comp Plan, and to the South Boulder Road Small Area Plan. I am encouraged by that. My suggestion on the condition for the road width is to see if there is a way we could shoehorn something and add it on to the third condition. From my perspective, I think the Public Works Department is the appropriate department to work this out with the applicant and other people.

Pritchard says I am in support of this project. I look at the conditions and some of them are just housekeeping. I am pleased with the waivers because they work to the benefit of the community as a collective whole. It makes it a better project. There is one issue that we did not talk about

and that would be the question of the monument signage. The rules are what they are, so many monument signs based upon your entrance. I have not heard a compelling argument to change that. The applicant is aware of it. I want to make sure we are comfortable with condition #5. We will be looking at a 7th condition added in regard to the turning issue for semis going into the Fordyce property. I support this.

Motion made by **O'Connell** to approve **Coal Creek Station Final PUD: Resolution No. 08, Series 2016**. A resolution recommending approval of a final subdivision plat and final planned unit development (PUD) to allow for the construction of 51 residential units and 29,242 square feet of commercial space on an approximate 11 acre parcel of the Caledonia Place and Coal Creek Station subdivisions.

1. The southernmost alley will be maintained by the HOA.
2. Satisfy the comments in the Louisville Fire Protection District memo dated February 18, 2016 before City Council.
3. Comply with Public Works comments in April 7, 2016 memo before recordation.
4. Change the rear setback requirement to 20 feet, with an exception of seven feet allowed for the properties adjacent to the realigned alley. Modify the side setback to state the standard is five feet, except zero may be allowed for buildings that straddle lot lines.
5. Limit the number of monument signs to three.
6. Add a note to the PUD that the residential buildings will comply with the design standards and guidelines in section 10 of the MUDDSG to the maximum extent practicable.
7. That applicant assure that the Truck Only entrance off of Highway 42 is designed so as to permit adequate access for trucks servicing the existing use at 1655 Cannon Circle, Louisville, CO.

Seconded by **Brauneis**. Roll call vote.

Name	Vote
Chris Pritchard	Yes
Cary Tengler	Yes
Ann O'Connell	Yes
Jeff Moline	Yes
Steve Brauneis	Yes
Tom Rice	Yes
David Hsu	Yes
Motion passed/failed:	Pass

Motion passes 7-0.

- **Business Center at CTC GDP Amendment: Resolution No. 09, Series 2016**. A resolution recommending approval of an amendment to Lots 11 & 12, Block 1 of the Business Center at CTC General Development Plan to allow for a wedding event center on Lot 12.
 - Applicant and Representative: Mark Danielson
 - Owner: EJ Louisville Land LLC
 - Case Manager: Lauren Trice, Planner I

Conflict of Interest and Disclosure:

None.

Public Notice Certification:

Published in the Boulder Daily Camera on March 23, 2016. Posted in City Hall, Public Library, Recreation Center, and the Courts and Police Building and mailed to surrounding property owners and property posted on March 27, 2016.

Staff Report of Facts and Issues:

Trice presented from Power Point:

- Applicant not present.
- Located in NW corner of Colorado Technology Center along Taylor Avenue
- Lots 11 & 12, Block 1, Business Center at CTC General Development Plan
- 10.77 acres, zoned PCZD-I (Planned Community Zoned District Industrial)
- Not a request for rezoning but a request to change the sub area for Lots 11 & 12, Block 1 and expand the list of allowed uses. It would match allowed uses on Lot 1-5, Block 1.
- Current Allowed Uses:
 - “Area to be used only for office, industrial, or research/office and corporate uses.”
- Proposed Allowed Uses:
 - “Area to be used only for office, industrial, or research/office and corporate uses.
- The following uses are uses by Special Review...:
 - Restaurants, indoor eating and drinking establishments, outdoor dining and other food service uses including but not limited to: delicatessens, catering facilities, banquet rooms, meeting rooms, and
 - Medical and dental clinics and financial institutions, and
 - Studios for professional work or teaching of any form of fine arts, photography, music, drama or dance...”
- If approved, the applicant intends to proceed with a PUD and SRU application for the proposed wedding/event center on Lot 12.

Staff has analyzed the request.

- 17.72.060
A broader list of allowed uses will not “affect an increase in the permitted gross density of dwelling units or result in a change in character of the overall development plan”.
- 2013 Comprehensive Plan
The Colorado Technology Center (CTC) is a Special District which includes “a mix of industrial, office, and research and development facilities”. The addition of catering and banquet facilities, along with other listed uses, has the potential to benefit the whole CTC.
- City of Louisville Zoning Map
Retaining the PCZD-I zoning and expanding the allowed uses will be consistent with the properties to the south and east. The additional uses will be evaluated through a Special Review Use, on a case by case basis, for their compatibility with the surrounding neighborhood.

Staff Recommendations:

Staff recommends Planning Commission move to approve Resolution 09, Series 2016, a request for an amendment to Lots 11 & 12, Block 1 of the Business Center at CTC General Development Plan to allow for a Wedding Event Center on Lot 12.

Commission Questions of Staff:

Tengler asks if there is any reason why we would not look at the adjoining block to the right and do the same consideration. Regarding the lot to the north and east of this block, are we likely to get a similar request from it?

Trice says we could, but we chose to add Lot 11 is because it is a vacant lot. The lot to the north and east is Lockheed Martin and Pearl Izumi.

Hsu asks about the property to the south and east that is colored orange. What are the allowed uses of the orange? Is that land all built out? Can I get a list of allowed uses on the orange and how it is different from purple and green?

Trice says it has a different list of uses. I would need to pull out the GDP to list it all. Most of the orange colored land is built out. I believe the green which includes Lockheed Martin and Pearl Izumi is the most restrictive. The orange area is area to be industrial CTC, city or other

applicable industrial guidelines still apply as in effect from time to time. SRU to privilege required for any use identified in the LMC as a use by special review in the city's industrial zone district.

Pritchard says it is light research and development, industrial. The SRU gives them the flexibility to come to the PC to ask for an exception to that.

Rice asks to understand procedurally, all we are doing tonight is acting on a request to amend the GDP to allow this use. Anything further than that has to come back for the detailed review.

Trice says the applicant is planning to return with a wedding event center that would have its own PUD and SRU.

O'Connell says it appears that there is a residence that it directly to the west of this lot. Were they notified of this?

Trice says there is a portion of the area that is part of unincorporated Boulder county. The residents were notified.

Applicant Presentation: Not present.

Commission Questions of Applicant: Not applicable

Public Comment:

Lynda Newbold, 9750 Empire Road, Louisville, CO

We live in one of the three unincorporated lots to the west of Lot 11. Our property is adjacent to Lot 11. We have lived there for 25 years. It will come as no surprise to you that we will oppose this project when it comes up. I understand the limited nature of what you are doing tonight. I did want to come forward and make a couple of comments to you. Given that this use is already allowed in Lots 1-5, we don't understand the necessity of giving a variance for this on Lot 12. I don't understand the necessity of changing it for Lot 11 if they intend you use Lot 12. There is discussion in the staff presentation about the consistency of the adjacent lots. I honestly don't know if you consider the consistency with the lots that are not actually within the confines of the CTC, but I think it should be considered. All of those residences would be highly adversely impacted by such a change, even if it is not a wedding event center. We bought that property looking at the allowed uses as they were. We have never opposed an industrial project. The only time we opposed a project was the time someone wanted to build 300 houses which was again not within the use. I think it is disingenuous for the applicant to represent that such a project such as a wedding event center is going to be compliant with policy 3 consideration for a change in the uses in the GDP. The language of policy 3 says it should benefit on a daily basis the workers in the area. I know that they tack on that we'll have a corporate banquet area. I don't know the last time any of you drove through the CTC and checked who the businesses where out there, but I honestly don't think that there is a big need for a corporate or event center like that. I think the businesses that would have such a need have their own space. I don't see them paying for this expensive award winning building to just have a Christmas party. All of those things, when they are considered, would maybe not support doing the change in this location.

Moline asks what do you think your main objections will be; length of time, noise, duration of events, after hours?

Newbold says after hours, for sure. Noise, for sure. If you read the letter that the applicant has submitted to you and the portions of their business plan they submitted, they represented to you that there is a huge need for weddings. They would be throwing three weddings a week for up to 600 people. There would be space for 250 wedding guests and parking for 100. When you move next to an industrial park, you go through your head, ok fine, you understand that there are businesses during the day. The trade-off is you get your weekends, it is a quiet place to live, and not a bunch of neighbors. The noise from this will be huge. I think Boulder County might have a bit of a problem with that kind of a use in that area. We have been denied the ability to build a barn halfway between our house and the creek because it is a riparian area. We have been given grief about lights on our driveway not being up-pointed. I imagine their heads will explode if they find out there will be music all night long or even late into the night. I understand

you can limit it but I think there are a lot of problems there that are not being represented by the staff representation and materials you have been given.

Pritchard says what I would suggest to you is this is the beginning of the process. We do not have something actually submitted to us at this time. Tonight's issue is adding this particular type of property's ability to be there. It does not necessarily mean it gets approved via the special review use. Keep involved in this process because it will be a long process. You have valid points which this Commission and City Council will want to hear if this moves forward.

Herb Newbold, 9750 Empire Road, Louisville, CO

Instead of speaking for a private residence, I also have a business that shares a property line, the Mountain View Building. I have had a chance to survey not only the people that share the building I'm in, but Arapahoe Roofing, and Lockheed Martin. I have talked to a number of those property owners. The general consensus is they too would like to see the feel of that stay the same. It is somewhat unusual to start mixing wedding centers next to the high voltage, high amperage facilities at Lockheed Martin or Bob Billet at Arapahoe Roofing where he has a lot of things going on out there. I think the consensus is that they'd like to keep it the industrial theme that it is as opposed to starting to mix things in. The other thing that I would suggest for the wedding center is there are areas obviously in the tech center that are more specific towards that. My understanding is they may even have already received a special review use that would allow this. Those might be better areas. I echo Lynda's sentiment. With each new thing that happens, you start off having nothing, and then the bike trail, and then the bike trail extension, and then a push from the south. We are starting to squeeze in on all those animals. There used to be a herd of deer, some turkeys, and even an occasional bear, but now we see the birds and the coyotes and raccoons, but it has become limited.

Summary and request by Staff and Applicant:

Staff recommends approval with the acknowledgement that this will continue on for a special review use and PUD review.

Closed Public Hearing and discussion by Commission:

Pritchard says what we are talking about this evening is pretty straight forward. We don't have an applicant coming forward although it sounds like it. There is a special review in this so we will get a bite of this apple. This is a little bit different. I know why they are choosing it because it has a better view towards the west. That is why Pearl Izumi chose their site. This is not the first time this has been tried. Many years ago, there was an attempt to put a restaurant out there for the same reason, great view. This is different than what is currently out there. It changes the definition of how that operates.

Moline says I have a couple of observations. I am empathetic to the residents there and am also empathetic to the fact that the open space is just to the north. I am not necessarily convinced that these uses are compatible with this location. One thing that would help me a little bit would be if the entirety of those two lots didn't have that designation, or have it more oriented to the street rather than on the far property lines. I still wonder if those uses are appropriate on the edge of the tech center.

O'Connell says I don't think it is worth opening the door to this discussion further. I don't think we should make this change. This is not in character with what is around it and I think it would be too disruptive to the residents around it. I don't see a need. I think the CTC is doing very well the way it is. This land will be used by someone else and it will not be a loss.

Tengler says I think this is incompatible with the CTC for the reasons that the neighbors brought up for the open space issue. If you orient the wedding center toward the road, it defeats the purpose of putting it up there because they want the views and access to the wide open spaces to the west. I am opposed to this.

Rice says, complementary to what has been said, I was troubled by the procedural aspect of this. It comes in to just change the GDP but then we don't get to discuss anything else about

what it is they are proposing. I wonder what does this accomplish? They have this change to the GDP but they still have to get a SRU to do it. I don't think we are accomplishing anything by approving this even if we were so inclined, which I'm not. I think if they want to do this, they should come in with all of it at the same time so we are not just considering changing the development plan or changing the GDP for a specific use.

Moline asks staff if there is a procedural reason for there to be a separation of the two things.

Trice says there doesn't need to be, but the applicant chose to do it this way. They wanted that guarantee before they submitted with the PUD and SRU.

Hsu says I think if there is no reason that they couldn't present everything at one time, it seems that we should wait until there is an actual need. Then, we can see if it is compatible with residents' concerns and the CTC feel. The prudent thing would be to wait.

Pritchard says I am hearing there is not a lot of support, if any support, for this motion. What I would suggest that we do is to continue this matter and Staff draw up with a Resolution of Denial and bring it back for an actual vote. I think Staff has enough information from the Commission as to why we would deny it.

Motion made by **Pritchard** to continue this so Staff can draw up a Resolution of Denial, seconded by **Moline**. Motion passes by voice vote.

- **Accessory Structure Setback LMC Amendment, Resolution No. 10, Series 2016.** A resolution recommending approval of an ordinance amending Section 17.16.030 of the Louisville Municipal Code regarding accessory uses.
 - Staff member: Lauren Trice, Planner I

Conflict of Interest and Disclosure: None.

Public Notice Certification:

Posted in City Hall, Public Library, Recreation Center, Courts and Police Building, and City Web-Site on April 8, 2016.

Staff Report of Facts and Issues:

Trice presented from Power Point:

- **PURPOSE.** To reduce the setback requirements for smaller accessory structures such as storage sheds and play structures in residential zone districts. If approved, this ordinance would permit accessory structures that are less than 120 square feet to be located three feet from a side or rear property line in all residential zone districts.

Area/Zone District	Front Setback (feet)	Interior Side Setback (feet)	Side Street Setback (feet)	Rear Setback (feet)
Old Town Overlay District	35	3	8-15*	0-3**
Residential Restricted Rural (R-RR)	50	20	40	10
Single Family Rural (SF-R)	50	20	40	10
Single Family Estate (SF-E)	50	15	40	10
Residential Rural (R-R)	50	15	40	10
Residential Estate (R-E)	40	5	30	10
Residential Low Density (RL)	35	5	25	10
Single Family –Low Density (SF-LD)	50	15	40	10
Single Family –Medium Density (SF-MD)	40	10	30	10
Single Family –High Density (SF-HD)	35	5	25	10
Residential Medium Density (RM)	35	5	25	10
Residential High Density (RH)	35	5	25	10

- **PROPOSED CHANGE**

- Under 120 SF
- *Already* do not require a building permit, have no fees associated with them
- 3' setbacks from both rear and side property line
- Discontinue shed & play structure location permits

- **EASEMENTS**

- Structures shall not limit access to public facilities
- Structures places in private easement but of consent of easement owner
- Easement holders shall have not liability for cost of relocated items in easement
- Structures shall not be on permanent foundations in easement

Staff Recommendations:

Staff recommends Planning Commission move to approve Accessory Structure Setback LMC Amendment, Resolution No. 10, Series 2016 recommending approval of an ordinance amending Section 17.16.030 of the Louisville Municipal Code regarding accessory uses.

Email entered to record:

Motion made by **O'Connell** to enter email from **Kathy Barnes**, dated April 13, 2016, into the record, seconded by **Brauneis**. Passed by voice vote.

Commission Questions of Staff:

Rice says my experience is that these kinds of proposals have a background. What is the background on this one?

Trice says we don't get very many shed and play structure location permits. You also see that many people have sheds that are closer to their property lines than the 5' and 10'. It has come up with citizens, not only being frustrated but also not complying with the current regulations.

Rice says we have people to do it despite the fact that it violates the Code, and then the neighbors complain about it?

Trice says not necessarily. In some situations, in the email you received, it was a neighbor complaining about their neighbor's shed.

Rice asks what would be the procedure now. Suppose I had a shed that I wanted to put within 3'. Is there a way I can do that? Can apply for a variance? Who hears a variance? How many of those have we had? I am searching for the need for this change in the Code.

Trice says you would have to get a variance. They would go to the Board of Adjustment.

Robinson says we had one last year or two years ago for a shed. We don't get a lot of them mostly because it costs about \$700 to apply for a variance. People are not willing to do that for a 120 square foot shed.

Trice says it comes up with people being frustrated with the idea of putting a shed in the middle of their yard. It seems natural that they would put it closer to their property line.

Pritchard says we are talking about a difference of 7' and 2'

Hsu says what happens if my neighbor has a shed that is violating either current regulations or with the ordinance change. What can I do to get that changed? Does the City do anything to enforce that after the fact?

Trice says it is complaint-based so if neighbors complain, we do write a letter to the property owner, informing them that they are violating those setbacks, and that they need to be brought into compliance.

Tengler asks if anyone has ever done it. Is it a toothless threat?

Robinson says we have had a couple where the property owners had to move the shed to comply after we received complaints.

Brauneis says other than the thought that people don't like to have their sheds in the middle of their property, it doesn't mean that neighbors want to have it on their property line. So I appreciate that there are a lot of nonconforming sheds out there and if people haven't complained, that's fantastic.

Trice says it does hurt the people who are following the rules.

Brauneis says it gives them the opportunity to move it because they are not on a permanent foundation anyway.

Moline asks how did Staff come up with the 3'.

Trice says 3' would allow for the separation between two buildings. If there were two sheds on adjacent properties, it would allow for the building separation that is required in the building code.

Public Comment:

Tom Davinroy, 518 W. Sycamore Circle, Louisville, CO

I live on a property that is on the northwest corner of the Warembourg Open Space. I am strongly opposed to changing the ordinance. It might make sense in the more tightly packed residential area or here in Old Town where there are smaller properties. The generating event that brought this to my attention was someone put a shed up along the Warembourg Open Space. It is within their property but it is clearly within 3' of their property line. It makes for a tremendous visual impact and obstruction to open space and parks properties in the City if people are allowed to do that. 120 square feet does not account for any height or length. 120 square feet could be 30' long and 4' wide and 16' tall. This is not addressed by the City Code. I think that if the setbacks do need to be addressed, then it has to be done in much more thoughtful manner with location of where it might be applied, the height of the shed, and protecting view sheds of the neighbors, whether that be for in a residential area, parks, open space, playgrounds, and school properties. Existing view sheds are pretty important for home values and people's quality of life. Another thing is this violates a visual amenity in that a 10' shed only 3' from a property line has a very steep visual angle from up on the property line. If you maintain a 10' setback with a 10' tall average shed, that is about a 45 degree angle. That is what our mountains are typically. It is a natural angle and it appeals to the eye. Many of my neighbors along Sycamore Circle are also vigorously opposed to changing the setback and would like to have our neighbors adhere to the current setback rules.

Michael Menaker, 1827 West Choke Cherry Drive, Louisville, CO

I too am strongly opposed to this change. This violates the "one man's ceiling is another man's floor" school of good neighbors. A 120 square foot shed which is 50% bigger than we allow in my HOA with no height restrictions is a pretty big structure when it is in your face. It is intrusive. It is unfair. The intent of this ordinance change seems to reward bad behavior. In terms of the question, has anybody ever complained and has anything ever been done, in our subdivision we had a guy who actually poured a concrete pad in the dark. I was on the Architectural Review Committee at the time and the neighbor called me and asked, "what can we do?" I called City Hall and talked to the Building Department and they said, "Let's see if they pulled a permit." They did not pull a permit. The City came out and the guy had to jackhammer out the concrete and the neighbor's privacy was preserved. When you put a 120 square foot shed which is a big Tuff shed that close to somebody else's property, it is no longer about the property rights of the guy with the shed. It is about the property rights of the neighbor. This is bad policy. What I would encourage instead is an informational flyer that went out and encouraged people that if they had a problem, let the City know and ask for help. To institutionalize bad behavior and guerilla warfare of neighbors, hoping that they are going to mau-mau somebody and not going to complain because they don't want to go to that step, I think this is wrong. I see no reason to change it and think it is a bad idea. All of those comments are multiplied when it's a jungle gym or a play set, one of those things that has lots of screaming little kids 3' from someone else's property line. We had one clearly pop in the back of my neighbor's back yard so we talked about it before they put it up. I was glad to see that kid get off the jungle gym and into a car. If it was 3' from my property line, we would have had another conversation. Think about the rights of the neighbors in these cases. My view is this really infringes on good neighborly behavior and institutionalizes bad behavior.

Summary and request by Staff and Applicant:

Staff recommends approval.

Closed Public Hearing and discussion by Commission:

Pritchard says I am not in favor of making any change and see no reason to support this.

Moline says I am not in favor of changing this. I think zoning issues that get resolved on a complaint basis works for a town like Louisville.

Brauneis says I am not in favor.

Tengler says I am not in favor the way it is currently written.

O'Connell says I am opposed. I think it is a situation where it leaves an adjoining neighbor the opportunity to complain if someone is blocking their view. If it is not blocking their view and no one cares, then let it go.

Rice says regardless of how I feel about sheds or jungle gyms, we have a Code and theoretically, there was a rational basis for the decisions that were made when it was passed. I am not hearing any compelling reason to change it. I oppose it.

Hsu says I am against this. As far as property rights go, a neighbor could build a 5' fence right on the property line and that would block views. That might be worse than a shed because a shed only blocks part of the view. One suggestion I might have is to encourage people to follow the variance procedure. Maybe we can lower the rate to apply for a variance in front of the Board of Adjustments for these small structures. \$700 seems like a lot of money for a shed or play structure.

Robinson says because this is a legislative item, the PC can vote to deny it.

Motion made by **Pritchard** to deny **Accessory Structure Setback LMC Amendment, Resolution No. 10, Series 2016**. A resolution recommending approval of an ordinance amending Section 17.16.030 of the Louisville Municipal Code regarding accessory uses, seconded by **Moline**. Resolution denied by voice vote.

Planning Commission Comments:

Pritchard asks if the items tentatively scheduled for the regular meeting, May 12, 2016, are on track.

Robinson says the McCaslin Small Area Plan will not be presented.

Pritchard asks when will the McCaslin Small Area Plan be presented.

Robinson says at the June 9th meeting.

Pritchard says I will not be present at the June meeting. I see three people shaking their heads as well. Can Staff please send out an email notice asking about attendance for the May 12th meeting?

Hsu asks when the new Planning Director starts.

Robinson says Monday, April 25.

Staff Comments:

Trice says the ribbon cutting for our new landmarked buildings is on Saturday, May 7. All PC members are welcome to attend.

Items Tentatively Scheduled for the regular meeting: May 12, 2016:

- **Kestrel Final PUD Amendment:** A request for an amendment to the existing Kestrel PUD to allow for 9 additional affordable housing units.
 - Applicant, Owner, and Representative: Boulder County Housing Authority (Norrie Boyd)
 - Case Manager: Lauren Trice, Planner I
- **305 Arthur Final PUD:** A request for a 17,940 SF single story industrial flex building with associated site improvements on Lot 1 of the Business Center at CTC, Replat E.
 - Applicant and Representative: Etkin Johnson Real Estate Partners (Liz Cox)

- Owner: EJ 305 South Arthur LLC
- Case Manager: Lauren Trice, Planner I
- **Lots 6&10, Block 3, CTC 1 Final PUD:** A request for a 62,400 SF industrial building on Lots 6 and 10, Block 3, Colorado Technological Center, Filing #1.
 - Applicant: Comunale Properties (John Comunale)
 - Owner: Tech Commons, LLC
 - Representative: Kimley-Horn and Associates, Inc. (Dan Skeeahan)
 - Case Manager: Scott Robinson, Planner II
- **McCaslin Blvd Small Area Plan:** A request to review a draft copy of the McCaslin Blvd Small Area Plan.
 - Staff Member: Scott Robinson, Planner II

Adjourn:

Moline made motion to adjourn, **O'Connell** seconded. **Pritchard** adjourned meeting at 8:30 P.M.

DRAFT

ITEM: Case #16-006-FP, Lots 6 & 10, Block 3, CTC 1

PLANNER: Scott Robinson, Planner II
Lauren Trice, Planner I

APPLICANT: Komunale Properties
John Komunale
1855 South Pearl Street, Suite 20
Denver, CO 80210

OWNER: Tech Commons, LLC
357 S McCaslin Blvd, #200
Louisville, CO 80027

REPRESENTATIVE: Kimley-Horn and Associates, Inc
Dan Skeeahan
4582 South Ulster Street, Suite 1500
Denver, CO 80237

EXISTING ZONING: Industrial (I)

LOCATION: Lots 6 & 10, Block 3, CTC Filing 1 Subdivision

TOTAL SITE AREA: 218,691 square feet (5.02 acres)

REQUEST: Approval of Resolution No. 11, Series 2016, a resolution recommending approval of a final Planned Unit Development (PUD) to construct a 62,400 square foot single story industrial/flex building with associated site improvements on Lots 6 & 10, Block 3, CTC Filing 1.

VICINITY MAP:



PROPOSAL:

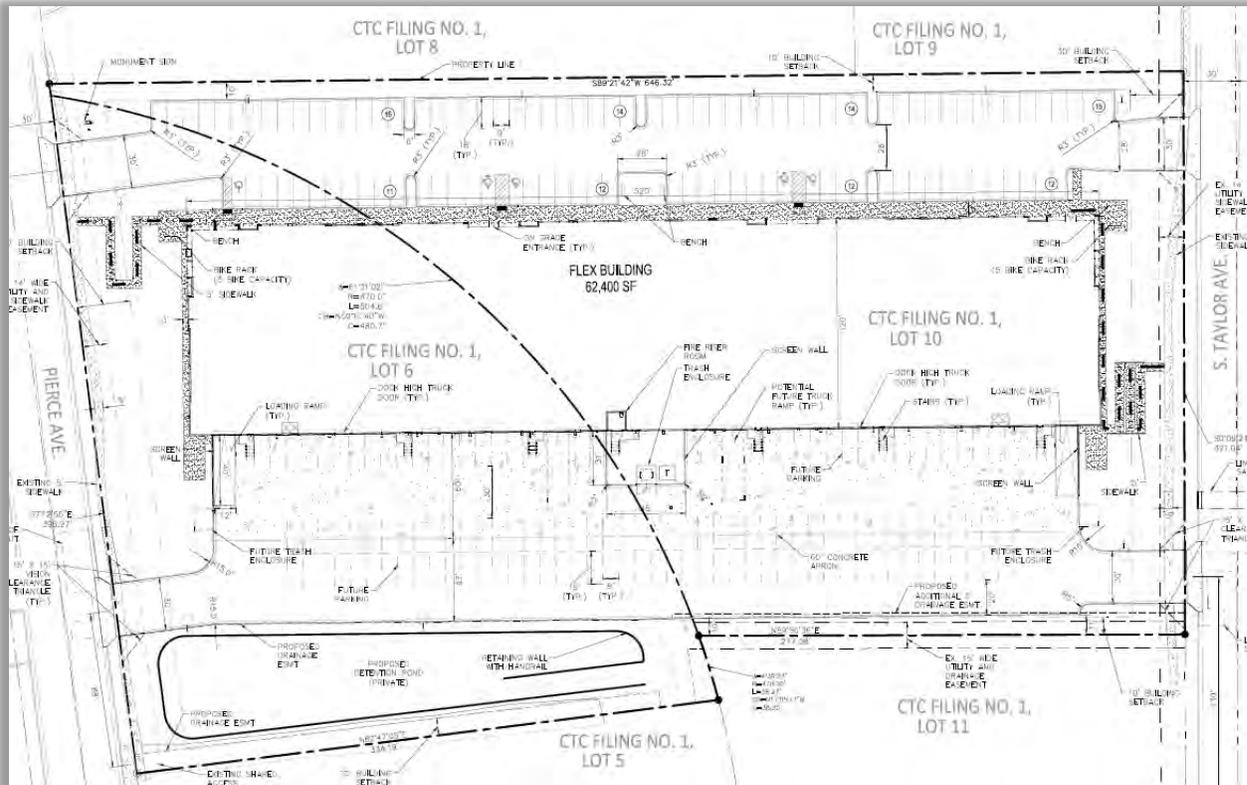
The applicant, Comunale Properties, is requesting approval of a final Planned Unit Development (PUD) to allow for the construction of a 62,400 square foot industrial flex building. The site is located in the Colorado Technology Center (CTC) between Pierce Avenue and Taylor Avenue, south of Cherry Street on Lots 6 and 10, Block 3, of the CTC Filing 1 subdivision. The property is zoned Industrial (I) and is subject to the Industrial Development Design Standards and Guidelines (IDDSG).



Site Plan

The proposed site plan's lot coverage and setbacks meet the requirements of the IDDSG. The proposed building foot print, parking, and driveways, if approved, would cover 73% of the site. The IDDSG allows a maximum 75% lot coverage. The remainder of the site would be pedestrian plazas, landscaped setback areas, and landscaped drainage facilities.

The proposed building would face north with surface parking on the north side of the building, while the loading area, with loading docks and trash enclosures, is proposed on the south side of the building. The trash enclosures would be screened with a concrete wall and a painted to match the building. The loading docks would be screened by wing walls and landscaping from Pierce and Taylor Avenues. Based on setbacks and layouts, the proposed site plan has no waivers to the standards outlined in the IDDSG.



Parking

The applicant is proposing 106 parking spaces, in excess of the IDDSG requirements for warehouse uses. The IDDSG requires a minimum parking ratio of 1.0 parking space per 1,000 square feet of floor area for warehouse uses and 4.0 spaces per 1,000 square feet of floor area for office uses. The site provides capacity for an additional 122 spaces should a future tenant change the mix of proposed office and warehouse uses within the building.

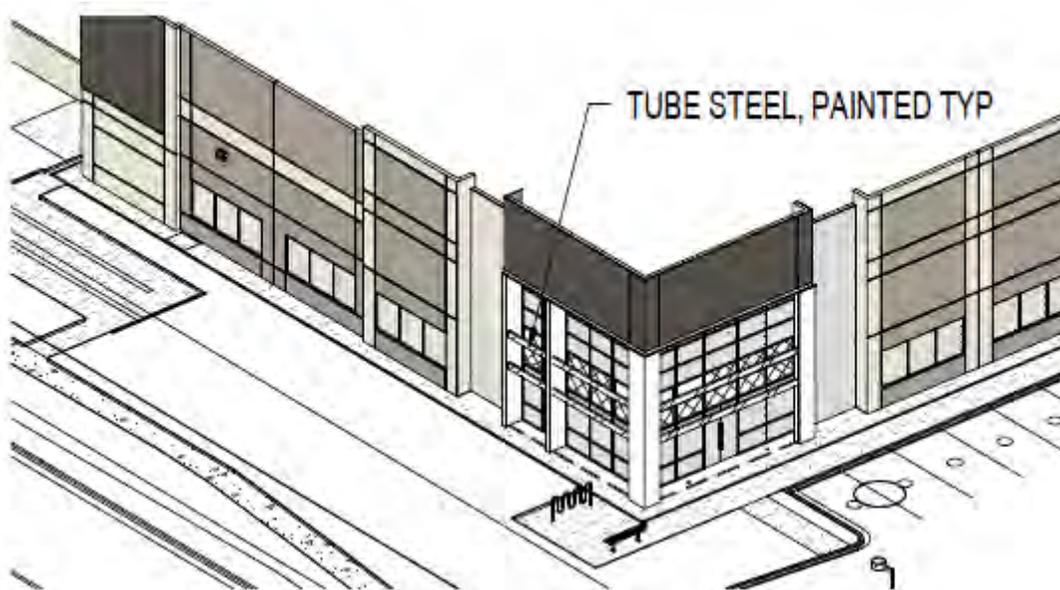
The parking plan is designed for the following:

Parking Plan		Required	Proposed	Total
Warehousing	With Loading	1 space per 1,000 SF (63 spaces)	1.7 spaces per 1,000 SF	106 spaces
Office	Without Loading	4 spaces per 1,000 SF (250 spaces)	3.6 spaces per 1,000 SF	228 spaces

Architecture

The majority of the proposed building would be constructed with concrete tilt up panels incorporating reveals and recesses in the façade and board-formed concrete accents. The building would be a range of neutral colors and feature aluminum canopies at the main entrances.

The entrances would be on the north side of the building, facing the parking lot, and be defined by additional glazing and architectural accents. The east and west elevations, facing the streets, incorporate glazing and variations in color and materials, meeting the IDDSG requirements for architecture on street-facing facades.



A varied roof line between 32 and 36 feet is proposed for the building. The proposed building height of 36 feet is below the maximum permitted height of 40 feet found in the IDDSG. All roof mounted mechanical equipment would be setback a minimum of 20 feet from the building parapet, and would be painted to match the dominant color of the building.

Landscape Plan, Drainage and Retaining Walls

Landscaping is proposed to screen the parking lot and the loading areas from public view point and provide a buffer between adjacent land uses. The proposed landscaping complies with the IDDSG, except the applicant is requesting a waiver to allow native seeding instead of turf. Staff supports the request because it will reduce water use while still meeting the aesthetic intents of the regulations.

The drainage needs for the site would be served by a detention pond on the southwestern corner of the site. The perimeter of the detention pond would be landscaped with trees and shrubs. The proposed parking area would include landscaped islands separating parking bays consistent with IDDSG requirements.

Signs

The applicant is requesting one monument sign at the northwest entrance to the development. The proposed sign design complies with the IDDSG. No specific building-mounted signs are proposed, so any signs would be required to comply with the IDDSG.

Lighting

The applicant has submitted a lighting plan which includes wall lights on the building and pole lighting in the parking lot. The parking lot light poles cannot exceed 24 feet in height per the requirements of the IDDSG. The proposed lighting standards meet the specifications of the IDDSG.

STAFF RECOMMENDATION

Staff recommends Planning Commission recommend approval of Resolution No. 11, Series 2016, a resolution recommending approval of a Final Planned Unit Development to allow for the construction of a 62,400 square foot building consisting of flex warehouse space on Lots 6 and 10, Block 3 of the CTC Filing 1 Subdivision. The Planning Commission may approve (with or without conditions), continue, or deny the applicant's request for Final Planned Unit Development approval.

ATTACHMENT(S):

1. Resolution No. 11, Series 2016
2. Application documents
3. Final PUD

**RESOLUTION NO. 11
SERIES 2016**

A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLANNED UNIT DEVELOPMENT (PUD) TO CONSTRUCT A 62,400 SQUARE FOOT SINGLE STORY INDUSTRIAL/FLEX BUILDING WITH ASSOCIATED SITE IMPROVEMENTS ON LOTS 6 & 10, BLOCK 3, CTC FILING 1.

WHEREAS, there has been submitted to the Louisville Planning Commission an application for approval of a final Planned Unit Development (PUD) to allow for the construction of a 62,400 square foot single story industrial/flex building with associated site improvements on Lots 6 & 10, Block 3, CTC Filing 1; and

WHEREAS, the City Staff has reviewed the information submitted and found that, subject to conditions, the application complies with the Louisville zoning and subdivision regulations and other applicable sections of the Louisville Municipal Code; and;

WHEREAS, after a duly noticed public hearing on May 12, 2016, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated May 12, 2016, the Planning Commission finds the PUD for Lots 6 & 10, Block 3, CTC Filing 1 should be approved.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a final Planned Unit Development (PUD) to allow for the construction of a 62,400 square foot single story industrial/flex building with associated site improvements on Lots 6 & 10, Block 3, CTC Filing 1.

PASSED AND ADOPTED this 12th day of May, 2016.

By: _____
Chris Pritchard, Chairman
Planning Commission

Attest: _____
Ann O'Connell, Secretary
Planning Commission



LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: Comunale Properties
 Contact: John Comunale
 Address: 1855 South Pearl St., Suite 20
Denver, CO 80210
 Mailing Address: (Same as above)
 Telephone: (720) 583-1024
 Fax: _____
 Email: jcomunale@theredgroup.com

OWNER INFORMATION

Firm: Tech Commons, LLC
 Contact: Chris Rebach / CVH
 Address: 6685 Gunpark Dr., Suite 210
357 S. McClain Blvd #200
 Mailing Address: (Same as above)
 Telephone: 303 898-3557
 Fax: _____
 Email: CHRIS@OCONNOR-GROUP.COM

REPRESENTATIVE INFORMATION

Firm: Kimley-Horn and Associates, Inc.
 Contact: Dan Skeeahan
 Address: 4582 South Ulster St., Suite 1500
Denver, CO 80237
 Mailing Address: (Same as above)
 Telephone: (303) 228-2318
 Fax: _____
 Email: dan.skeeahan@kimley-horn.com

SIGNATURES & DATE

Applicant: _____
 Owner: _____
 Representative: [Signature] 1/28/2016

TYPE (S)

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: Proposed ~ 62,400 S.F. industrial building on two existing lots totaling 5.02 acres. Site will be access via two driveways on S. Pierce Ave. and two driveways on S. Taylor Ave. A waiver is being sought for the additional driveway.

Current zoning: I Proposed zoning: I

PROPERTY INFORMATION

Common Address: 483 S. Taylor & 486 S. Pierce
 Legal Description: Lot 6 & 10 Blk 3
 Subdivision CTC, Filing 1
 Area: 218,691 Sq. Ft.

CITY STAFF USE ONLY

- Date Received: _____
- Fee paid: _____
- Referrals sent: _____
- Public Notice: _____
- PC Resolution No. _____, Series _____
- CC Resolution No. _____, Series _____
- Final documents received: _____
- Documents sent for recording: _____



February 4, 2016

City of Louisville
Scott Robinson, Planner
749 Main Street
Louisville, CO 80027
303-335-4596
scottr@louisvilleco.gov

Re: Submittal Requirements: B. Letter of request describing proposed use

Mr. Robinson,

I am writing in regards to this project to, located at Lots 6 & 10 of CTC, to propose a new 62,400 sf speculative flex office/warehouse building to be constructed by our firm. The project will consist onsite improvements including but not limited to the following:

- Site improvements such as landscaping, asphalt parking lot, curb/gutter, site concrete loading docks, and retainage pond (as required by code).
- Concrete tilt panel building enclosure, cast in place foundations and slab on grade, structural steel beams, columns, joist, decking, and roofing system.
- The building is being designed to accommodate up to 5 tenants including building entry enhancements to accommodate such. Glass and glazing systems shall accentuate these locations creating architectural interest to the façade.

The project will be design and constructed with the local and applicable codes as recognized by City of Louisville and strictly adhered to through the course of the project.

As per the City of Louisville Industrial Development Design Standards & Guidelines, page 12, paragraph 2.1.1D, "Buildings sites two acres to five acres are allowed two driveways...." Since both Lot 6 and Lot 10 exceed two acres, are including and anticipating approval to proceed to be allowed two driveways per lot.

The City of Louisville parking requirements are 4 spaces/1,000 SF for Office space, 2 spaces/1,000 SF for Manufacturing and Research and Development space, 1 space/1000 SF for Warehouse space, and 4.5 spaces/1,000 SF for Showroom space. Flex Buildings should be designed for 4 and 5 spaces/1,000 SF with a minimum of 4 spaces/1,000 SF. The project will be designed accordingly to meet these requirements.



The project is anticipated to begin construction this summer, upon building permit release from City of Louisville, and shall be complete by the end of 2016, pending tenant leasing. The project will be constructed Monday-Saturday during this course of time and shall be closed to recongize Holidays. Upon completion of the building, it will operate under normal business hours and as required by the tenants' business plans.

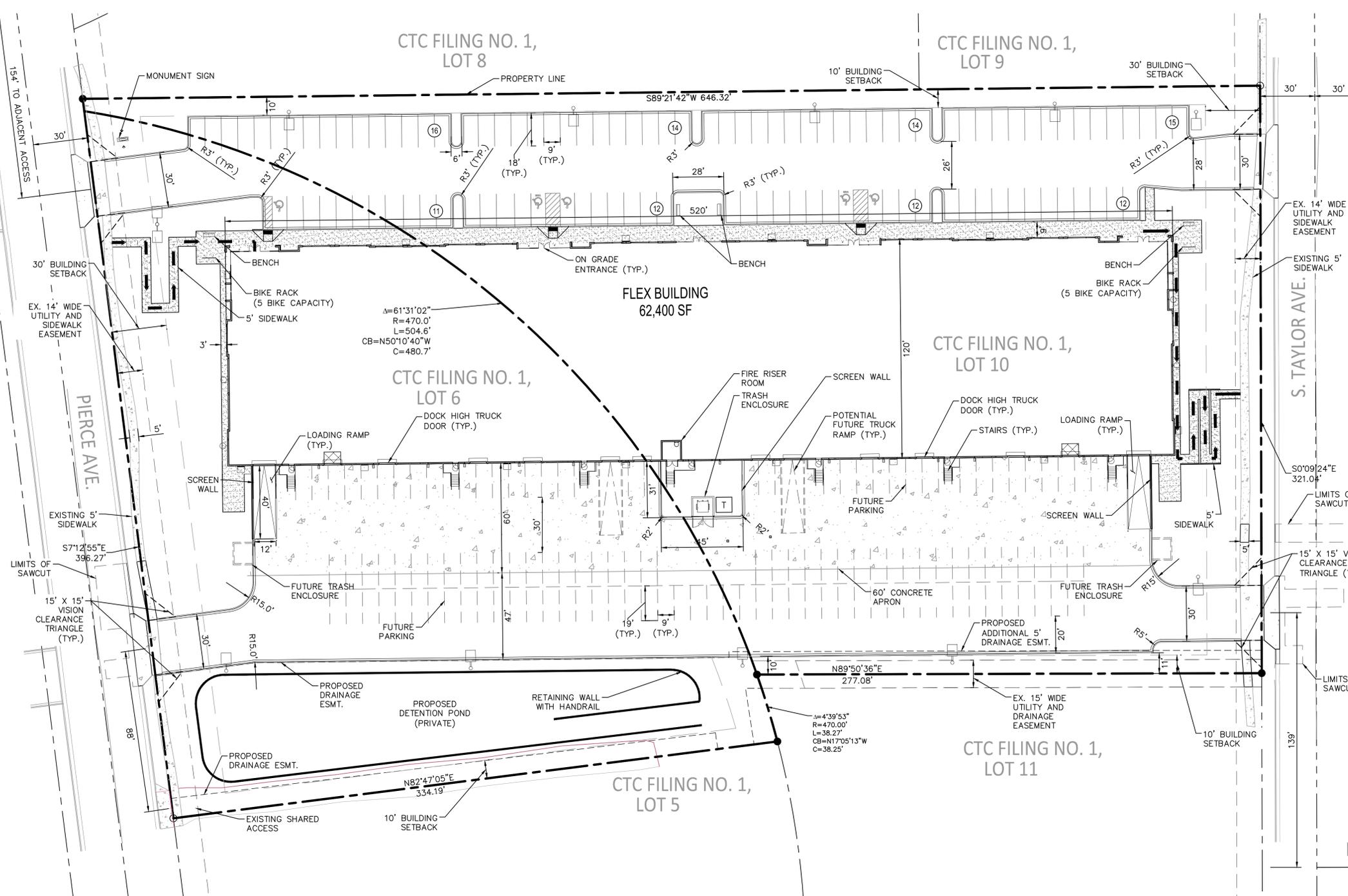
Sincerely,

A handwritten signature in blue ink that reads "Mark Baird".

Mark Baird
Senior Project Manager
Alcorn Construction, Inc.
mark@alcornci.com

CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO
 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING

K:\DEN_Civil\096501000_Louisville - Lots 6 & 10 CAD\RD Plan\Streets\RD SITE PLAN.dwg, Cassidy, Stone 4/13/2016 7:39 AM
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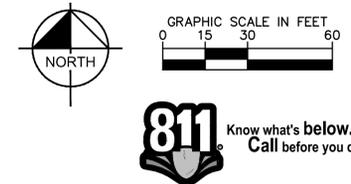
LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- ADA ACCESSIBLE ROUTE TO PUBLIC R.O.W.
- PROPOSED PARKING SPACES
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK

SITE ANALYSIS TABLE

SITE AREA	5.02 AC
BUILDING	62,400 S.F.
PARKING	101 SPACES
ACCESSIBLE	5 SPACES
TOTAL PARKING	106 SPACES
RATIO	1.70/1,000 S.F.

- NOTES**
- ALL ACCESS DRIVES SHALL BE CONSTRUCTED AS RAMP DRIVES WITH DETACHED SIDEWALKS. EXISTING SIDEWALK SHALL BE REPLACED AS DIRECTED BY CITY STAFF DUE TO GRADE/ALIGNMENT ISSUES.
 - OWNER TO DEDICATE ACCESS EASEMENT OVER PAVED SURFACES FOR CITY MAINTENANCE AND EMERGENCY VEHICLES.



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DESIGNED BY: DLS
 DRAWN BY: SC
 CHECKED BY: DS
 DATE: 04/15/2016

DEVELOPMENT PLAN
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

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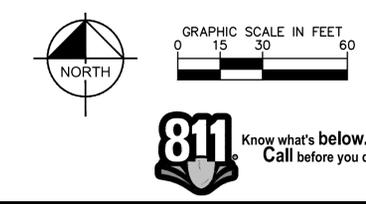
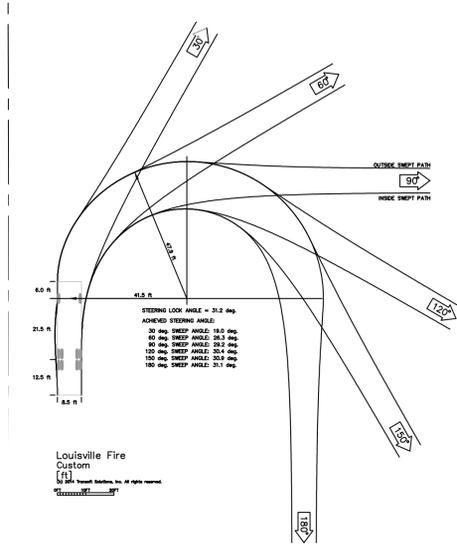
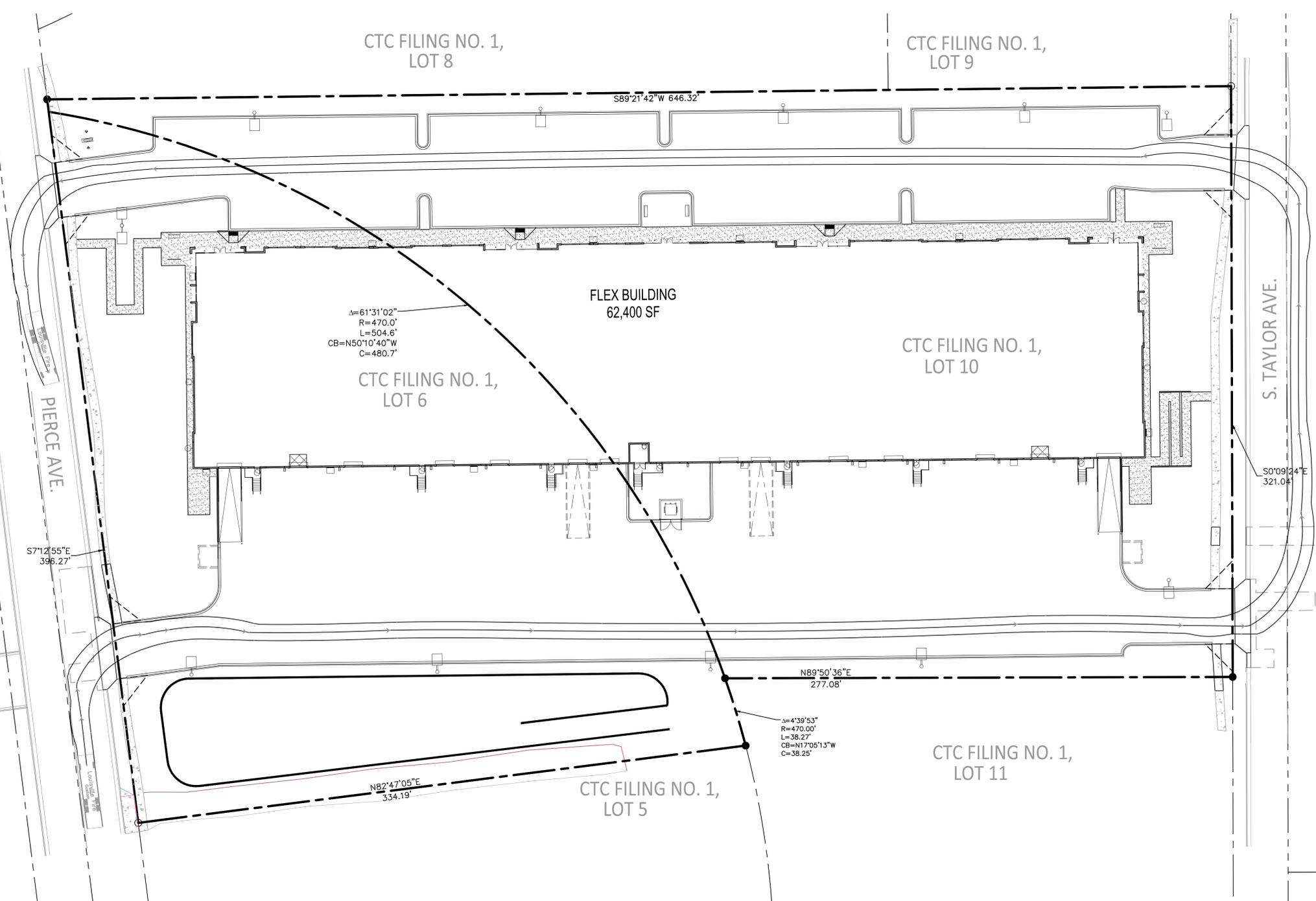
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 DEVELOPMENT PLAN

811 Know what's below.
 Call before you dig.

2

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 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING

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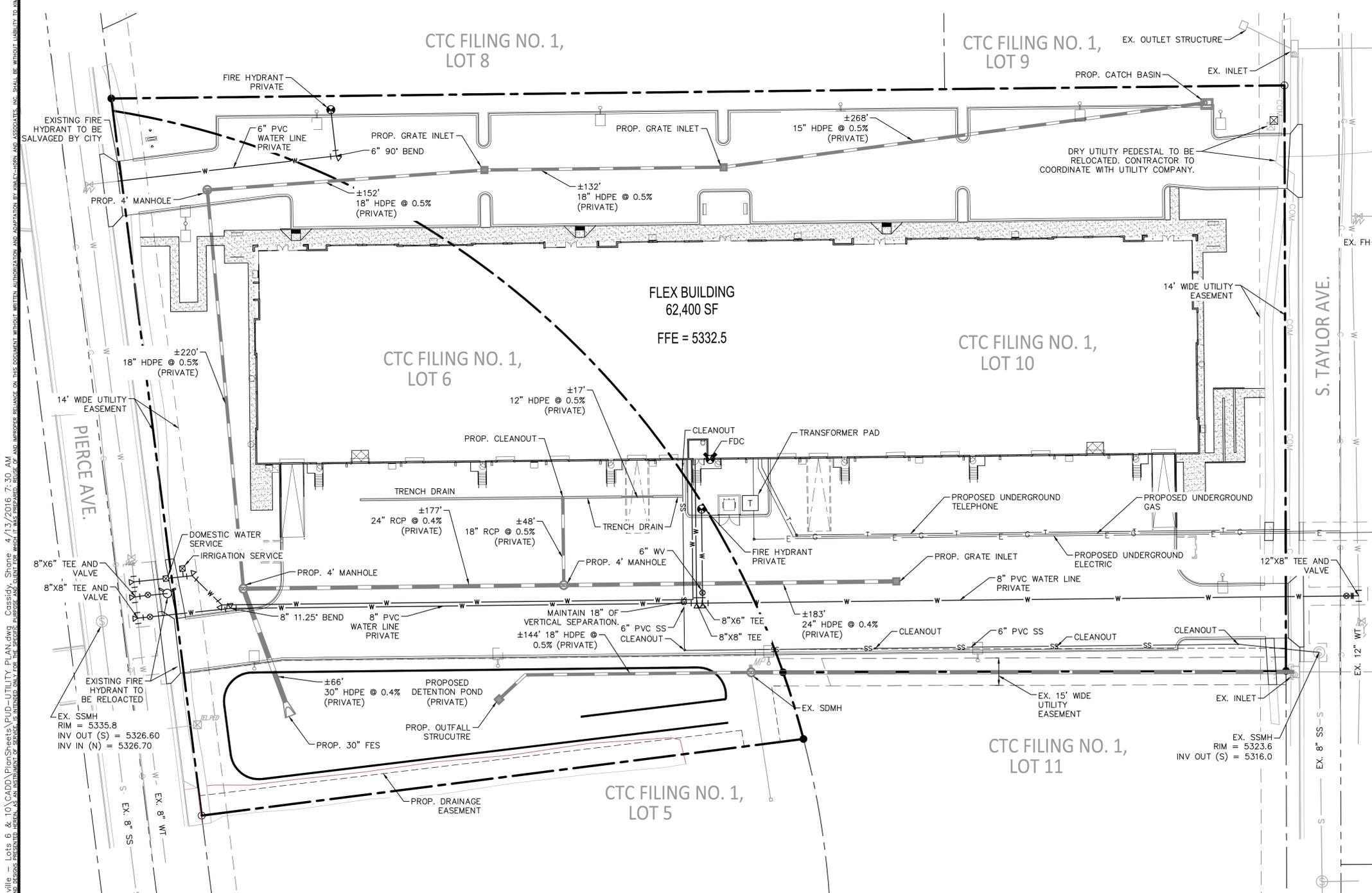
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EMERGENCY ACCESS PLAN
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

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 PLAN

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 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING



LEGEND

---	PROPERTY LINE
- - -	EASEMENT LINE
SS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
IRR	EXISTING IRRIGATION LINE
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
W	PROPOSED FIRE HYDRANT ASSEMBLY
SS	EXISTING STORM SEWER PIPE
SS	PROPOSED STORM SEWER PIPE
COM	EXISTING COMMUNICATIONS LINE
T	PROPOSED TELEPHONE LINE
G	EXISTING GAS LINE
GAS	PROPOSED GAS LINE
E	EXISTING UNDERGROUND ELECTRIC LINE
E	PROPOSED ELECTRIC LINE
□	PROPOSED TRANSFORMER PAD WITH BOLLARDS
□	PROPOSED ELECTRICAL PULL BOX
- - -	PROPOSED SAWCUT

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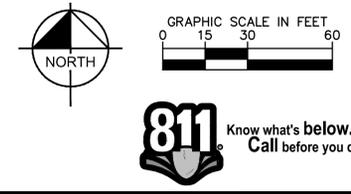
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UTILITY PLAN
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

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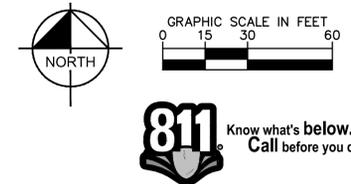
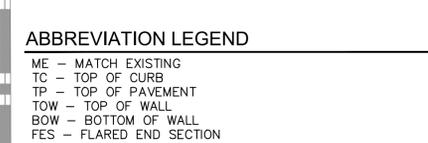
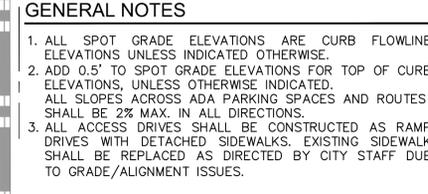
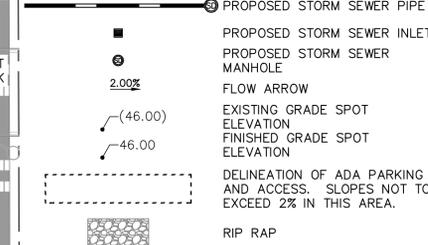
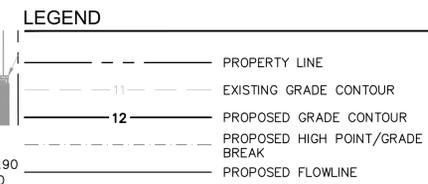
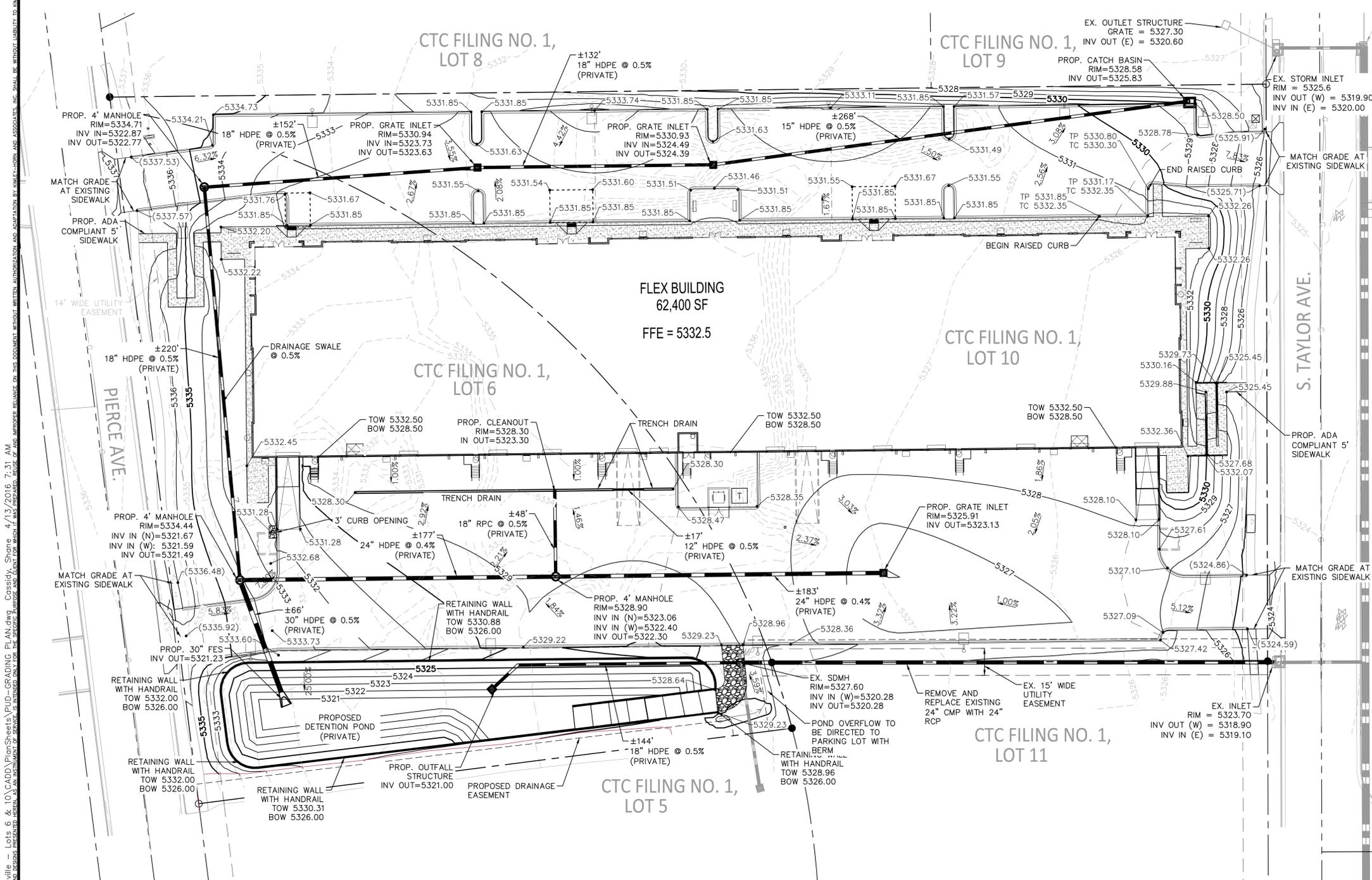
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 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING



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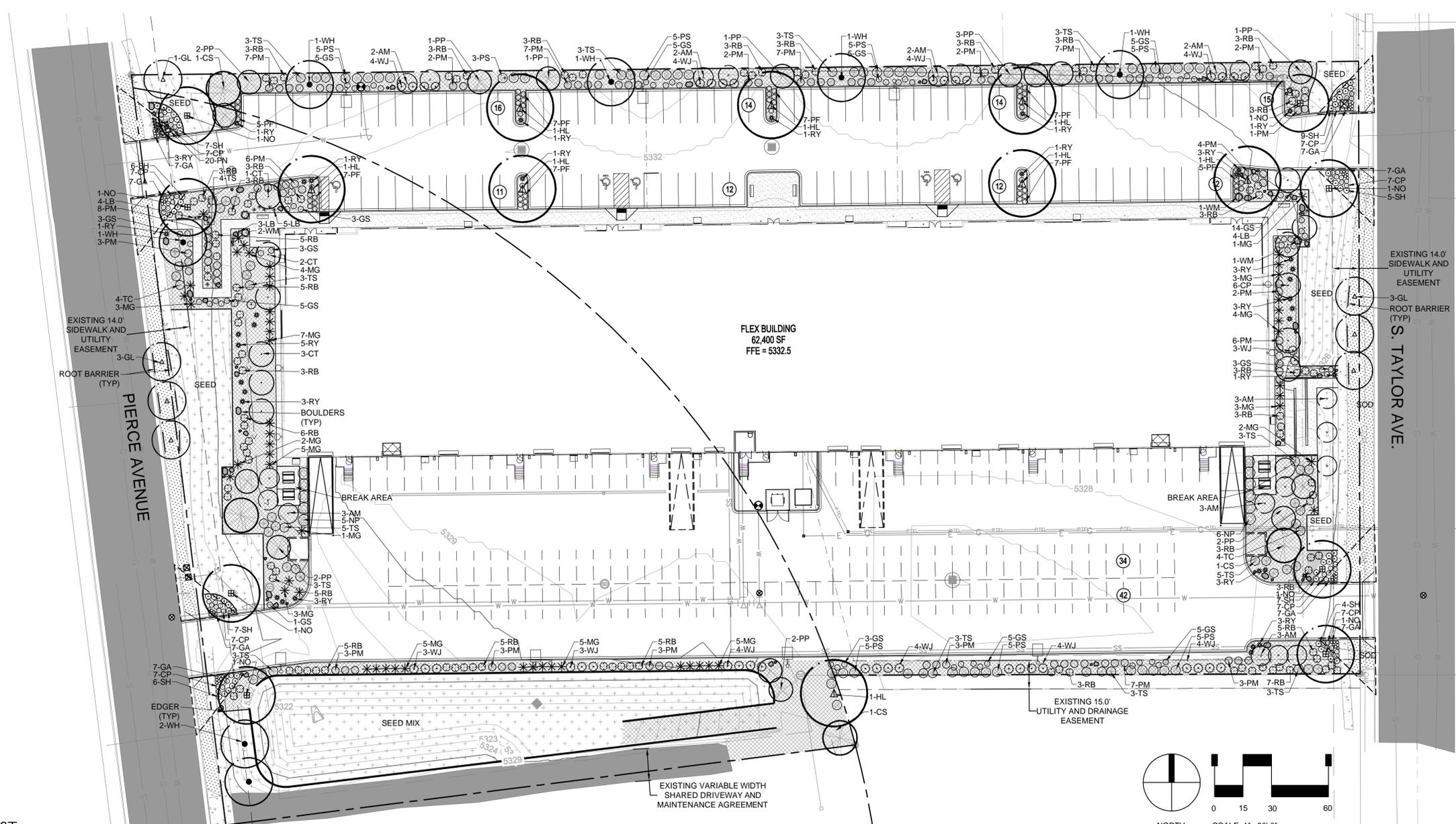
GRADING PLAN
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

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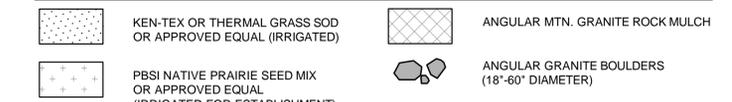
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO
 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING



PLANT LIST

QUAN.	SYM.	COMMON/BOTANICAL NAME	SIZE	REMARKS	HYD.															
LARGE TREES																				
7	GL	GREENSPIRE LINDEN <i>Tilia cordata</i> 'Greenspire'	2.5" CAL.	FULL CROWN, STAKED B&B SPEC. QUALITY	M	56	CP	CRIMSON PYGMY BARBERRY <i>Berberis thunbergii</i> 'Atropurpurea Nana'	5 GAL.	SPACING PER PLAN	L	16	LB	LITTLE BLUESTEM GRASS <i>Schizachyrium scoparium</i>	1 GAL.	ESTABLISHED FULL FORM	SPACING PER PLAN	L		
8	HL	SHADEMASTER HONEYLOCUST <i>Gleditsia triacanthos inermis</i> 'Shademaster'	2.5" CAL.	FULL CROWN, STAKED B&B SPEC. QUALITY	M	64	GS	GRO-LOW FRAGRANT SUMAC <i>Rhus aromatica</i> 'Grow-low'	5 GAL.	SPACING PER PLAN	L	54	MG	DWARF MAIDEN GRASS <i>Calamagrostis acutifolia</i> 'Karl Foerster'	1 GAL.	ESTABLISHED FULL FORM	SPACING @ 36" O.C.	M		
8	NO	NORTHERN RED OAK <i>Quercus robur</i>	2.5" CAL.	FULL CROWN, STAKED B&B SPEC. QUALITY	M	11	NP	NEW MEXICO PRIVET <i>Forestiera neomexicana</i>	5 GAL.	SPACING PER PLAN	L	20	PN	DWARF FOUNTAIN GRASS <i>Pennisetum alopecuroides</i> 'Hamel'	1 GAL.	ESTABLISHED FULL FORM	SPACING PER PLAN	M		
7	WH	WESTERN HACKBERRY <i>Quercus robur</i>	2.5" CAL.	FULL CROWN, STAKED B&B SPEC. QUALITY	M	52	PF	ABBOTSWOOD POTENTILLA <i>Potentilla fruticosa</i> 'Abbotswood'	5 GAL.	SPACING PER PLAN	L	38	PS	PAMPAS GRASS <i>Erianthus ravennae</i>	5 GA.	ESTABLISHED FULL FORM	SPACING PER PLAN	M		
SMALL TREES																				
20	AM	AMUR/GINNALA MAPLE <i>Acer ginnala</i>	8' HT.	FULL CROWN, STAKED B&B SPEC. QUALITY	L	91	PM	PANCHITO MANZANITA <i>Arctostaphylos x. coloradoensis</i> 'Panchito'	5 GAL.	SPACING PER PLAN	L	51	SH	SUNSET HYSOOP <i>Agastache rupestris</i>	1 GAL.	ESTABLISHED FULL FORM	SPACING PER PLAN	L		
12	CP	CHANTICLEER PEAR <i>Pyrus calleryana</i> 'Chanticleer'	2.0" CAL.	FULL CROWN, STAKED B&B SPEC. QUALITY	M	107	RB	RABBIT BRUSH <i>Chrysothamnus nauseosus</i>	5 GAL.	SPACING PER PLAN	L									
EVERGREEN TREES																				
4	CS	COLORADO SPRUCE <i>Picea pungens</i>	8' HT.	FULL CROWN, GUYED B&B SPEC. QUALITY	L	55	TS	THREE-LEAF SUMAC <i>Rhus trilobata</i>	5 GAL.	SPACING PER PLAN	L									
15	PP	PINON PINE <i>Pinus edulis</i>	6' HT.	FULL CROWN, GUYED B&B SPEC. QUALITY	L	39	RY	RED YUCCA <i>Hesperaloe parviflora</i>	5 GAL.	SPACING PER PLAN	L									
SHRUBS																				
4	WM	WHITEBUD MUGO PINE <i>Pinus Mugo</i>	5 GAL.	FULL CROWN, GUYED B&B SPEC. QUALITY	L	41	WJ	PROSTRATE JUNIPER <i>Juniperus horizontalis</i> 'Wiltonii'	5 GAL.	SPACING PER PLAN	L									
1	GA	BLANKET FLOWER <i>Gaillardia aristata</i> 'Goblin'	1 GAL.	ESTABLISHED FULL FORM	L	4	WM	WHITEBUD MUGO PINE <i>Pinus Mugo</i>	5 GAL.	SPACING PER PLAN	M									
PERENNIALS AND GRASSES																				

LEGEND



NOTE

THE CITY IS NOT RESPONSIBLE FOR REPLACEMENT OF LANDSCAPE MATERIALS DAMAGED DURING MAINTENANCE, REPAIR, REPLACEMENT OF STORM SEWER WITHIN THE 15' UTILITY AND DRAINAGE EASEMENT.

PREPARED UNDER THE DIRECT SUPERVISION OF
 JONATHAN SPENCER, LANDSCAPE ARCHITECT
 COLORADO REGISTRATION #111
 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

PRELIMINARY
 NOT FOR CONSTRUCTION

LANDSCAPE PLAN

COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

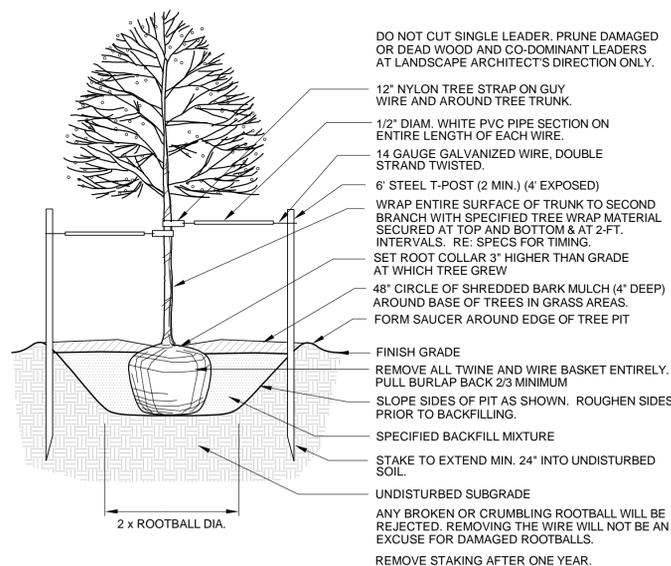
PROJECT NO. _____
 DRAWING NAME LANDSCAPE PLAN
 7

Sterling Design Associates, llc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 (P)
 www.SterlingDesignAssociates.com

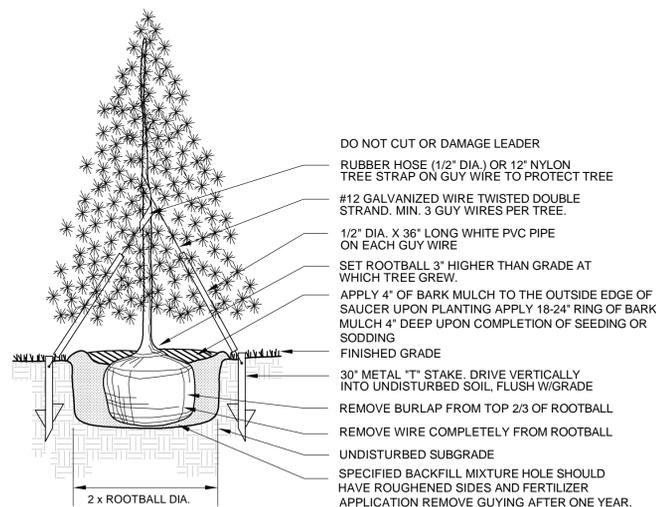
NO.	CITY COMMENTS	REVISION	BY	DATE	APPR.
1			JDS	4.8.16	JDS

W:\SENTINEL\Projects\NPA - Louisville, CTC Lot 6 & 10\9 CAD\PIUD Site Plan\CTC 6 - L1.dwg - Jan 4/13/2016 8:40 AM
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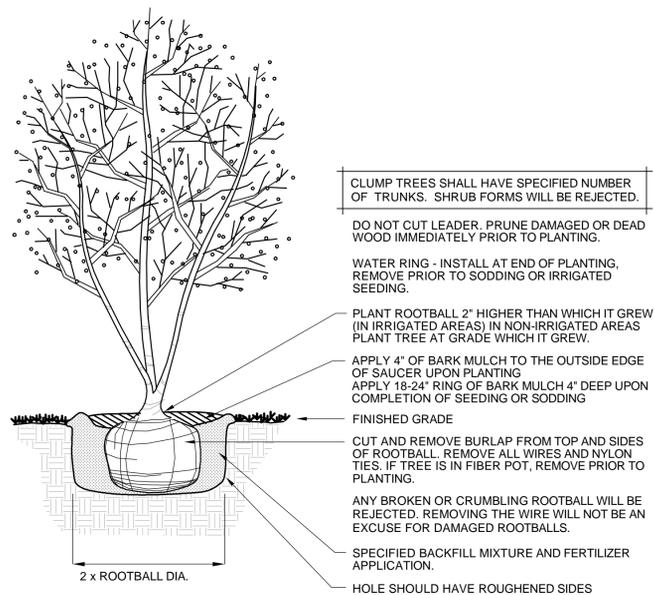
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO
 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING



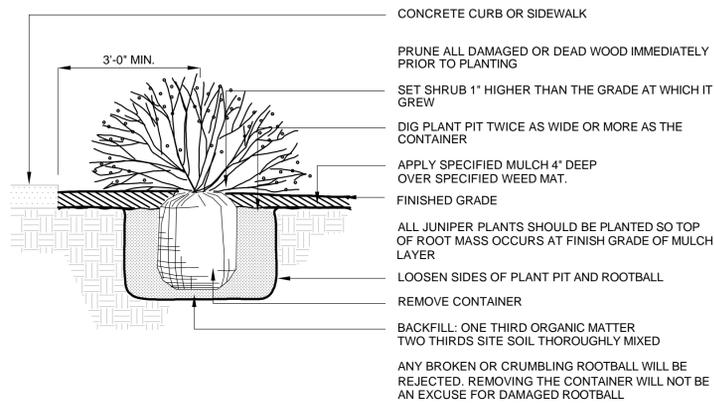
SHADE TREE PLANTING 1
 NOT TO SCALE



EVERGREEN TREE PLANTING 3
 NOT TO SCALE



CLUMP TREE PLANTING 2
 NOT TO SCALE



SHRUB PLANTING 4
 NOT TO SCALE

LANDSCAPE NOTES

- COORDINATION
 THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL AND IRRIGATION PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE
 CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE
 ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE
 A. FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
 B. MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS
 LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING
 A. CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
 B. CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION
 OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.
- SOIL PREPARATION
 SOD AND SHRUB BED AREAS SHALL RECEIVE SIX INCHES OF APPROVED TOPSOIL. AMEND SOIL WITH FOUR CUBIC YARDS PER THOUSAND SQUARE FEET OF ORGANIC COMPOST. COMPOST TO HAVE A C:N RATIO BETWEEN 15:1 AND 30:1, LESS THAN 6 mmhos/cm SALT CONTENT, A pH BETWEEN 6.5 AND 8.5, AND OVER 30% ORGANIC MATTER. APPLY 5 LBS. OF 20-10-5 GRANULAR FERTILIZER PER THOUSAND SQ. FEET. ROTOTILL AMENDMENTS AND TOPSOIL TO A DEPTH OF SIX INCHES. VERIFY SOIL PREP SPECIFICATIONS WITH WATER PROVIDER STANDARDS. PROVIDE EVIDENCE OF APPLICATION AS REQUIRED. TEST SOIL IN EXISTING ASPHALT AREAS FOR STERILANT USE. IF STERILANTS ARE FOUND PRESENT, REMOVE ALL CONTAMINATED SOIL AND REPLACE WITH NEW TOPSOIL.
- PLANTING
 TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING. BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED. FERTILIZE AS RECOMMENDED WITH AGRIFORM TABLETS.
- EDGER
 INSTALL 4" ROLL-TOP RYERSON STEEL EDGING (14 GAUGE WITH GREEN FINISH) OR EQUAL. INSTALL WITH STAKES AND SPLICERS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL BETWEEN ALL SOD OR SEEDED AREAS AND MULCHED AREAS.
- MULCH
 INSTALL 1"-2" ANGULAR MTN. GRANITE IN ALL PLANTING AREAS PLACED OVER DEWITT PRO 5 FILTER FABRIC, 3" DEEP. PROVIDE SHREDDED WESTERN RED CEDAR WOOD MULCH PLACED AT BASE OF ALL SHRUBS AND TREES. (SUBMIT SAMPLES)
- MAINTENANCE
 THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
- IRRIGATION
 THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM TO INCLUDE IRRIGATION TO ALL PROPOSED PLANT MATERIAL. TURF AREAS SHALL BE IRRIGATED WITH SPRAY HEADS, WHILE TREES AND SHRUBS SHALL BE IRRIGATED USING DRIP IRRIGATION. SEEDED AREAS SHALL RECEIVE TEMPORARY IRRIGATION FOR AN ESTABLISHMENT PERIOD OF ONE (1) YEAR.
 PUBLIC WORKS SHALL INSPECT AND APPROVE THE IRRIGATION SYSTEM OPERATION WITHIN THE RIGHT OF WAY. CONTRACTOR SHALL ADJUST IRRIGATION HEADS AS NECESSARY TO ELIMINATE TO THE GREATEST EXTENT POSSIBLE ANY OVERSPRAY ONTO PAVED SURFACES.
- SEEDING
 THE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A HEALTHY, WEED FREE, STAND OF GRASS DURING THE ESTABLISHMENT PERIOD.

NATIVE PRAIRIE SEED MIX

PBSI NATIVE PRAIRIE MIX

- (29%) Blue Grama
- (10%) Buffalo grass
- (20%) Green Needle grass
- (20%) Sideoats Grama
- (20%) Western Wheatgrass
- (1%) Sand Dropseed

APPLICATION RATE: 15 PLS lbs/Acre

*MIX PROVIDED BY PAWNEE BUTTES SEED INC. 1-800-782-5947

SEEDING SPECS.

SUBMIT ALL SEEDING, MULCHING, AND WATER SCHEDULE SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR FINAL APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A HEALTHY AND WEED FREE STAND OF GRASS.

SOIL PREP: APPLY STOCKPILED TOPSOIL AND 100 LBS. OF DIAMMONIUM PHOSPHATE PER ACRE TO AN APPROVED SUBGRADE. USE A DISK OR HARROW TO PREPARE THE SEED BED AND COMPLETE FINISH GRADING.

SEEDING: USE A GRASS DRILL WITH A SEED AGITATOR TO ENSURE THAT THE SEED IS DRILLED EVENLY TO A 1/2" DEPTH. HAND BROADCAST SEED AT TWICE THE RATE IN AREAS WHERE DRILL SEEDING CANNOT BE ACCOMPLISHED.

MULCH: CRIMP HAY OR STRAW INTO THE SOIL AT 3,000 LBS. PER ACRE.

WATER: CONTRACTOR SHALL APPLY 1/2" OF WATER TO SEED AREAS, TWICE PER WEEK, FOR THREE WEEKS. CONTRACTOR TO SUPPLY ALL EQUIPMENT AND LABOR.

RESEED AND MULCH BARE OR ERODED AREAS AT ONE (1) MONTH INTERVALS AS NECESSARY.

PRELIMINARY
 NOT FOR CONSTRUCTION

NO.	1	CITY COMMENTS	JDS	4.8.16
REVISION			BY	DATE

Sterling Design Associates, llc
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 2009 W. Littleton Blvd #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com

DESIGNED BY: JDS
 DRAWN BY: JDS
 CHECKED BY: JDS
 DATE: 04/15/2016

LANDSCAPE DETAILS
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

PROJECT NO.

DRAWING NAME
 LANDSCAPE DETAILS

W:\SENTINEL\Projects\PBA - Louisville, CTC Lot 6 & 10\9 CAD\UD Site Plan\CTC 6 - L1.dwg Jon 4/13/2016 8:50 AM
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CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO
 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING



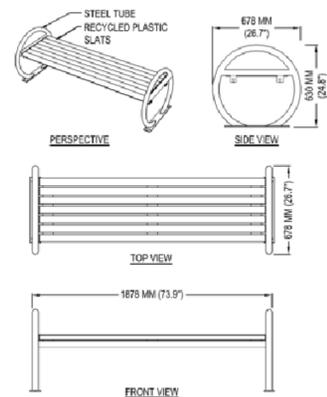
CANAAN SITE FURNISHINGS
 140 BENTLEY ST, UNIT 3
 MARKHAM, ON L3R 3L2
 TOLL FREE: 1-855-330-1133
 PHONE: (905) 305-6638
 FAX: (866) 806-2355
 www.canaaninc.ca

SELECT DESIRED SLAT COLOR:

- BLACK
- CEDAR
- PURPLE
- GREY

SELECT DESIRED FRAME COLOR:

- GLOSS BLACK
- BLACK SANDTEX
- METALLIC SILVER
- TEX GREY
- SILVER
- BROWN
- YELLOW
- RED
- SANDTEX GREEN
- GLOSS GREEN
- NAVY
- BAHAMA BLUE



SPECIFICATIONS:

MATERIALS: CONSTRUCTED WITH 100% RECYCLED PLASTIC WOOD AND FRAMED WITH GALVANIZED STEEL.
FINISH: STEEL COMPONENTS ARE ELECTROCOATED WITH ANTI-CORROSION TREATMENT, AND FINISHED WITH UV RESISTANT CANAAN 5 STEPS POWDER COATING ELECTROSTATICALLY.
INSTALLATION: SURFACE MOUNTED - HOLES ARE PRE-DRILLED IN EACH FOOT FOR SECURING TO BASE.
SPECIFICATION: CHOICE OF POWDERCOAT AND RECYCLED PLASTIC WOOD COLOR.
WEIGHT: 86KG / 192.3 LBS.

NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4915-008.

RECYCLED PLASTIC WITH METAL FRAME ENDS, MODEL CAB-824

BENCH

NOT TO SCALE

1



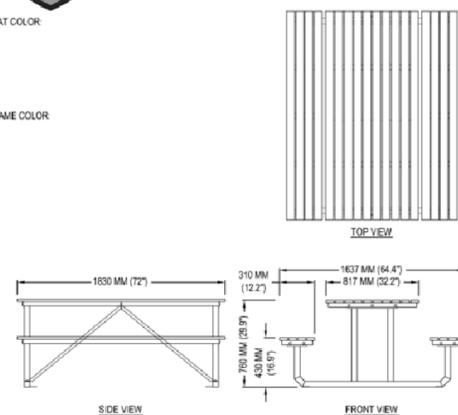
CANAAN SITE FURNISHINGS
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 MARKHAM, ON L3R 3L2
 TOLL FREE: 1-855-330-1133
 PHONE: (905) 305-6638
 FAX: (866) 806-2355
 www.canaaninc.ca

SELECT DESIRED SLAT COLOR:

- BLACK
- CEDAR
- PURPLE
- GREY

SELECT DESIRED FRAME COLOR:

- GLOSS BLACK
- BLACK SANDTEX
- METALLIC SILVER
- TEX GREY
- SILVER
- BROWN
- YELLOW
- RED
- SANDTEX GREEN
- GLOSS GREEN
- NAVY
- BAHAMA BLUE



SPECIFICATIONS:

MATERIALS: CONSTRUCTED WITH 100% RECYCLED PLASTIC WOOD AND FRAMED WITH CASTED IRON.
FINISH: IRON COMPONENTS ARE ELECTROCOATED WITH ANTI-CORROSION TREATMENT, AND FINISHED WITH UV RESISTANT CANAAN 5 STEPS POWDER COATING ELECTROSTATICALLY.
INSTALLATION: SURFACE MOUNTED - HOLES ARE PRE-DRILLED IN EACH FOOT FOR SECURING TO BASE.
WEIGHT: 90 KG / 198.4 LBS.

NOTES:

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- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4915-044.

RECYCLED PLASTIC WITH METAL FRAME ENDS, MODEL CAT-030

PICNIC TABLE

NOT TO SCALE

2



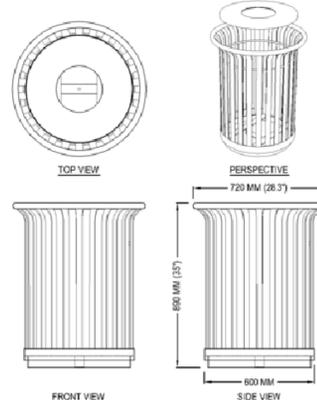
CANAAN SITE FURNISHINGS
 140 BENTLEY ST, UNIT 3
 MARKHAM, ON L3R 3L2
 TOLL FREE: 1-855-330-1133
 PHONE: (905) 305-6638
 FAX: (866) 806-2355
 www.canaaninc.ca

SELECT DESIRED COLOR:

- GLOSS BLACK
- BLACK SANDTEX
- METALLIC SILVER
- TEX GREY
- SILVER
- BROWN
- YELLOW
- RED
- SANDTEX GREEN
- GLOSS GREEN
- NAVY
- BAHAMA BLUE

SELECT DESIRED RECEPTACLE:

- CAY-119
(805MM (31.67") W X 690MM (35") H)
- CAY-119B (SHOWN)
(720MM (28.35") W X 690MM (35") H)



SPECIFICATIONS:

MATERIAL: THE FRAME OF THE TRASH RECEPTACLE IS CONSTRUCTED WITH HEAVY DUTY GALVANIZED STEEL FLAT BAR.
FINISH: 33 GALLON COMMERCIAL GRADE STEEL LINER.
FINISH: STEEL COMPONENTS ARE ELECTROCOATED WITH ANTI-CORROSION TREATMENT, AND FINISHED WITH UV RESISTANT CANAAN 5 STEPS POWDER COATING ELECTROSTATICALLY.
INSTALLATION: DELIVERED PRE-ASSEMBLED AND SURFACE MOUNTED - HOLES ARE PRE-DRILLED IN EACH FOOT FOR SECURING TO BASE.
WEIGHT: 63.5 KG / 140 LBS.
CAPACITY: 32 GALLONS.

NOTES:

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- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4915-062.

STEEL FINISH, MODEL CAY-119

TRASH RECEPTACLE

NOT TO SCALE

3



CENTURY PRODUCTS
 1144 N. GROVE ST.
 ANAHEIM, CA 92806
 TOLL FREE: 1-800-480-8084
 PHONE: (714) 632-7083
 FAX: (714) 632-5470
 www.centuryrootbarrier.com

SPECIFICATIONS:

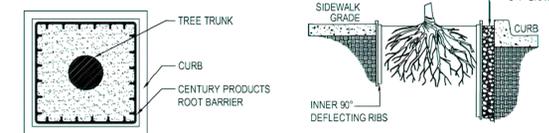
CP - SERIES: CP12-2, CP18-2, CP24-2, CP36-2 AND CP48-2, 90°
 1/2"-3/4" RIBBED SIDE INTERLOCKING CONNECTION

MATERIAL: POLYETHYLENE WITH ULTRAVIOLET INHIBITORS
 THICKNESS: .060 - .065

POLYETHYLENE	
THICKNESS	.060 - .065
PROPERTIES	ASTM TEST METHOD VALUE POLYETHYLENE COPOLYMER
TENSILE STRESS @ YIELD	D638 4100 TO 4300 PSI
ELONGATION @ BREAK	D638 40%
TENSILE MODULUS OF ELASTICITY	D638 150,000 PSI
FLEXURAL STIFFNESS	-
CANTILEVER BEAM	D747 125,000 PSI
TENSILE IMPACT	D1822 50FT. LBS/IN
ENVIRONMENTAL STRESS	-
CRACK RESISTANCE	D1693 1 HR.
HARDNESS, SHORE D	D2240 68

FEATURES

- FLEXIBLE TOP SAFETY EDGE
- VERSATILE BARRIER FOR LINEAR OR TREE WELL APPLICATIONS
- MANUFACTURED WITH 50% RECYCLED PLASTIC
- RAISED 90° ROOT DEFLECTING RIBS
- 90° 1/2"-3/4" RIBBED SIDE INTERLOCKING PANEL CONNECTION
- ADJUSTABLE ANTI-LIFT POLYETHYLENE PANELS WHICH CAN BE SEPARATED INTO 1' SECTIONS



TREE WELL APPLICATION

NOT TO SCALE

LINEAR APPLICATION

NOT TO SCALE

NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
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- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 005-003A.

ROOT BARRIER

NOT TO SCALE

4

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CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
 2009 W. Littleton Blvd. #300
 Littleton, CO 80120
 303.794.4727 ph
 www.SterlingDesignAssociates.com

DESIGNED BY: JDS
 DRAWN BY: JDS
 CHECKED BY: JDS
 DATE: 04/15/2016

LANDSCAPE DETAILS
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

PROJECT NO.

DRAWING NAME
 LANDSCAPE DETAILS

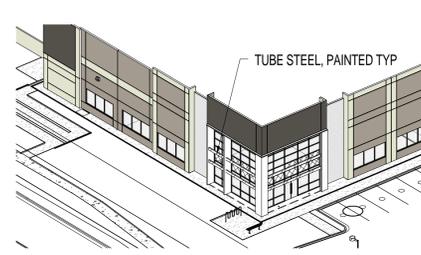
PREPARED UNDER THE DIRECT SUPERVISION OF
 JONATHAN SPENCER, LANDSCAPE ARCHITECT
 COLORADO REGISTRATION #111
 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

**CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO
LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING**

MATERIALS LEGEND

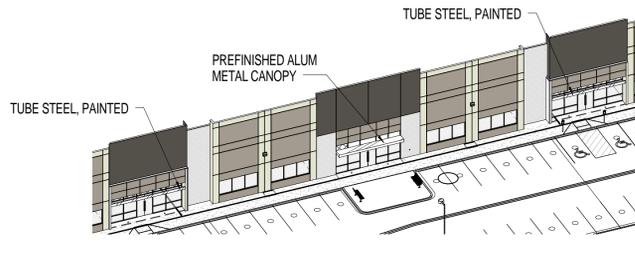
- FIELD PAINT 1 - SW7011 NATURAL CHOICE
- ACCENT PAINT 2 - SW0023 PEWTER TANKARD
- ACCENT PAINT 3 - SW7048 URBANE BRONZE
- BOARD FORMED CONCRETE
- STONE VANEER
- 1" INSULATED VISION GLASS
- 1" INSULATED SPANDREL GLASS
- PAINTED TUBE STEEL
- PREFINISHED ALUMINUM CANOPY

NOTE:
 - DOCK DOORS AND MAN DOORS PAINTED TO MATCH ADJACENT WALL COLOR
 - ALUMINUM STOREFRONT AND WINDOW FRAMES TO BE BLACK
 - TENANT SIGNAGE FOR THE BUILDING WILL NOT EXCEED 80 SF



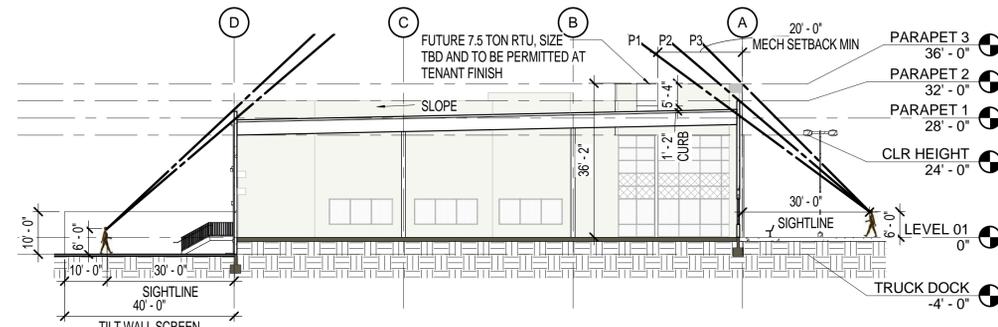
AXONOMETRIC VIEW @ CORNER ENTRIES

SCALE:



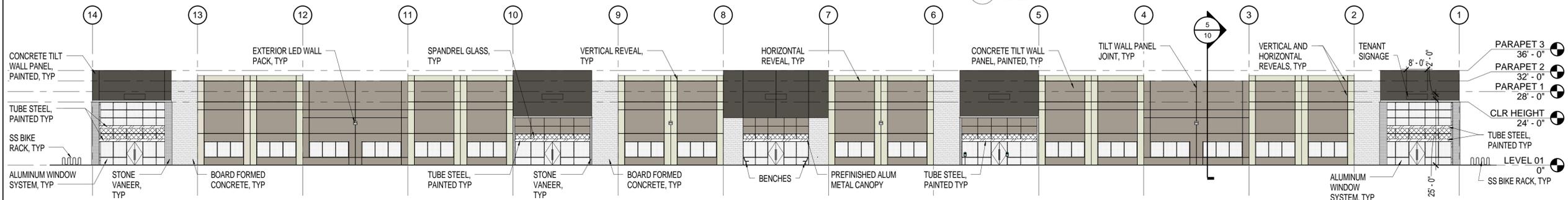
AXONOMETRIC VIEW @ CENTER ENTRIES

SCALE:



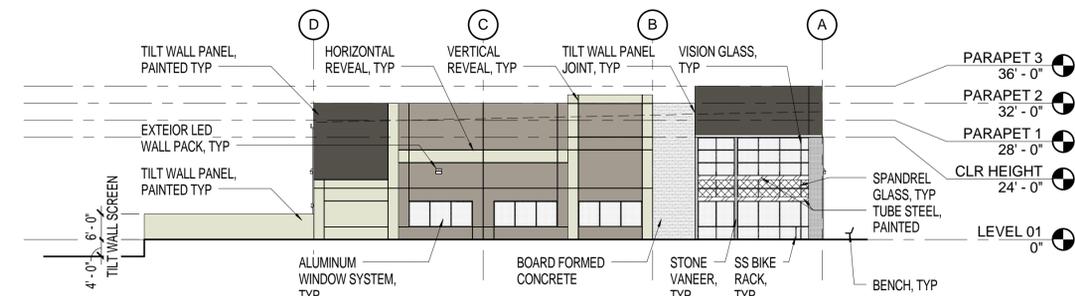
5 TRANSVERSE BUILDING SECTION

SCALE: 1" = 20'-0"



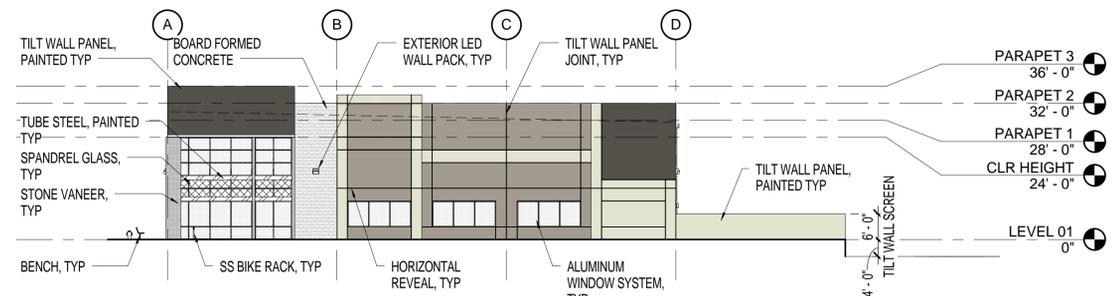
OVERALL - NORTH ELEVATION

SCALE: 1" = 20'-0"



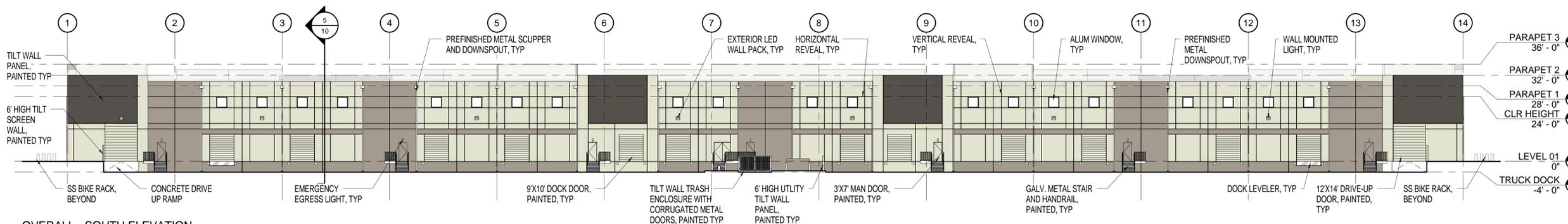
OVERALL - EAST ELEVATION

SCALE: 1" = 20'-0"



OVERALL - WEST ELEVATION

SCALE: 1" = 20'-0"



OVERALL - SOUTH ELEVATION

SCALE: 1" = 20'-0"

NO.	REVISION	BY	DATE

1580 Lincoln Street, Suite 400
 Denver, Colorado 80203
 303.225.3345
 www.powersbrown.com

powers brown architect

DESIGNED BY: LBM
 DRAWN BY: DRH
 CHECKED BY: KGC
 DATE: 04/15/2016

BUILDING ELEVATIONS
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

PRELIMINARY NOT FOR CONSTRUCTION

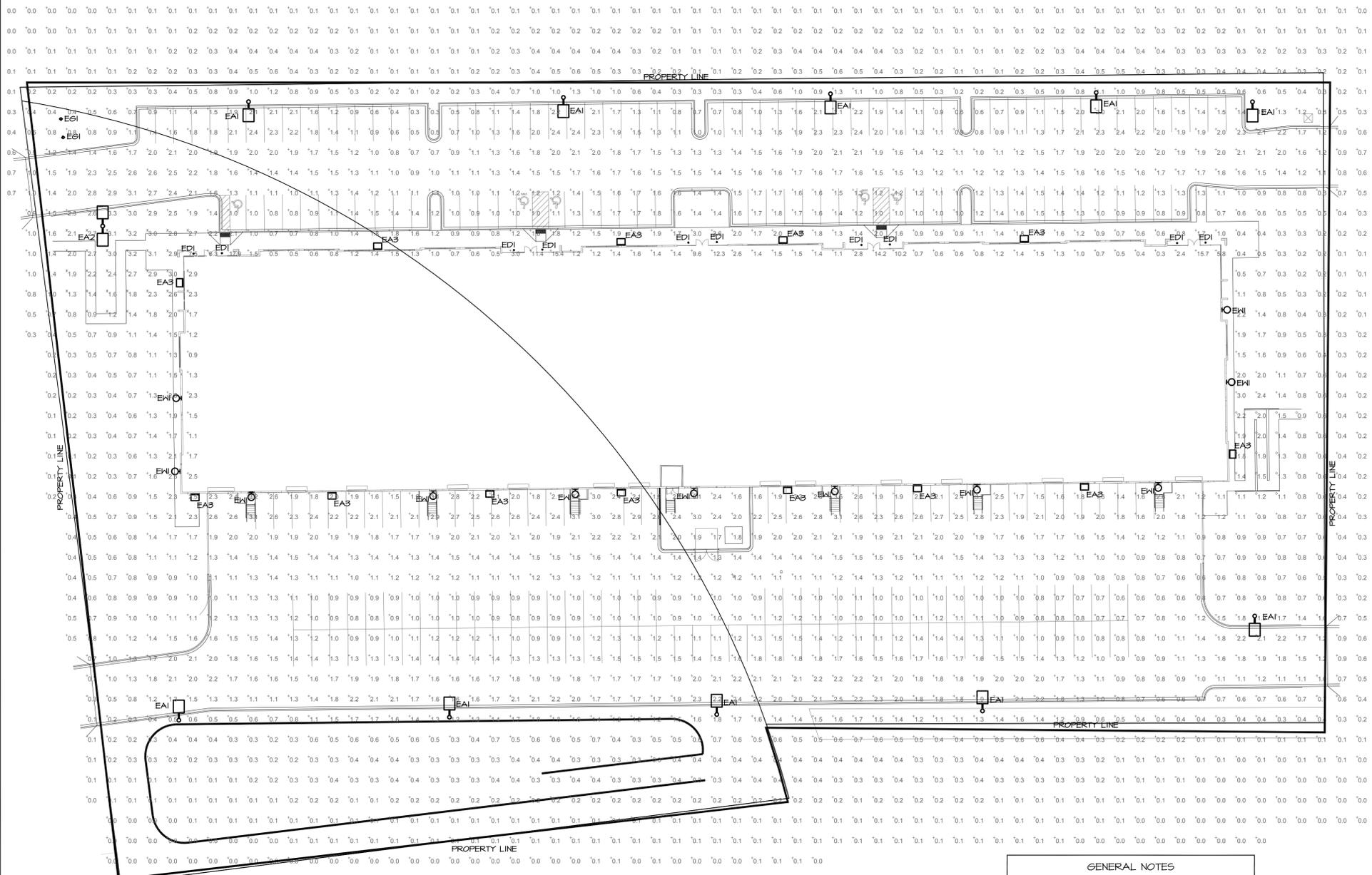
PROJECT NO. 154069

BUILDING ELEVATIONS

10

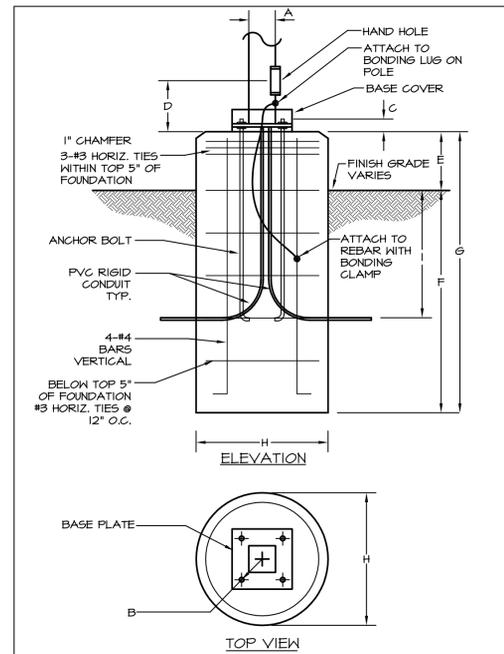
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO
 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING

A:\2028_00 - City of Louisville, CO - Buildings - 1.0 - 1.1 - 1.2 - 1.3 - 1.4 - 1.5 - 1.6 - 1.7 - 1.8 - 1.9 - 2.0 - 2.1 - 2.2 - 2.3 - 2.4 - 2.5 - 2.6 - 2.7 - 2.8 - 2.9 - 3.0 - 3.1 - 3.2 - 3.3 - 3.4 - 3.5 - 3.6 - 3.7 - 3.8 - 3.9 - 4.0 - 4.1 - 4.2 - 4.3 - 4.4 - 4.5 - 4.6 - 4.7 - 4.8 - 4.9 - 5.0 - 5.1 - 5.2 - 5.3 - 5.4 - 5.5 - 5.6 - 5.7 - 5.8 - 5.9 - 6.0 - 6.1 - 6.2 - 6.3 - 6.4 - 6.5 - 6.6 - 6.7 - 6.8 - 6.9 - 7.0 - 7.1 - 7.2 - 7.3 - 7.4 - 7.5 - 7.6 - 7.7 - 7.8 - 7.9 - 8.0 - 8.1 - 8.2 - 8.3 - 8.4 - 8.5 - 8.6 - 8.7 - 8.8 - 8.9 - 9.0 - 9.1 - 9.2 - 9.3 - 9.4 - 9.5 - 9.6 - 9.7 - 9.8 - 9.9 - 10.0 - 10.1 - 10.2 - 10.3 - 10.4 - 10.5 - 10.6 - 10.7 - 10.8 - 10.9 - 11.0 - 11.1 - 11.2 - 11.3 - 11.4 - 11.5 - 11.6 - 11.7 - 11.8 - 11.9 - 12.0 - 12.1 - 12.2 - 12.3 - 12.4 - 12.5 - 12.6 - 12.7 - 12.8 - 12.9 - 13.0 - 13.1 - 13.2 - 13.3 - 13.4 - 13.5 - 13.6 - 13.7 - 13.8 - 13.9 - 14.0 - 14.1 - 14.2 - 14.3 - 14.4 - 14.5 - 14.6 - 14.7 - 14.8 - 14.9 - 15.0 - 15.1 - 15.2 - 15.3 - 15.4 - 15.5 - 15.6 - 15.7 - 15.8 - 15.9 - 16.0 - 16.1 - 16.2 - 16.3 - 16.4 - 16.5 - 16.6 - 16.7 - 16.8 - 16.9 - 17.0 - 17.1 - 17.2 - 17.3 - 17.4 - 17.5 - 17.6 - 17.7 - 17.8 - 17.9 - 18.0 - 18.1 - 18.2 - 18.3 - 18.4 - 18.5 - 18.6 - 18.7 - 18.8 - 18.9 - 19.0 - 19.1 - 19.2 - 19.3 - 19.4 - 19.5 - 19.6 - 19.7 - 19.8 - 19.9 - 20.0 - 20.1 - 20.2 - 20.3 - 20.4 - 20.5 - 20.6 - 20.7 - 20.8 - 20.9 - 21.0 - 21.1 - 21.2 - 21.3 - 21.4 - 21.5 - 21.6 - 21.7 - 21.8 - 21.9 - 22.0 - 22.1 - 22.2 - 22.3 - 22.4 - 22.5 - 22.6 - 22.7 - 22.8 - 22.9 - 23.0 - 23.1 - 23.2 - 23.3 - 23.4 - 23.5 - 23.6 - 23.7 - 23.8 - 23.9 - 24.0 - 24.1 - 24.2 - 24.3 - 24.4 - 24.5 - 24.6 - 24.7 - 24.8 - 24.9 - 25.0 - 25.1 - 25.2 - 25.3 - 25.4 - 25.5 - 25.6 - 25.7 - 25.8 - 25.9 - 26.0 - 26.1 - 26.2 - 26.3 - 26.4 - 26.5 - 26.6 - 26.7 - 26.8 - 26.9 - 27.0 - 27.1 - 27.2 - 27.3 - 27.4 - 27.5 - 27.6 - 27.7 - 27.8 - 27.9 - 28.0 - 28.1 - 28.2 - 28.3 - 28.4 - 28.5 - 28.6 - 28.7 - 28.8 - 28.9 - 29.0 - 29.1 - 29.2 - 29.3 - 29.4 - 29.5 - 29.6 - 29.7 - 29.8 - 29.9 - 30.0 - 30.1 - 30.2 - 30.3 - 30.4 - 30.5 - 30.6 - 30.7 - 30.8 - 30.9 - 31.0 - 31.1 - 31.2 - 31.3 - 31.4 - 31.5 - 31.6 - 31.7 - 31.8 - 31.9 - 32.0 - 32.1 - 32.2 - 32.3 - 32.4 - 32.5 - 32.6 - 32.7 - 32.8 - 32.9 - 33.0 - 33.1 - 33.2 - 33.3 - 33.4 - 33.5 - 33.6 - 33.7 - 33.8 - 33.9 - 34.0 - 34.1 - 34.2 - 34.3 - 34.4 - 34.5 - 34.6 - 34.7 - 34.8 - 34.9 - 35.0 - 35.1 - 35.2 - 35.3 - 35.4 - 35.5 - 35.6 - 35.7 - 35.8 - 35.9 - 36.0 - 36.1 - 36.2 - 36.3 - 36.4 - 36.5 - 36.6 - 36.7 - 36.8 - 36.9 - 37.0 - 37.1 - 37.2 - 37.3 - 37.4 - 37.5 - 37.6 - 37.7 - 37.8 - 37.9 - 38.0 - 38.1 - 38.2 - 38.3 - 38.4 - 38.5 - 38.6 - 38.7 - 38.8 - 38.9 - 39.0 - 39.1 - 39.2 - 39.3 - 39.4 - 39.5 - 39.6 - 39.7 - 39.8 - 39.9 - 40.0 - 40.1 - 40.2 - 40.3 - 40.4 - 40.5 - 40.6 - 40.7 - 40.8 - 40.9 - 41.0 - 41.1 - 41.2 - 41.3 - 41.4 - 41.5 - 41.6 - 41.7 - 41.8 - 41.9 - 42.0 - 42.1 - 42.2 - 42.3 - 42.4 - 42.5 - 42.6 - 42.7 - 42.8 - 42.9 - 43.0 - 43.1 - 43.2 - 43.3 - 43.4 - 43.5 - 43.6 - 43.7 - 43.8 - 43.9 - 44.0 - 44.1 - 44.2 - 44.3 - 44.4 - 44.5 - 44.6 - 44.7 - 44.8 - 44.9 - 45.0 - 45.1 - 45.2 - 45.3 - 45.4 - 45.5 - 45.6 - 45.7 - 45.8 - 45.9 - 46.0 - 46.1 - 46.2 - 46.3 - 46.4 - 46.5 - 46.6 - 46.7 - 46.8 - 46.9 - 47.0 - 47.1 - 47.2 - 47.3 - 47.4 - 47.5 - 47.6 - 47.7 - 47.8 - 47.9 - 48.0 - 48.1 - 48.2 - 48.3 - 48.4 - 48.5 - 48.6 - 48.7 - 48.8 - 48.9 - 49.0 - 49.1 - 49.2 - 49.3 - 49.4 - 49.5 - 49.6 - 49.7 - 49.8 - 49.9 - 50.0 - 50.1 - 50.2 - 50.3 - 50.4 - 50.5 - 50.6 - 50.7 - 50.8 - 50.9 - 51.0 - 51.1 - 51.2 - 51.3 - 51.4 - 51.5 - 51.6 - 51.7 - 51.8 - 51.9 - 52.0 - 52.1 - 52.2 - 52.3 - 52.4 - 52.5 - 52.6 - 52.7 - 52.8 - 52.9 - 53.0 - 53.1 - 53.2 - 53.3 - 53.4 - 53.5 - 53.6 - 53.7 - 53.8 - 53.9 - 54.0 - 54.1 - 54.2 - 54.3 - 54.4 - 54.5 - 54.6 - 54.7 - 54.8 - 54.9 - 55.0 - 55.1 - 55.2 - 55.3 - 55.4 - 55.5 - 55.6 - 55.7 - 55.8 - 55.9 - 56.0 - 56.1 - 56.2 - 56.3 - 56.4 - 56.5 - 56.6 - 56.7 - 56.8 - 56.9 - 57.0 - 57.1 - 57.2 - 57.3 - 57.4 - 57.5 - 57.6 - 57.7 - 57.8 - 57.9 - 58.0 - 58.1 - 58.2 - 58.3 - 58.4 - 58.5 - 58.6 - 58.7 - 58.8 - 58.9 - 59.0 - 59.1 - 59.2 - 59.3 - 59.4 - 59.5 - 59.6 - 59.7 - 59.8 - 59.9 - 60.0 - 60.1 - 60.2 - 60.3 - 60.4 - 60.5 - 60.6 - 60.7 - 60.8 - 60.9 - 61.0 - 61.1 - 61.2 - 61.3 - 61.4 - 61.5 - 61.6 - 61.7 - 61.8 - 61.9 - 62.0 - 62.1 - 62.2 - 62.3 - 62.4 - 62.5 - 62.6 - 62.7 - 62.8 - 62.9 - 63.0 - 63.1 - 63.2 - 63.3 - 63.4 - 63.5 - 63.6 - 63.7 - 63.8 - 63.9 - 64.0 - 64.1 - 64.2 - 64.3 - 64.4 - 64.5 - 64.6 - 64.7 - 64.8 - 64.9 - 65.0 - 65.1 - 65.2 - 65.3 - 65.4 - 65.5 - 65.6 - 65.7 - 65.8 - 65.9 - 66.0 - 66.1 - 66.2 - 66.3 - 66.4 - 66.5 - 66.6 - 66.7 - 66.8 - 66.9 - 67.0 - 67.1 - 67.2 - 67.3 - 67.4 - 67.5 - 67.6 - 67.7 - 67.8 - 67.9 - 68.0 - 68.1 - 68.2 - 68.3 - 68.4 - 68.5 - 68.6 - 68.7 - 68.8 - 68.9 - 69.0 - 69.1 - 69.2 - 69.3 - 69.4 - 69.5 - 69.6 - 69.7 - 69.8 - 69.9 - 70.0 - 70.1 - 70.2 - 70.3 - 70.4 - 70.5 - 70.6 - 70.7 - 70.8 - 70.9 - 71.0 - 71.1 - 71.2 - 71.3 - 71.4 - 71.5 - 71.6 - 71.7 - 71.8 - 71.9 - 72.0 - 72.1 - 72.2 - 72.3 - 72.4 - 72.5 - 72.6 - 72.7 - 72.8 - 72.9 - 73.0 - 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87.4 - 87.5 - 87.6 - 87.7 - 87.8 - 87.9 - 88.0 - 88.1 - 88.2 - 88.3 - 88.4 - 88.5 - 88.6 - 88.7 - 88.8 - 88.9 - 89.0 - 89.1 - 89.2 - 89.3 - 89.4 - 89.5 - 89.6 - 89.7 - 89.8 - 89.9 - 90.0 - 90.1 - 90.2 - 90.3 - 90.4 - 90.5 - 90.6 - 90.7 - 90.8 - 90.9 - 91.0 - 91.1 - 91.2 - 91.3 - 91.4 - 91.5 - 91.6 - 91.7 - 91.8 - 91.9 - 92.0 - 92.1 - 92.2 - 92.3 - 92.4 - 92.5 - 92.6 - 92.7 - 92.8 - 92.9 - 93.0 - 93.1 - 93.2 - 93.3 - 93.4 - 93.5 - 93.6 - 93.7 - 93.8 - 93.9 - 94.0 - 94.1 - 94.2 - 94.3 - 94.4 - 94.5 - 94.6 - 94.7 - 94.8 - 94.9 - 95.0 - 95.1 - 95.2 - 95.3 - 95.4 - 95.5 - 95.6 - 95.7 - 95.8 - 95.9 - 96.0 - 96.1 - 96.2 - 96.3 - 96.4 - 96.5 - 96.6 - 96.7 - 96.8 - 96.9 - 97.0 - 97.1 - 97.2 - 97.3 - 97.4 - 97.5 - 97.6 - 97.7 - 97.8 - 97.9 - 98.0 - 98.1 - 98.2 - 98.3 - 98.4 - 98.5 - 98.6 - 98.7 - 98.8 - 98.9 - 99.0 - 99.1 - 99.2 - 99.3 - 99.4 - 99.5 - 99.6 - 99.7 - 99.8 - 99.9 - 100.0



1 SITE PHOTOMETRIC PLAN
 SCALE: 1" = 30'-0"

- GENERAL NOTES
- A. FIXTURE POLE HEIGHTS DO NOT EXCEED 24 FEET ON THE PROPERTY.
 - B. ALL LIGHT FIXTURES TO BE CONTROLLED VIA ASTRONOMICAL TIMELOCK WITH PHOTOCELL TO ALLOW LIGHTS TO BE TURNED 'ON' ONLY DURING NON-DAYLIGHT HOURS.
 - C. ALL LIGHT FIXTURES THAT ARE VISIBLE FROM ANY STREET RIGHT-OF-WAY OR ADJACENT PROPERTIES ARE FULL-CUTOFF AND SHIELDED TO REDUCE GLARE BEYOND THE PROPERTY LINE. ALL LAMPS DO NOT EXTEND BELOW THE HOUSING OF THE FIXTURE.



POLE KEY	OVERALL HEIGHT	A	ANCHOR BOLT DATA	D	E	F	G	H	I
EA1	24'0"	4"	PER MANUFACTURER	26"	6'0"	8'6"	24"	36"	
EA2	24'0"	4"	PER MANUFACTURER	26"	6'0"	8'6"	24"	36"	

2 POLE BASE DETAIL
 SCALE: NONE

NO.	REVISION	BY	DATE	APPR.

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 Denver, Colorado 80202
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 2007008

DESIGNED BY: AEDG
 DRAWN BY: MJH
 CHECKED BY: EDR
 DATE: 04/15/2016

SITE PHOTOMETRIC PLAN
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

PROJECT NO.
 096501000
 PHOTOMETRIC
 PLAN

CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO
 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING

A. 10/20/16.00 - Computor Files, Buildings, and OTC - Lot 6 & 10 (E)A, 10/20/16.00 - EOI, SITE PHOTOMETRIC data, E-1, Revision 4/13/2016 4:30 PM. THIS DOCUMENT TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS PREPARED FOR THE SPECIFIC PROJECT AND SITE INDICATED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP QTY	LAMP TYPE	MAX HATTS	MOUNTING LOCATION	INFORMATION BCF/RFD/OFH	NOTES
EA1	POLE MOUNTED AREA FIXTURE, LED FORWARD THROW MEDIUM 21'-6" POLE HEIGHT	LITHONIA	DSX1 LED-40C-100-50K-TFTM-MVOLT-SPA-HS-DBBX	277V	1	84	LED	84	POLE GROUND	24'-0" POLE HEIGHT
EA2	POLE MOUNTED AREA FIXTURE, LED SQUARE DISTRIBUTION 21'-6" POLE HEIGHT	KIM	DSX1 LED-40C-100-50K-TSM-MVOLT-SPA-DBBX	277V	1	84	LED	84	POLE GROUND	24'-0" POLE HEIGHT
EA3	WALL MOUNTED AREA FIXTURE, LED, TYPE 3 MEDIUM	LITHONIA	DSX1 LED-40C-100-50K-TSM-MVOLT-SPA-DBBX	277V	1	104	LED	104	SURFACE WALL	24' BOF
EA4	BUILDING MOUNTED EXTERIOR HALL SCIENCE EM, LED	LITHONIA	HS1 LED-10A100/40K-SRS-MVOLT-ELGN-DBBX	277V	1	47	LED	47	SURFACE WALL	10' BOF
ED1	RECESSED DOWNLIGHT, LENSED, LED	LITHONIA	REAL6C D6-AZ-ESL-1500L-35K-655C-2T1-LP6LN-FFM4	277V	1	10.8	LED	10.8	RECESSED CEILING	
ED1EM	RECESSED DOWNLIGHT, LENSED, LED, EM BATTERY	LITHONIA	REAL6C D6-AZ-ESL-1500L-35K-655C-2T1-LP6LN-FFM4-ELR	277V	1	10.8	LED	10.8	RECESSED CEILING	
EG1	GRADE MONUMENT SIGN LIGHT	LITHONIA	DSX1F1 LED-1A350/40K-HMF-2T1-1TK-UBV-DBLX	277V	1	14	LED	14	SURFACE GROUND	

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT

GENERAL NOTES:

A. ALL FLUORESCENT LAMPS TO BE 3500K COLOR TEMPERATURE AND A MINIMUM OF 82CRI, UNLESS NOTED OTHERWISE.

B. ALL REFLECTOR LAMPS TO BE PROVIDED AS WIDE FLOOD DISTRIBUTION, UNLESS NOTED OTHERWISE.

C. ALL FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL HAVE A DISCONNECTING MEANS AS DESCRIBED IN NEC 410.10(B)(6).

Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc Zone #1	+	1.0 fc	17.9 fc	0.0 fc	N/A	N/A	0.1:1
NORTHWEST SIDEWALK	X	2.4 fc	7.5 fc	0.8 fc	9.4:1	3.0:1	0.3:1
SOUTHEAST SIDEWALK	◇	1.4 fc	2.2 fc	0.8 fc	2.8:1	1.8:1	0.6:1

EA1, EA2

D-Series Size 1 LED Area Luminaire

Specifications

EPA: 1.2 ft² (0.11 m²)
 Length: 13" (330 mm)
 Width: 13" (330 mm)
 Height: 7.1/2" (188 mm)
 Weight: 27 lbs (12 kg)

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100 - 400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED 60C 1000 40K TSM MVOLT SPA DBBX

Series	Light Engine	Performance Package	Substrate	Voltage	Mounting	Options	Finish
DSX1 LED	1	DSX1	1000	40K	TSM	MVOLT SPA	DBBX

Accessories

DSX1F1 LED 1A350/40K-HMF-2T1-1TK-UBV-DBLX

Notes

1. MOUNT above roadway on any pole height from 10'-0" to 20'-0". Specify 10A, 20A or 27T roadway option.

2. Available with 10'-0" to 20'-0" pole height. Specify 10A, 20A or 27T roadway option.

3. Pole height is a required option. See the accessories table.

4. Photometric P70 includes 10', 20', 24' or 27' pole options. Not available with roadway lighting option.

5. Pole height is a required option. See the accessories table.

6. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

7. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

8. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

9. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

10. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

EA3

D-Series Size 2 LED Wall Luminaire

Specifications

Width: 18-1/2" (468 mm)
 Depth: 10" (254 mm)
 Height: 7-5/8" (193 mm)

Back Box (BBW)

Width: 5-1/2" (140 mm)
 Depth: 1-1/2" (38 mm)
 Height: 4" (102 mm)

Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 15% in energy savings over comparable 400W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K TSM MVOLT SPA DBBX

Series	Light Engine	Performance Package	Substrate	Voltage	Mounting	Options	Finish
DSXW2 LED	1	DSXW2	30C	700	40K	TSM	MVOLT SPA

Accessories

DSXW2 LED 30C 700 40K TSM MVOLT SPA DBBX

Notes

1. MOUNT above roadway on any pole height from 10'-0" to 20'-0". Specify 10A, 20A or 27T roadway option.

2. Available with 10'-0" to 20'-0" pole height. Specify 10A, 20A or 27T roadway option.

3. Pole height is a required option. See the accessories table.

4. Photometric P70 includes 10', 20', 24' or 27' pole options. Not available with roadway lighting option.

5. Pole height is a required option. See the accessories table.

6. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

7. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

8. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

9. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

10. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

EG1

D-Series Size 1 LED Flood Luminaire

Specifications

EPA: 6.6 ft² (0.61 m²)
 Depth: 31-3/8" (800 mm)
 Width: 6-7/8" (173 mm)
 Height: 2-3/4" (69 mm)
 Overall Height: 12" (305 mm)
 Weight: 7.2 lbs (3.3 kg)

Introduction

The D-Series Size 1 Flood features precision optics to beautifully illuminate a variety of applications while its sleek, compact styling blends seamlessly with its environment. The D-Series Flood reflector systems and cutting-edge chip-on-board LED technology produce low beam-to-beam ratios for minimal spill light and incredible photometric performance. It's the ideal long-life replacement for 50 - 150W metal halide floods, with typical energy savings of 72% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1F1 LED 2 A350/40K MSP MVOLT THK DBBX

Series	Light Engine	Performance Package	Substrate	Voltage	Mounting	Options	Finish
DSX1F1 LED	1	DSX1F1	A350	40K	MSP	MVOLT THK	DBBX

Accessories

DSX1F1 LED 2 A350/40K MSP MVOLT THK DBBX

Notes

1. MOUNT above roadway on any pole height from 10'-0" to 20'-0". Specify 10A, 20A or 27T roadway option.

2. Available with 10'-0" to 20'-0" pole height. Specify 10A, 20A or 27T roadway option.

3. Pole height is a required option. See the accessories table.

4. Photometric P70 includes 10', 20', 24' or 27' pole options. Not available with roadway lighting option.

5. Pole height is a required option. See the accessories table.

6. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

7. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

8. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

9. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

10. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

ED1, ED1EM

WST LED Architectural Wall Sconce

Specifications

Height: 7-1/8" (183 mm)
 Width: 10-1/4" (263 mm)
 Depth: 9-1/8" (233 mm)
 Weight: 1.2 lbs (0.54 kg)

Optional Back Box (BBW)

Height: 4" (102 mm)
 Width: 5-1/2" (140 mm)
 Depth: 1-1/2" (38 mm)

Introduction

The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery back option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity. The WST LED is ideal for replacing existing 50 - 175W metal halide wall mounted products. The expected service life is 20+ years of nighttime use.

Ordering Information

EXAMPLE: WST LED 2 10A700/40K SRS MVOLT DBBX

Series	Light Engine	Performance Package	Substrate	Voltage	Mounting	Options	Finish
WST LED	1	DSXW2	10A	700	40K	SRS	MVOLT DBBX

Accessories

WST LED 2 10A700/40K SRS MVOLT DBBX

Notes

1. MOUNT above roadway on any pole height from 10'-0" to 20'-0". Specify 10A, 20A or 27T roadway option.

2. Available with 10'-0" to 20'-0" pole height. Specify 10A, 20A or 27T roadway option.

3. Pole height is a required option. See the accessories table.

4. Photometric P70 includes 10', 20', 24' or 27' pole options. Not available with roadway lighting option.

5. Pole height is a required option. See the accessories table.

6. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

7. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

8. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

9. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

10. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

EW1

WST LED Architectural Wall Sconce

Specifications

Height: 7-1/8" (183 mm)
 Width: 10-1/4" (263 mm)
 Depth: 9-1/8" (233 mm)
 Weight: 1.2 lbs (0.54 kg)

Optional Back Box (BBW)

Height: 4" (102 mm)
 Width: 5-1/2" (140 mm)
 Depth: 1-1/2" (38 mm)

Introduction

The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery back option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity. The WST LED is ideal for replacing existing 50 - 175W metal halide wall mounted products. The expected service life is 20+ years of nighttime use.

Ordering Information

EXAMPLE: WST LED 2 10A700/40K SRS MVOLT DBBX

Series	Light Engine	Performance Package	Substrate	Voltage	Mounting	Options	Finish
WST LED	1	DSXW2	10A	700	40K	SRS	MVOLT DBBX

Accessories

WST LED 2 10A700/40K SRS MVOLT DBBX

Notes

1. MOUNT above roadway on any pole height from 10'-0" to 20'-0". Specify 10A, 20A or 27T roadway option.

2. Available with 10'-0" to 20'-0" pole height. Specify 10A, 20A or 27T roadway option.

3. Pole height is a required option. See the accessories table.

4. Photometric P70 includes 10', 20', 24' or 27' pole options. Not available with roadway lighting option.

5. Pole height is a required option. See the accessories table.

6. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

7. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

8. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

9. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

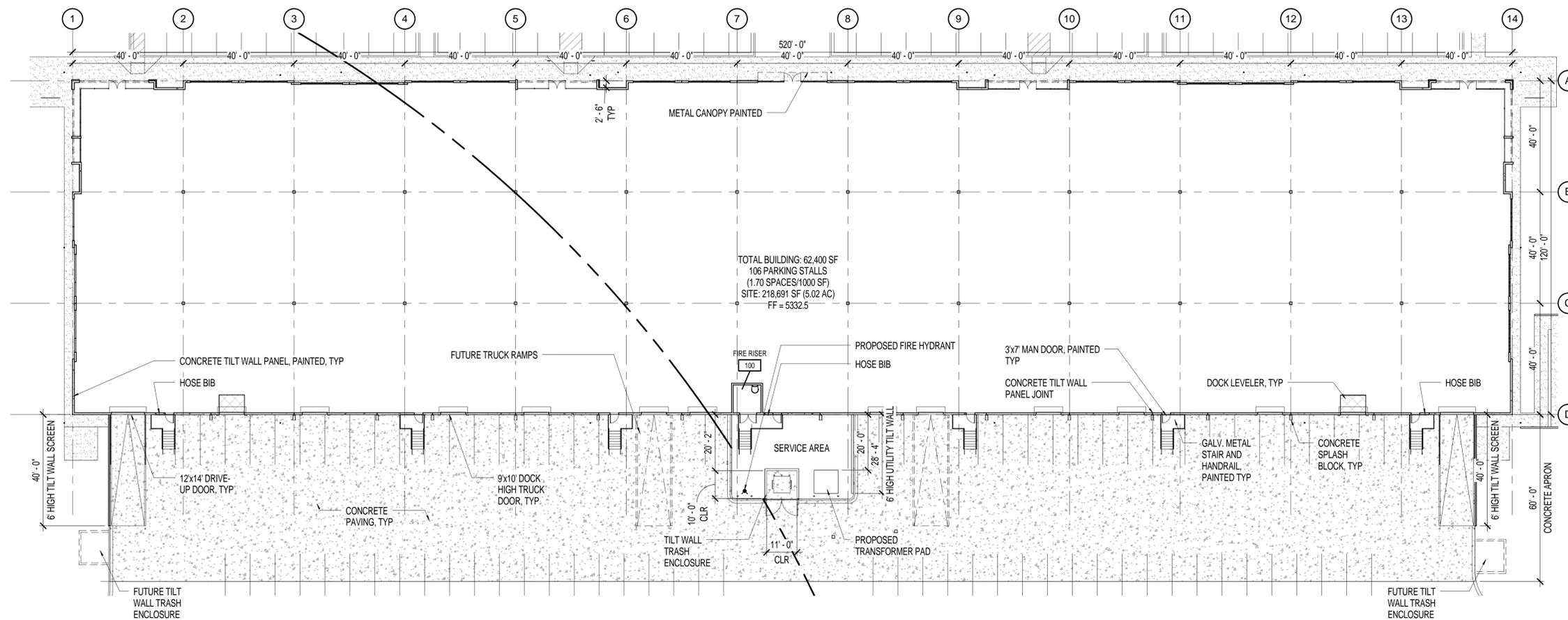
10. Specify the luminaire height (10', 20', 24' or 27') and pole height (10', 20', 24' or 27').

PHOTOMETRIC/LIGHTING DETAILS
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO
 PROJECT NO. 096501000
 PHOTOMETRIC/LIGHTING DETAILS
 12

1900 Wazee Street, Suite 4350
 Denver, Colorado 80202
 303.296.3034 VOICE
 303.296.3035 FAX
 www.aedg.com
 www.aedgdesign-inc.com
 ARCHITECTURAL ENGINEERING
 DESIGN GROUP, INC.
 7400 PMP

DESIGNED BY: AEDG
 DRAWN BY: M.H
 CHECKED BY: EDR
 DATE: 04/15/2016

CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO
 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING



TOTAL BUILDING: 62,400 SF
 106 PARKING STALLS
 (1.70 SPACES/1000 SF)
 SITE: 218,691 SF (5.02 AC)
 FF = 5332.5

1580 Lincoln Street, Suite 400
 Denver, Colorado 80203
 303.225.3345
 www.powersbrown.com

powers brown architecture

DESIGNED BY: LBM
 DRAWN BY: DRH
 CHECKED BY: KGC
 DATE: 04/15/2016

FLOOR PLAN
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NO. 154069

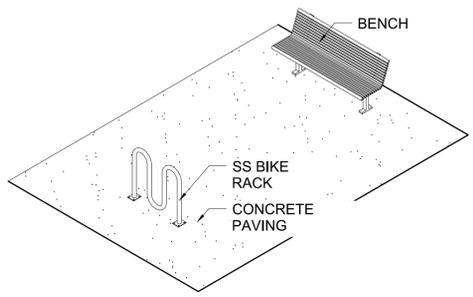
FLOOR PLAN

13



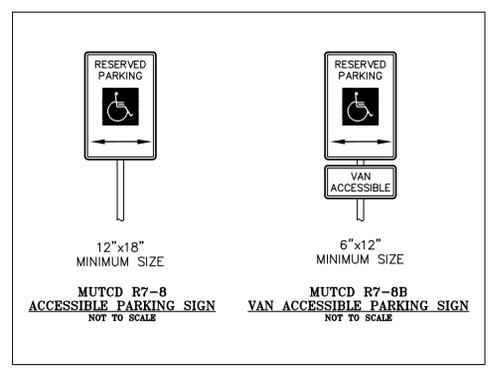
FLOOR PLAN
 SCALE: 3/8" = 1'-0"

CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO
 LOTS 6 AND 10, BLOCK 3 - COLORADO TECHNOLOGICAL CENTER FIRST FILING

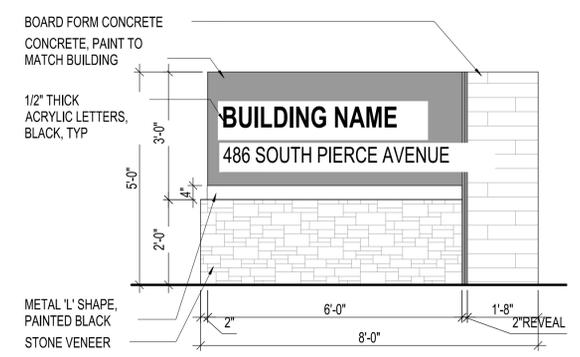


BIKE RACK AND BENCH PERSPECTIVE

SCALE:

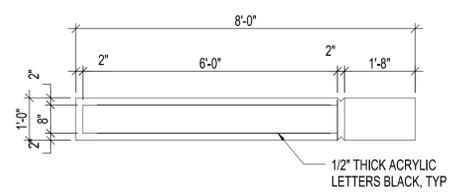


SIGN LEGEND
NOT TO SCALE



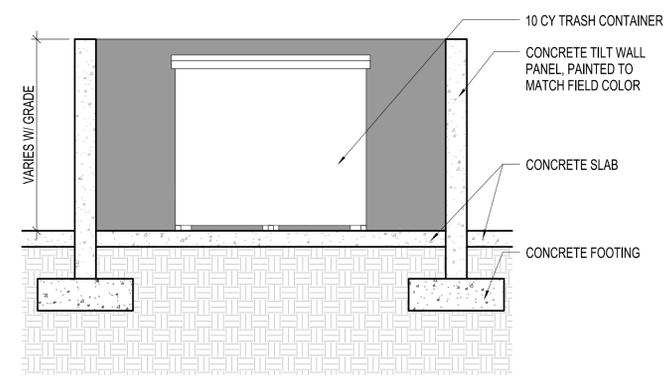
MONUMENTAL SIGN ELEVATION

SCALE: 1/2" = 1'-0"



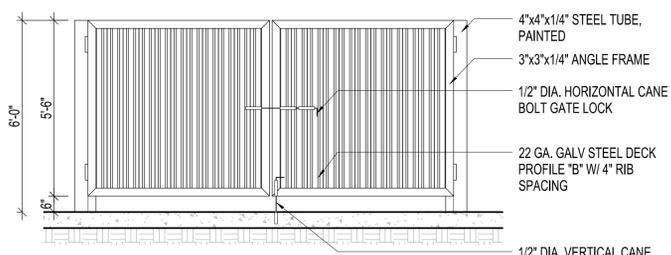
MONUMENT SIGN PLAN

SCALE: 1/2" = 1'-0"



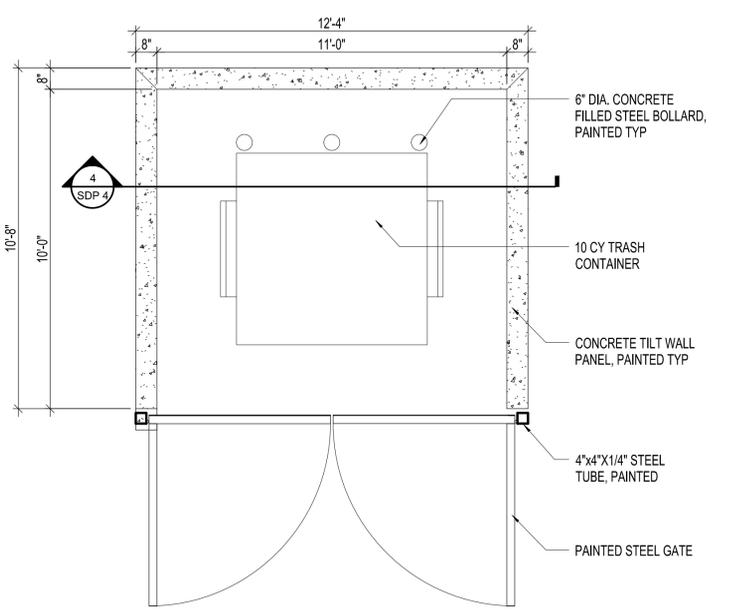
TRASH ENCLOSURE SECTION

SCALE: 3/8" = 1'-0"



TRASH ENCLOSURE ELEVATION

SCALE: 3/8" = 1'-0"

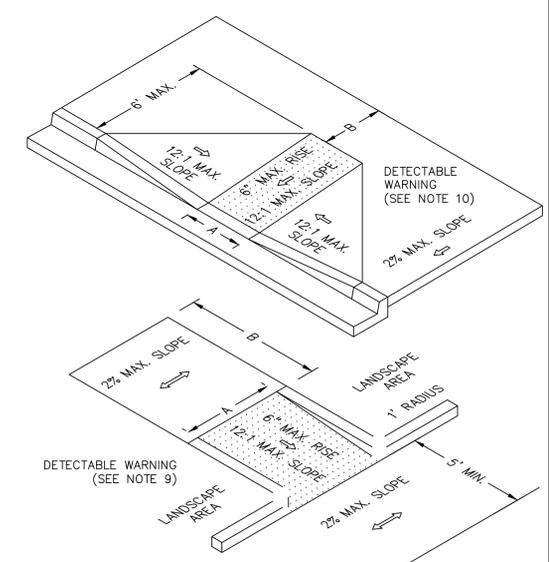


TRASH ENCLOSURE PLAN

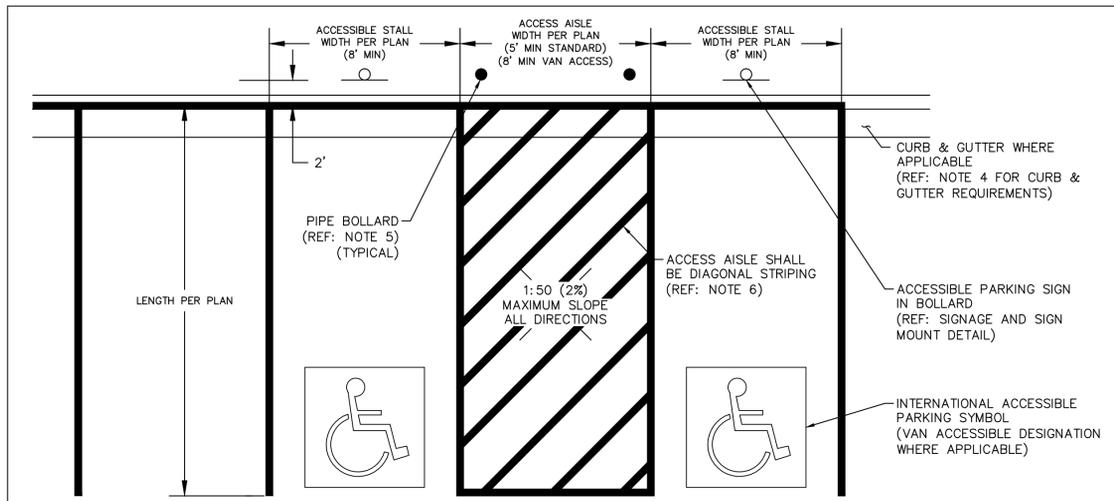
SCALE: 3/8" = 1'-0"

RAMP LOCATION	MINIMUM DIMENSION	
	A	B
AT OUTSWING DOOR	44"	60"
AT INSWING/SLIDING DOOR	44"	48"
NO DOORWAY	36"	36"

- NOTES:**
- ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH THE LOCAL BUILDING CODE.
 - ACCESSIBLE ROUTE TO ACCESSIBLE SPACES, BUILDING ENTRANCES, AND PUBLIC STREETS SHALL NOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE.
 - CHANGE IN ELEVATION WITHIN THE ACCESSIBLE ROUTE IS NOT TO EXCEED 1/2" WITHOUT A CURB RAMP.
 - UNLESS OTHERWISE SHOWN ON THE PLANS, THE MINIMUM CLEAR ROUTE SHALL BE 36" WIDE WITH A 60"x60" PASSING SPACE EVERY 200 FEET.
 - ACCESSIBLE ROUTES THROUGH PLANTERS SHALL BE LEVEL WITH THE SURROUNDING PAVEMENT OR PROVIDE CURB RAMP AT EACH END WITH A MINIMUM 48" LEVEL LANDING IN BETWEEN.
 - THE ACCESSIBLE ROUTE IN FRONT OF PULL-IN PARKING SHALL BE A MINIMUM OF 44" WIDE AND NOT REDUCED BY VEHICLE OVERHANGS, CURBING, SIGN POSTS, OR OTHER OBSTRUCTIONS.
 - ANY WALK THAT CROSSES OR ADJOINS A VEHICULAR WAY NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS SHALL BE DEFINED BY A CONTINUOUS 36" WIDE DETECTABLE WARNING.
 - CURB RAMP SHALL HAVE A DETECTABLE WARNING EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP.
 - DETECTABLE WARNINGS SHALL CONSIST OF CAST IRON PLATES FROM NEENAH FOUNDRY. VERIFY LOCAL REQUIREMENTS WITH THE BUILDING DEPARTMENT.



ACCESSIBLE RAMP DETAIL
NOT TO SCALE



NOTES

- EACH ACCESSIBLE PARKING SPACE IS TO BE A MINIMUM OF 8 FEET WIDE AND HAVE A 96" MINIMUM ACCESS AISLE FOR VANS OR 60" ACCESS AISLE FOR CARS ADJACENT TO THE SPACE.
- CONSTRUCTED SLOPES WITHIN THE ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1:50 (2%) IN ANY DIRECTION.
- RAMP MUST NOT EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE OF ANY ACCESSIBLE PARKING SPACE.
- CURB AND GUTTER ADJACENT TO OR WITHIN ACCESSIBLE PARKING STALLS SHALL BE MODIFIED IN A MANNER THAT THE SLOPE CONSTRUCTED WITHIN THE GUTTER PAN SHALL NOT EXCEED 1:50 OR (2%) SLOPE IN ALL DIRECTIONS.
- PIPE BOLLARDS SHALL BE INSTALLED WITHIN ACCESS AISLE AND ADJACENT STALLS PER PIPE BOLLARD DETAIL. MINIMUM CLEARANCE BETWEEN BOLLARDS SHALL BE 36". MAXIMUM CLEARANCE BETWEEN BOLLARDS SHALL BE 60".
- SURFACE STRIPING PAINT SHALL BE FS-TT-P-1952D (WATERBORNE), TYPE II ADVERSE CONDITIONS, COLOR: HIGHWAY YELLOW OR AS REQUIRED BY LOCAL CODES.

ACCESSIBLE PARKING DETAIL
NOT TO SCALE

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 © 2016 KIMLEY-HORN AND ASSOCIATES, INC.
 4552 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: SC
 CHECKED BY: DS
 DATE: 04/15/2016

DETAILS
 COLORADO TECHNOLOGICAL CENTER LOTS 6 & 10
 LOUISVILLE, COLORADO

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

PROJECT NO.
 096501000
 DRAWING NAME
 DETAILS

K:\DEN_Civil\096501000_Louisville - Lots 6 & 10\CAD\Drawings\Site\PLANS\PLANS.dwg Cassidy, Shomo 4/13/2016 7:31 AM
 THIS DOCUMENT IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC.



ITEM: Case #16-005-FP/FS, 305 S Arthur PUD

PLANNER: Lauren Trice, Planner I

APPLICANT: Etkin Johnson Real Estate Partners
Liz Cox
1512 Larimer Street, Suite 100
Denver, CO 80202

OWNER: same

REPRESENTATIVE: same

EXISTING ZONING: Planned Community Zone District – Industrial (PCZD-I)

LOCATION: Lot 1, Business Center at CTC

TOTAL SITE AREA: 105,759 square feet (2.38 acres)

REQUEST: Approval of Resolution No. 12, Series 2016, a resolution recommending approval of a final Planned Unit Development (PUD) for a 17,940 SF single story industrial flex building with associated site improvements on Lot 1 of the Business Center at CTC.

VICINITY MAP:



PROPOSAL:

The applicant, Etkin Johnson Real Estate Partners, is requesting approval of a final Planned Unit Development (PUD) to allow for the construction of a 17,940 square foot industrial flex building. The site is located in the Colorado Technology Center (CTC) between South Arthur Avenue and 96th Street, on Lot 1 of the Business Center at CTC subdivision. The property is zoned Planned Community Zone District - Industrial (PCZD-I) and is subject to the Industrial Development Design Standards and Guidelines (IDDSG). The property is within the Business Center at CTC General Development Plan.



Future Road

The application includes dedication of right-of-way for a portion of a future road connecting 96th Street to S. Arthur Avenue. The feasibility of this connection was studied in a CTC Connectivity Study developed by Fox Tuttle Transportation Group in 2013. The proposed right-of-way designation in this application follows Alternative 2, the study’s recommended road alignment.



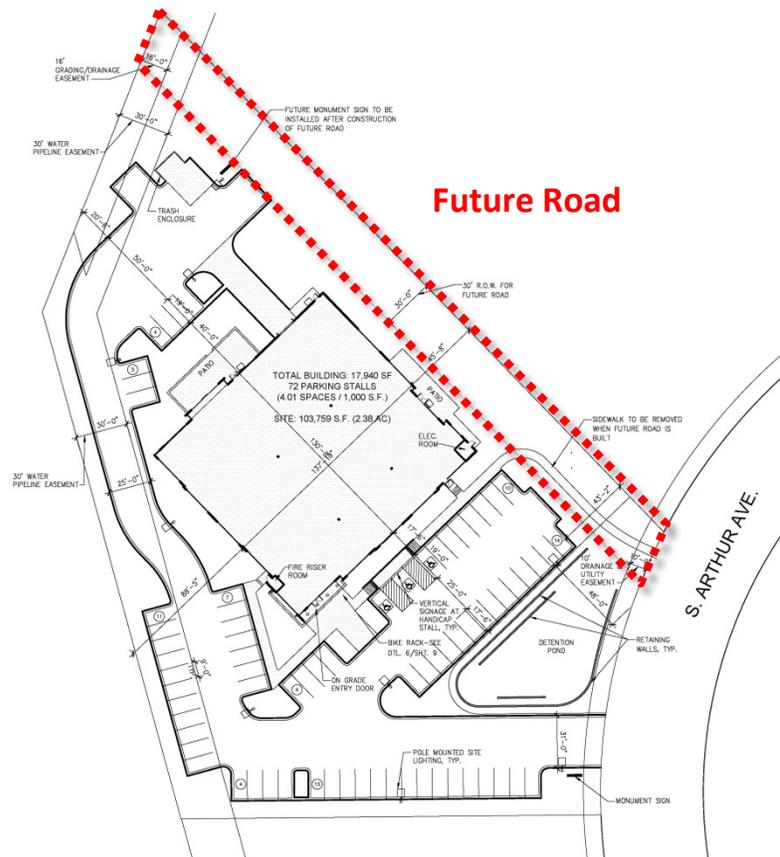
CTC Connectivity Study

The dedication of the right-of-way would be conveyed through a deed of trust to the City. City staff has spoken to the adjacent property owner regarding the completion of the road. There is no approved final design for the future connecting road.

Site Plan

The proposed site plan's lot coverage and setbacks meet the requirements of the IDDSG. The proposed building foot print, parking, and driveways, if approved, would cover 54.3% of the site. When the future road is constructed the lot coverage would increase to 66.8%. The IDDSG allows a maximum 75% lot coverage. The remainder of the site would be pedestrian plazas, landscaped setback areas, and landscaped drainage facilities.

The proposed building would be oriented towards South Arthur Avenue with the majority of surface parking on the southern side of the site. A secondary entrance is located on the east side of the property along the dedicated right-of-way for a future road. The loading dock and trash enclosure are located on the north side of the site.



The trash enclosures would be screened with a concrete wall. The loading dock and trash enclosure would be screened from the future road with landscaping. The applicant is requesting a waiver to the side yard setback. The IDDSG calls for a 30 foot minimum setback from a local public street. The current plan has a setback of 45 feet including the dedicated right-of-way. The side yard setback with the future road would be reduced to 15 feet to the property line.

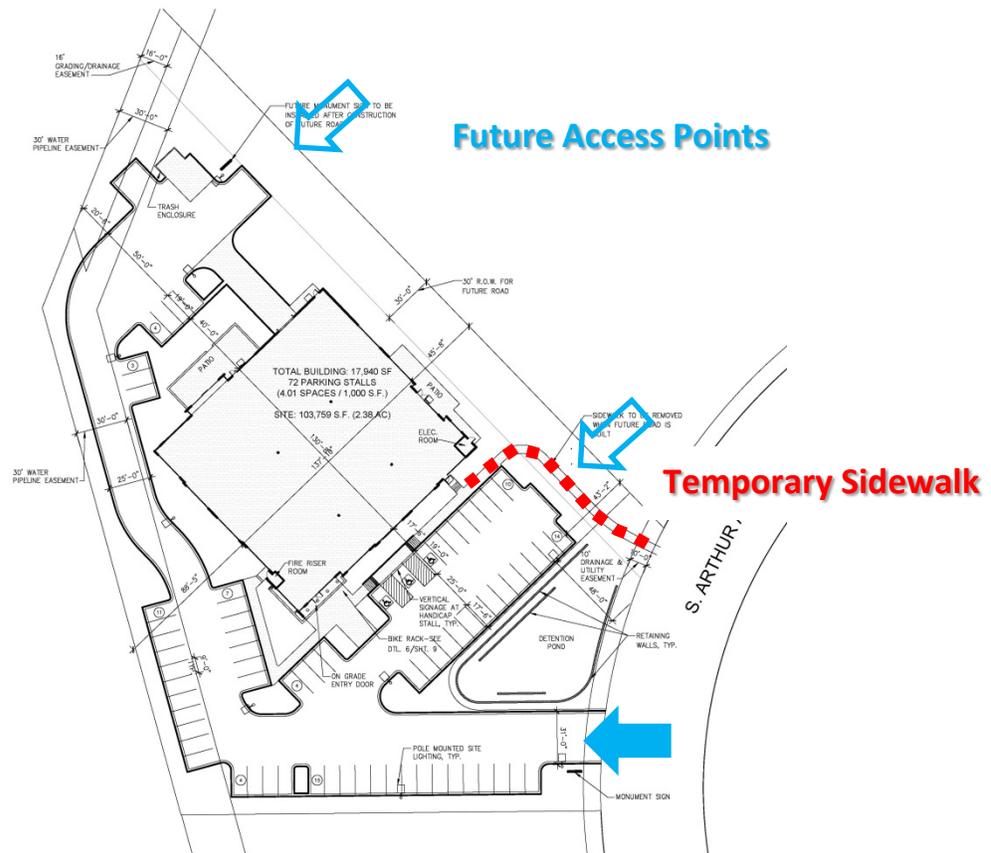
Parking

The applicant is proposing 72 parking spaces. The IDDSG requires a minimum parking ratio of 4.0 parking spaces per 1,000 square feet of floor area, meeting the IDDSG requirements for office. The parking spaces include 3 accessible spaces.

The applicant is proposing four bicycle parking spaces. This meets the IDDSG requirement of 1 bike parking space per 20 off-street automobile parking spaces.

Vehicular and Pedestrian Circulation

There is one proposed vehicular access point to the site. Vehicles will use this entrance to access the north side of the property, including the loading dock. Two additional access points will be added on the east side of the property when the future road is complete.



The site plan includes internal sidewalks to provide access from the parking areas to the building entrances. There is an existing sidewalk along S. Arthur Avenue. The proposal includes connections from the internal walks to the existing sidewalk. The proposed sidewalk located in the future right of way would be reconfigured when the road is constructed. Benches would be provided near the main entrances, and employee break areas are proposed along the north and east sides of the building.

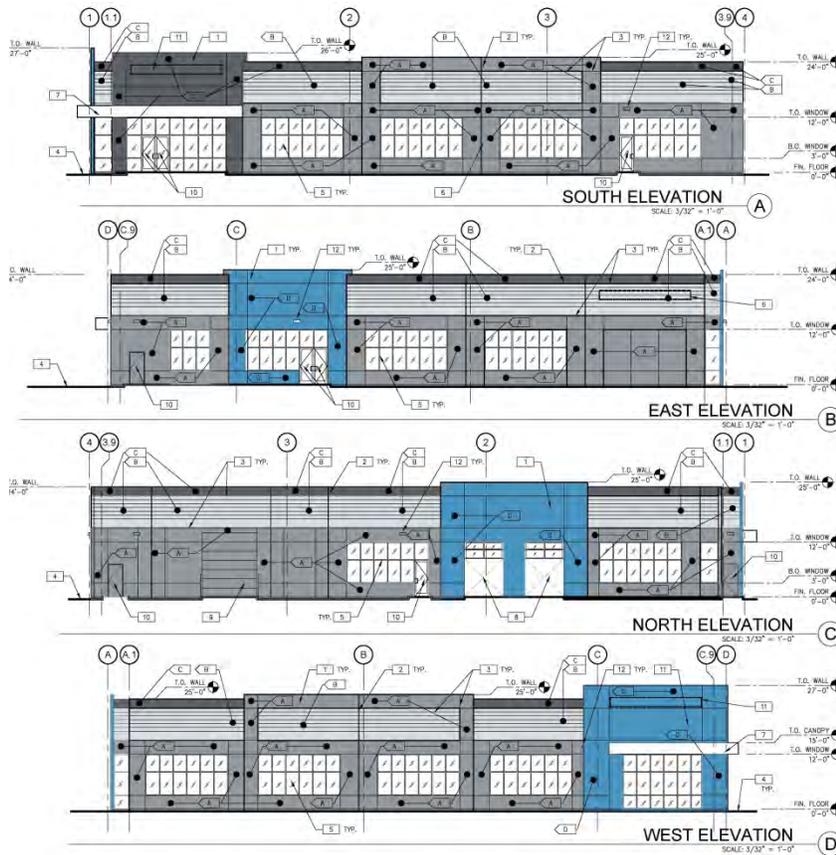
Architecture

The majority of the proposed building would be constructed with concrete tilt up panels incorporating aluminum storefront windows. The building would be a range of grays with blue accents.

A varied roof line between 24 and 27 feet is proposed for the building. The proposed building height of 27 feet is well below the maximum permitted height of 40 feet found in the IDDSG. All roof mounted mechanical equipment would be setback a minimum of 20 feet from the building parapet, and would be painted to match the dominant color of the building.

The main entrance on the southern corner would be accented with a parapet (27 feet) and blue panels. The southern corner would have a horizontal steel canopy overhanging the main entrance. The entrance along the east elevation, along the future road, is also accented in blue. There is an additional blue accent along the north

elevation which includes glass garage doors leading to the patio. The north elevation also includes a secondary entrance and loading dock.



Landscape Plan, Drainage and Retaining Walls

Landscaping is proposed to screen the parking lot and the loading areas from public view point and provide a buffer between adjacent land uses. The proposed landscaping complies with the IDDSG.

The drainage needs for the site would be served by a detention pond on the southeastern corner of the site. The perimeter of the detention pond would be landscaped with trees and shrubs. The loading dock and trash enclosure will be screened from the view of the future road. The dedicated right-of-way will be seeded until the future road is put in place.

Signs

The applicant is requesting two monument signs, one at the main entrance to S. Arthur Avenue and one to be put in place along the future road. The second monument sign would not be constructed until the road is complete. The IDDSG only allows one monument sign. Therefore, the second monument sign does not comply with the IDDSG and would require a waiver.

The applicant is proposing three surface-mounted signs elevations totally 120 SF of signage. The surface-mounted sign along the future road would not be installed until the future road is constructed. The number and square footage of these signs does not comply with the IDDSG. When there is more than one sign proposed per street frontage, the IDDSG limits surface mounted signs to a 24 character height maximum. In addition, each sign is not to exceed 15 SF with a total of 80 SF per building. The applicant is requesting a waiver for an additional surface mounted sign, 40 additional square feet of signage, and all surface-mounted signs will have a maximum character height of 24 inches.

Lighting

The applicant has submitted a lighting plan which includes wall lights on the building and pole lighting in the parking lot. The parking lot light poles cannot exceed 24 feet in height per the requirements of the IDDSG. The proposed lighting standards meet the specifications of the IDDSG.

ANALYSIS:

The applicant is requesting the following waivers:

1. An additional monument sign along the future road to be installed after the road is constructed.
2. Three surface mounted signs, where one per street frontage is allowed, totaling 120 SF, where 80 SF is allowed, with a maximum character height of 24 inches, where 18 inches is allowed.
3. A decrease in the side-yard setback from a local public street from 30 feet to 15 feet when the future road is constructed.

LMC Section 17.28.110 allows for variances from the IDDSG requirements if additional public amenities are provided. Staff finds that the requested sign waivers have a minimal impact on building and site design and meet the spirit and intent of the development plan criteria and IDDSG. In addition, considering the dedication of the right-of-way, additional landscaping, and that the overall design of the building to exceed the requirements of the IDDSG, staff supports the additional monument sign and reduced side-yard setback.

STAFF RECOMMENDATION

Staff recommends Planning Commission recommend approval of Resolution No. 12, Series 2016, a resolution recommending approval of a final Planned Unit Development (PUD) for a 17,940 SF single story industrial flex building with associated site improvements on Lot 1 of the Business Center at CTC with the following conditions:

1. The applicant shall continue to work with Public Works Department on the items listed in the May 6, 2016 memo. Each item shall be completed prior to recordation.
2. The applicant shall continue to work with the Parks Department on the items listed in the April 29, 2016.
3. The applicant shall clarify the location of the proposed surface mounted signs within the PUD application.

The Planning Commission may approve (with or without conditions), continue, or deny the applicant's request for Final Planned Unit Development approval.

ATTACHMENT(S):

1. Resolution No. 12, Series 2016
2. Application documents
3. Final PUD
4. Parks April 29, 2016 Memo
5. Public Works May 6, 2016 Memo
6. CTC Connectivity Study, 2013

**RESOLUTION NO. 12
SERIES 2016**

A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLANNED UNIT DEVELOPMENT (PUD) FOR A 17,940 SF SINGLE STORY INDUSTRIAL FLEX BUILDING WITH ASSOCIATED SITE IMPROVEMENTS ON LOT 1 OF THE BUSINESS CENTER AT CTC.

WHEREAS, there has been submitted to the Louisville Planning Commission an application for approval of a final Planned Unit Development (PUD) for a 17,940 SF single story industrial flex building with associated site improvements on Lot 1 of the Business Center at CTC; and

WHEREAS, the City Staff has reviewed the information submitted and found that, subject to conditions, the application complies with the Louisville zoning and subdivision regulations and other applicable sections of the Louisville Municipal Code; and;

WHEREAS, after a duly noticed public hearing on May 12, 2016, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated May 12, 2016, the Planning Commission finds the PUD for Lot 1 of the Business Center at CTC should be approved with the following conditions:

1. The applicant shall continue to work with Public Works Department on the items listed in the May 6, 2016 memo. Each item shall be completed prior to recordation.
2. The applicant shall continue to work with the Parks Department on the items listed in the April 29, 2016.
3. The applicant shall clarify the location of the proposed surface mounted signs within the proposed PUD application.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a final Planned Unit Development (PUD) for a 17,940 SF single story industrial flex building with associated site improvements on Lot 1 of the Business Center at CTC with the following conditions:

1. The applicant shall continue to work with Public Works Department on the items listed in the May 6, 2016 memo. Each item shall be completed prior to recordation.
2. The applicant shall continue to work with the Parks Department on the items listed in the April 29, 2016.
3. The applicant shall clarify the location of the proposed surface mounted signs within the PUD application.

PASSED AND ADOPTED this 12th day of May, 2016.

By: _____
Chris Pritchard, Chairman
Planning Commission

Attest: _____
Ann O'Connell, Secretary
Planning Commission

LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: Etkin Johnson Real Estate Partners
 Contact: LIZ COX
 Address: 1512 Larimer Street, Suite 100
Denver, CO 80202
 Mailing Address: SAME
 Telephone: (303) 223-0482 office
 Fax: (303) 319-8756 cell
 Email: LCOX@etkinjohnson.com

OWNER INFORMATION

Firm: EJ 305 South Arthur LLC
 Contact: LIZ COX
 Address: 1512 Larimer Street, Suite 100
Denver, CO 80202
 Mailing Address: SAME
 Telephone: (303) 223-0482 office
 Fax: (303) 319-8756 cell
 Email: LCOX@etkinjohnson.com

REPRESENTATIVE INFORMATION

Firm: Etkin Johnson Real Estate Partners
 Contact: LIZ COX
 Address: 1512 Larimer Street, Suite 100
Denver, CO 80202
 Mailing Address: SAME
 Telephone: (303) 223-0482 office
 Fax: (303) 319-8756 cell
 Email: LCOX@etkinjohnson.com

PROPERTY INFORMATION

Common Address: 305 S. Arthur Ave
 Legal Description: Lot .1 Blk _____
 Subdivision The Business Center at CTC
 Area: 103,762 Sq. Ft. (2.38 Ac)

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: Proposed 17,940 SF
single story industrial
flex building with
associated site improvements

Current zoning: I Proposed zoning: I

SIGNATURES & DATE

Applicant: Elizabeth A. Cox
 Print: Elizabeth A. Cox
 Owner: Elizabeth A. Cox
 Print: Elizabeth A. Cox
 Representative: Elizabeth A. Cox
 Print: Elizabeth A. Cox

CITY STAFF USE ONLY

- Fee paid: _____
- Check number: _____
- Date Received: _____

LETTER OF REQUEST – PROPOSED USE

305 S. Arthur Avenue
Colorado Technology Center
Louisville, CO
February 4, 2016

- Property:** Lot 1, The Business Center at CTC Replat E
2.38 Acres (103,762 SF)
- Property Owner:** EJ 305 South Arthur LLC, an affiliate of applicant
- Zoning:** Property is currently zoned P-I (Planned Industrial) and the proposed improvements will comply with the City of Louisville Industrial Development Design Standards & Guidelines (IDDSG)
- Building:** 305 S. Arthur will be developed as a speculative real estate investment in pursuit of one tenant for a Build-to-Suit opportunity. The intent is that this Build-to-Suit will meet the potential tenant's requirements as stated in their RFP, dated September 15, 2015, as a free-standing, single-story flex/office building, approximately 18,000 SF (17,940 SF). Office with a small warehouse component, outdoor workspace, and 14' or greater ceilings (18').
- Site:** The site will offer a parking ratio of 4:1000 as well attractive hardscape and landscape similar to other Etkin Johnson facilities in the CTC. Through a Subdivision Agreement, a 30' ROW on the NE side of the property will be dedicated to the City of Louisville in anticipation of a future street connection and signalized intersection at 96th Avenue with the understanding that the land for the ROW would be donated by the property owner and the cost of the road and signal would be part of an agreement between the City of Louisville and the Colorado Technology Center Metropolitan District.

**LOT 1 OF THE BUSINESS CENTER AT C.T.C. REPLAT E
305 SOUTH ARTHUR AVENUE
FINAL PLANNED UNIT DEVELOPMENT**
LOCATED IN THE NORTH HALF OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST
OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

PROJECT SUMMARY - LOT 1

TOTAL LAND AREA: 103,759 SQUARE FEET (2.38 ACRES)
BUILDING AREA: 17,940 SQUARE FEET
FAR: 0.174

BUILDING HEIGHT:
ALLOWABLE: 40.0 FEET
PROPOSED: 27 FEET

BUILDING SQUARE FOOTAGE: 17,940 S.F.

PARKING REQUIRED: 37 SPACES @ 2 SPACES PER 1000 SQUARE FEET PER INDUSTRIAL ZONING

PARKING PROVIDED:
STANDARD: 69 SPACES
HANDICAP: 3 SPACES
TOTAL: 72 SPACES (4.01 SPACES PER 1000 SQUARE FEET)

BICYCLE PARKING: 4 REQUIRED, 4 PROVIDED

LANDSCAPE COVERAGE REQUIRED: 25%
LANDSCAPE COVERAGE PROVIDED: 45.7%

MINIMUM BUILDING SETBACKS:

	REQUIRED	PROVIDED	
FRONT:	30' - 0"	128' - 10"	
SIDES:	10' - 0"	45' - 8" (EAST) 88' - 5" (WEST)	
REAR:	25' - 0"	129' - 6"	

MINIMUM PARKING SETBACKS:

	REQUIRED	PROVIDED	
FRONT:	20' - 0"	48' - 0"	
SIDES:	10' - 0"	10' - 6" (WEST) 43'-2" (EAST) 70' - 6" (REAR)	

GENERAL NOTES

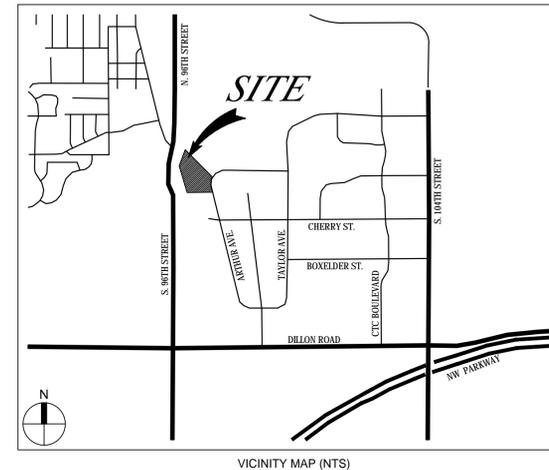
1. THE PROPERTY IS ZONED I-INDUSTRIAL.
2. ALL SETBACKS AND LAND USE REQUIREMENTS SHALL CONFIRM TO THE CITY OF LOUISVILLE, COLORADO ZONING AND LAND USE REGULATIONS IN EFFECT AS OF THE DATE OF APPROVAL OF THIS PLANNED UNIT DEVELOPMENT BY THE CITY OF LOUISVILLE, COLORADO.
3. EXCEPT AS AMENDED BY THIS FINAL PLANNED UNIT DEVELOPMENT, ALL SIGNS SHALL CONFORM TO THE INDUSTRIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES. THESE AMENDMENTS ARE:
 - A. TWO FREESTANDING, GROUND MOUNTED DOUBLE FACED SIGNS LOCATED PER THE SITE PLAN SHALL BE PERMITTED. THE DESIGNS FOR THESE SIGNS SHALL BE PER THE DETAIL ON SHEET 8.
 - B. SURFACE MOUNTED BUILDING SIGNS SHALL NOT EXCEED 2 FEET IN HEIGHT BY 20 FEET IN LENGTH EACH WITH A MAXIMUM OF THREE SIGNS. TWO OF THE BUILDING SIGNS SHALL BE PERMITTED ON THE NORTH BUILDING ELEVATION (FACING CTC BOULEVARD). MAXIMUM SURFACE MOUNTED BUILDING SIGNAGE AREA OF 120 SQUARE FEET IN THE AGGREGATE.
 - C. FOR BOTH MULTI TENANT AND SINGLE TENANT OCCUPANCY, THE SURFACE MOUNTED BUILDING SIGN SHALL NOT EXCEED 24 INCHES IN HEIGHT.
4. THE CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR DAMAGE TO OR REPAIR OF MONUMENT SIGNS DUE TO UTILITY MAINTENANCE.
5. THE CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR DAMAGE TO PAVEMENT SURFACES OR LANDSCAPING CAUSED DURING REPAIR OR MAINTENANCE ACTIVITIES OF UTILITIES LOCATED WITHIN PUBLIC UTILITY EASEMENTS.
6. ON-STREET PARKING WILL NOT BE UTILIZED TO MEET THE PARKING REQUIREMENTS OF THE PROJECT.
7. ALL ROOF-MOUNTED MECHANICAL, ELECTRICAL, OPTICAL AND ELECTRONIC EQUIPMENT SHALL BE SET A MINIMUM OF 20' FROM THE BUILDING PARAPET, AND IF VISIBLE FROM THE PUBLIC STREET ADJACENT TO THE PROPERTY, SHALL BE PAINTED TO MATCH THE DOMINANT COLOR OF THE BUILDING.
8. ALL ROOF-MOUNTED EQUIPMENT SHALL BE EITHER (1) PAINTED A COLOR COMPATIBLE WITH THE DOMINANT BUILDING COLOR, IF THE BUILDING IS SELF-CONTAINED WITHOUT EXPOSED DUCTWORK OR PROCESS PIPING, OR (2) SHALL BE SCREENED IF THE EQUIPMENT DOES NOT MEET THE CRITERIA SPECIFIED IN 1. SCREEN MATERIAL SHALL BE COMPATIBLE WITH MATERIALS AND COLORS UTILIZED ON THE BUILDING.
9. OWNER WILL ADD ADDITIONAL HANDICAP PARKING SPACES TO THE PARKING IF THE BUILDING IS LEASED PRIMARILY AS OFFICE SPACE.

SHEET INDEX

- | | |
|----------|---------------------------------|
| 1 OF 13 | COVER SHEET |
| 2 OF 13 | FINAL PLAT |
| 3 OF 13 | FINAL PLAT |
| 4 OF 13 | UTILITY PLAN |
| 5 OF 13 | GRADING PLAN |
| 6 OF 13 | DEVELOPMENT PLAN |
| 7 OF 13 | FLOOR PLAN |
| 8 OF 13 | EXTERIOR ELEVATIONS |
| 9 OF 13 | SITE DETAILS |
| 10 OF 13 | LANDSCAPE PLAN |
| 11 OF 13 | LANDSCAPE DETAILS |
| 12 OF 13 | SITE POINT ILLUMINANCE STUDY |
| 13 OF 13 | POINT ILLUMINANCE STUDY DETAILS |

LEGAL DESCRIPTION (FROM TITLE COMMITMENT):

LOT 1, THE BUSINESS CENTER AT C.T.C. REPLAT E, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, ACCORDING TO THE FINAL PLAT RECORDED NOVEMBER 29, 2005 UNDER RECEPTION NO. 2740288.



OWNERSHIP SIGNATURE BLOCK:

BY SIGNING THIS FINAL PUD, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH IN THIS FINAL PUD. WITNESS OUR HANDS AND SEALS THIS _____ DAY OF _____, 20____.

OWNER:

EO 305 SOUTH ARTHUR LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____
BRUCE H. ETKIN, MANAGER

PLANNING COMMISSION CERTIFICATE:

APPROVED THIS _____ DAY OF _____, 20____, BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____, SERIES _____

CITY COUNCIL CERTIFICATE:

APPROVED THIS _____ DAY OF _____, 20____, BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____, SERIES _____

MAYOR'S SIGNATURE

CITY CLERK'S SIGNATURE CITY SEAL:

CLERK AND RECORDER'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK, _____ M., THIS _____ DAY OF _____, 20____, AND IS RECORDED IN PLAN FILE _____, FEE _____ PAID _____, FILM NO. _____, RECEPTION.

CLERK & RECORDER DEPUTY

FINAL PLAT

THE BUSINESS CENTER AT C.T.C. REPLAT E

A REPLAT OF LOTS 4 AND 5 AND OUTLOT G, BLOCK 1, THE BUSINESS CENTER AT C.T.C., A SUBDIVISION LOCATED IN THE N1/2 OF SECTION 16, T1S, R69W OF THE 6TH P.M. CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

AREA = 7.143 ACRES, MORE OR LESS.

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, THE CITY OF LOUISVILLE, A COLORADO MUNICIPAL CORPORATION, GEORGE A. TOPAKAS & LURANIA K. TOPAKAS, AND COLORADO TECH LAND COMPANY, LLC, A COLORADO LIMITED LIABILITY CORPORATION, BEING THE OWNERS OF A TRACT OF LAND LOCATED IN THE NW1/4 OF SECTION 16, T1S, R69W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL OF LOT 4, LOT 5, AND OUTLOT G, BLOCK 1, THE BUSINESS CENTER AT C.T.C., A SUBDIVISION LOCATED IN THE N1/2 OF SECTION 16, T1S, R69W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, ACCORDING TO THE PLAT RECORDED IN PLAN FILE P-44, F-3, #12-#13 OF THE RECORDS OF BOULDER COUNTY, COLORADO.

AREA = 7.143 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED, AND SUBDIVIDED THE SAME INTO LOTS UNDER THE NAME AND STYLE OF "THE BUSINESS CENTER AT C.T.C. REPLAT E", A SUBDIVISION OF A PART OF THE CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE CITY OF LOUISVILLE AND THE PUBLIC, THE STREETS, AVENUES, COURTS, WAYS, AND 96TH STREET, AS SHOWN ON THE ACCOMPANYING PLAT FOR THE PUBLIC USE THEREOF FOREVER; AND DO FURTHER DEDICATE TO THE USE OF THE CITY OF LOUISVILLE AND ALL MUNICIPALLY OWNED AND/OR FRANCHISED UTILITIES AND SERVICES, THOSE PORTIONS OF SAID REAL PROPERTY WHICH ARE SO DESIGNATED AS EASEMENTS AND RIGHTS-OF-WAY FOR THE CONSTRUCTION, INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT FOR ALL SERVICES, INCLUDING WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, TELEPHONE AND ELECTRIC LINES, WORKS, POLES, AND UNDERGROUND CABLES, GAS PIPELINES, WATER PIPELINES, SANITARY SEWER LINES, STREET LIGHTS, CULVERTS, HYDRANTS, DRAINAGE DITCHES AND DRAINS AND ALL APPURTENANCES THERETO; IT BEING EXPRESSLY UNDERSTOOD AND AGREED BY THE UNDERSIGNED THAT ALL EXPENSES AND COSTS INVOLVED IN CONSTRUCTING AND INSTALLING SANITARY SEWER SYSTEM WORKS AND LINES, GAS SERVICE LINES, ELECTRICAL SERVICE WORKS AND LINES, STORM SEWERS AND DRAINS, STREET LIGHTING, GRADING AND LANDSCAPING, CURBS, GUTTERS, STREET PAVEMENT, SIDEWALKS, AND OTHER SUCH UTILITIES AND SERVICES SHALL BE GUARANTEED AND PAID FOR BY THE SUBDIVIDER OR ARRANGEMENTS MADE BY THE SUBDIVIDER THEREOF WHICH ARE APPROVED BY THE CITY OF LOUISVILLE, COLORADO, AND SUCH SUMS SHALL NOT BE PAID BY THE CITY OF LOUISVILLE, COLORADO, AND THAT ANY ITEM SO CONSTRUCTED OR INSTALLED WHEN ACCEPTED BY THE CITY OF LOUISVILLE, COLORADO, SHALL BECOME THE SOLE PROPERTY OF SAID CITY OF LOUISVILLE, COLORADO, EXCEPT PRIVATE ROADWAY CURBS, GUTTER AND PAVEMENT AND ITEMS OWNED BY MUNICIPALLY FRANCHISED OR PERMITTED UTILITIES, AND/OR QWEST COMMUNICATIONS, INC., WHICH WHEN CONSTRUCTED OR INSTALLED, SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL NOT BECOME THE PROPERTY OF THE CITY OF LOUISVILLE, COLORADO.

OWNER: THE CITY OF LOUISVILLE, A COLORADO MUNICIPAL CORPORATION

BY: MAYOR

OWNER: GEORGE A. TOPAKAS & LURANIA K. TOPAKAS

BY: George A. Topakas, Lurania K. Topakas

OWNER: COLORADO TECH LAND COMPANY, LLC

BY: Authorized Representative

ACKNOWLEDGMENTS

STATE OF COLORADO } COUNTY OF } SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF A.D. 2005 BY AS MAYOR OF THE CITY OF LOUISVILLE, A COLORADO MUNICIPAL CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC MY COMMISSION EXPIRES

STATE OF COLORADO } COUNTY OF Boulder } SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF JUNE A.D. 2004 BY GEORGE A. TOPAKAS & LURANIA K. TOPAKAS.

WITNESS MY HAND AND OFFICIAL SEAL.

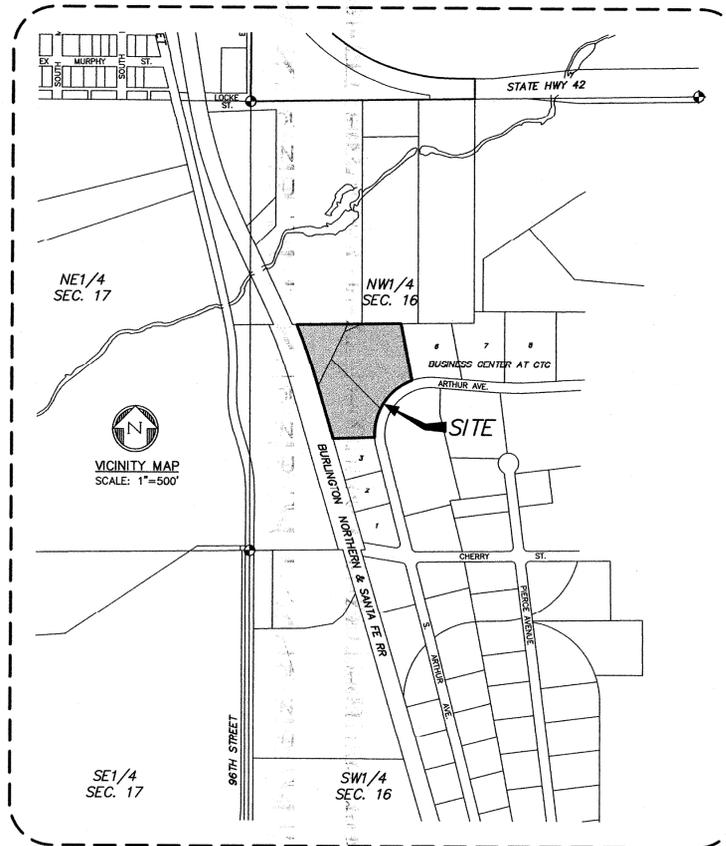
Kerry Holle 4-28-06 Kerry Holle Notary Public, State of Colorado

STATE OF COLORADO } COUNTY OF Boulder } SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF JUNE A.D. 2004 BY Jon R. Lee of Colorado Tech Land Company, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

Kerry Holle 4/28/06 Kerry Holle Notary Public, State of Colorado



VICINITY MAP SCALE: 1"=500'

DATE OF PREPARATION

NOVEMBER 18, 2003

SURVEYOR:

CIVIL ARTS-DREXEL GROUP, INC. 1860 LEFTHAND CIRCLE, SUITE A LONGMONT, CO 80501 (303) 682-1131 ATTN: FRANK N. DREXEL, PLS

NOTES

- 1. BEARINGS SHOWN ON THE ACCOMPANYING PLAT ARE BASED ON THE ASSUMPTION THAT THE WEST LINE OF THE SW1/4 OF THE NW1/4 OF SECTION 16, T1S, R69W OF THE 6TH P.M., BEARS N00°10'51"W AS MONUMENTED AND SHOWN HEREON.
2. SET #5 REBAR WITH 2 INCH ALUMINUM CAP MARKED "PLS 24305" AT ALL EXTERIOR BOUNDARY CORNERS UNLESS OTHERWISE NOTED AND WHERE NOTED "SET #5". SET #6 REBAR WITH 2-1/2" INCH ALUMINUM CAP MARKED "PLS 24305" WHERE NOTED "SET #6".
3. RECORDED EASEMENTS AND RIGHTS-OF-WAY, IF ANY, ARE SHOWN ON THIS PLAT AS SHOWN ON THE RECORDED PLAT OF THE BUSINESS CENTER AT C.T.C. NO ADDITIONAL RESEARCH WAS COMPLETED.
4. THE POSITION OF THE RIGHT-OF-WAY OF THE BURLINGTON NORTHERN & SANTA FE (BNSF) RAILROAD WAS ESTABLISHED 50 FEET OR 75 FEET ON EACH SIDE OF THE EXISTING CENTERLINE OF THE MAIN LINE TRACK ALONG TANGENT (STRAIGHT) SECTIONS AND 50 FEET OR 75 FEET ON EACH SIDE OF THE COMPUTED CENTERLINE OF THE MAIN LINE TRACK ALONG CURVED SECTIONS. THE COMPUTED CENTERLINE OF THE CURVED SECTIONS IS BASED ON HOLDING THE RADIUS AND PRIMARY COMPONENTS OF THE SPIRAL CURVE ALIGNMENTS AS INDICATED IN THE BNSF RIGHT-OF-WAY AND STATION MAPS, FIT TO THE EXISTING CENTERLINE OF THE TANGENT SECTIONS. THE RAILROAD ROUTINELY REALIGNS CURVED SECTIONS FOR BETTER OPERATION AND THE CURRENT ALIGNMENT OF THE CURVED TRACK MAY NOT MARK THE CENTERLINE OF THE RIGHT-OF-WAY.
5. THAT INSTRUMENT RECORDED OCTOBER 25, 1906, IN BOOK 290 AT PAGE 206 DESCRIBES A RIGHT-OF-WAY GRANTED TO THE COLORADO & SOUTHERN RAILWAY COMPANY OVER THE S1/2 OF THE NW1/4 AND THE NE1/4 OF SECTION 16 FOR "TRACKAGE NEEDED TO WORK AND OPERATE THE COAL MINE". THE "PRIVILEGE" IS SAID TO RUN FOR "FOR TWENTY YEARS FROM MARCH 27, 1906, AND THE RIGHT-OF-WAY REVERTS TO THE GRANOR" IF THE MINE CEASES TO OPERATE OR TRACKS ARE ABANDONED AND MAY NOW BE EXPIRED. THE LOCATION OF THE RIGHT-OF-WAY IS NOT MATHEMATICALLY DEFINED AND THEREFORE IS NOT SHOWN ON THIS MAP. WE DID NOT OBSERVE ANY RAILROAD TRACKS CROSSING THE PARCEL.
6. LEGAL DESCRIPTION PREPARED BY BENJAMIN J. OSBORN, 1860 LEFTHAND CIRCLE, SUITE A, LONGMONT, COLORADO, 80501 (CRS 38-35-106.5).

CITY COUNCIL CERTIFICATE APPROVED THIS 7th DAY OF June A.D. 2005 BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. 19 SERIES 2005. Mayor: [Signature], City Clerk: [Signature]

PLANNING COMMISSION CERTIFICATE RECOMMENDED APPROVAL THIS 12th DAY OF May A.D. 2005 BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. 13 SERIES 2005. Chairperson: [Signature], Secretary: [Signature]

UTILITY APPROVALS QWEST COMMUNICATION, INC. XCEL ENERGY

CLERK AND RECORDER'S CERTIFICATE STATE OF COLORADO } COUNTY OF BOULDER } SS

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT 11:01 O'CLOCK A.M. THIS 24th DAY OF NOVEMBER A.D. 2005 AND IS DULY RECORDED IN PLAN FILE P-64 F3 #45-46, RECEPTION NO. 2740288

FEE'S PAID \$ 21.00 LINDA N. SALAS Clerk and Recorder, Cecilia A. Mason Deputy

NOTICE

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

SURVEYOR'S CERTIFICATE

I, FRANK N. DREXEL, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF "THE BUSINESS CENTER AT C.T.C. REPLAT E" REFLECTS THE RESULTS OF A SURVEY MADE UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STATE LAW AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

FRANK N. DREXEL Colorado Registered Professional Land Surveyor No. 24305 DATE: 11-18-03

2740288 11/20/2005 11:01B Boulder County Clerk, CO PLAT 8 21 00 NOVEMBER 18, 2003 BAO 3396-P.DWG

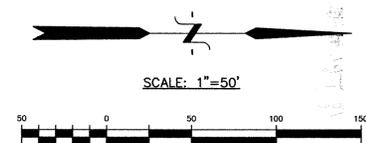
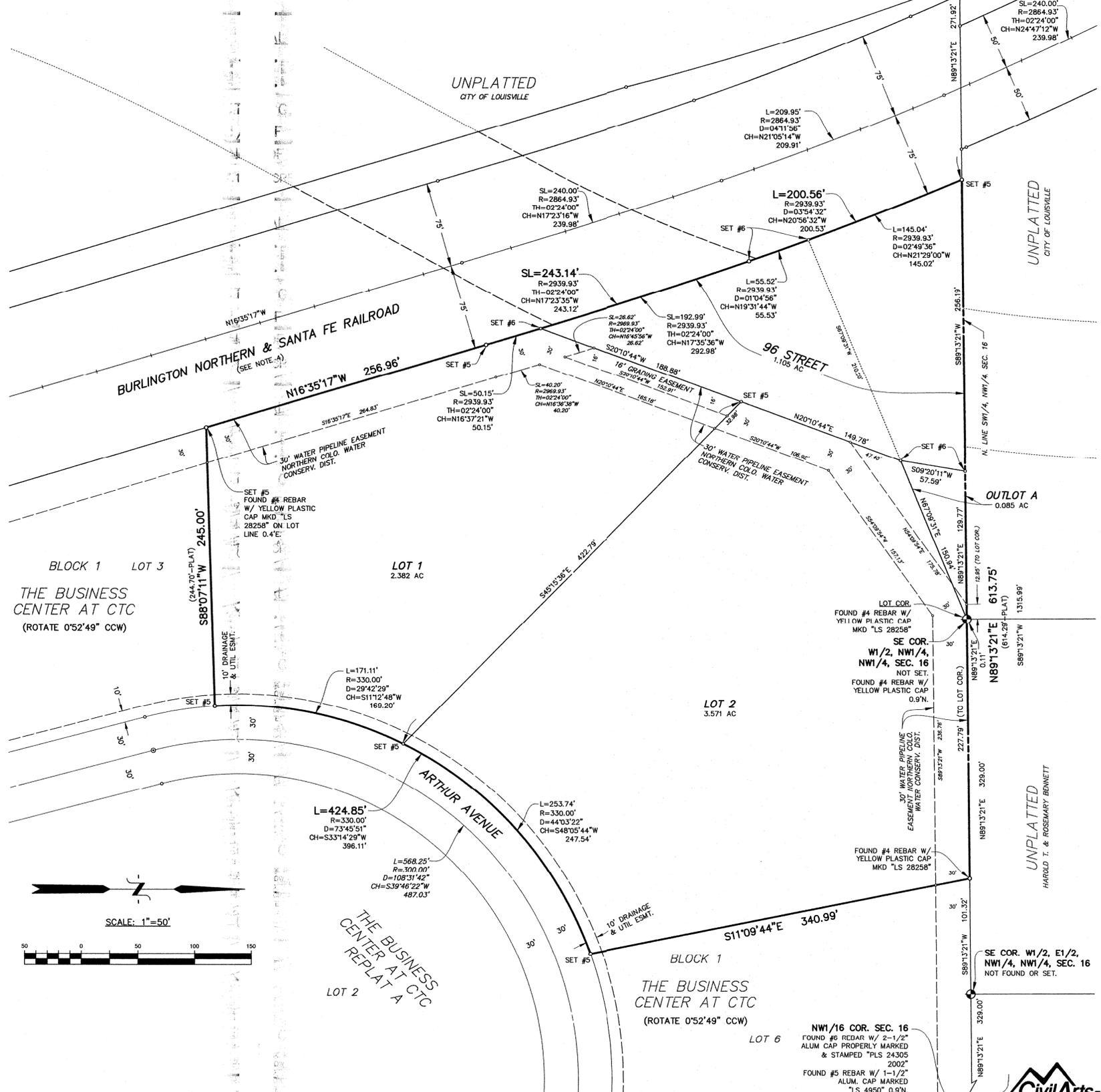
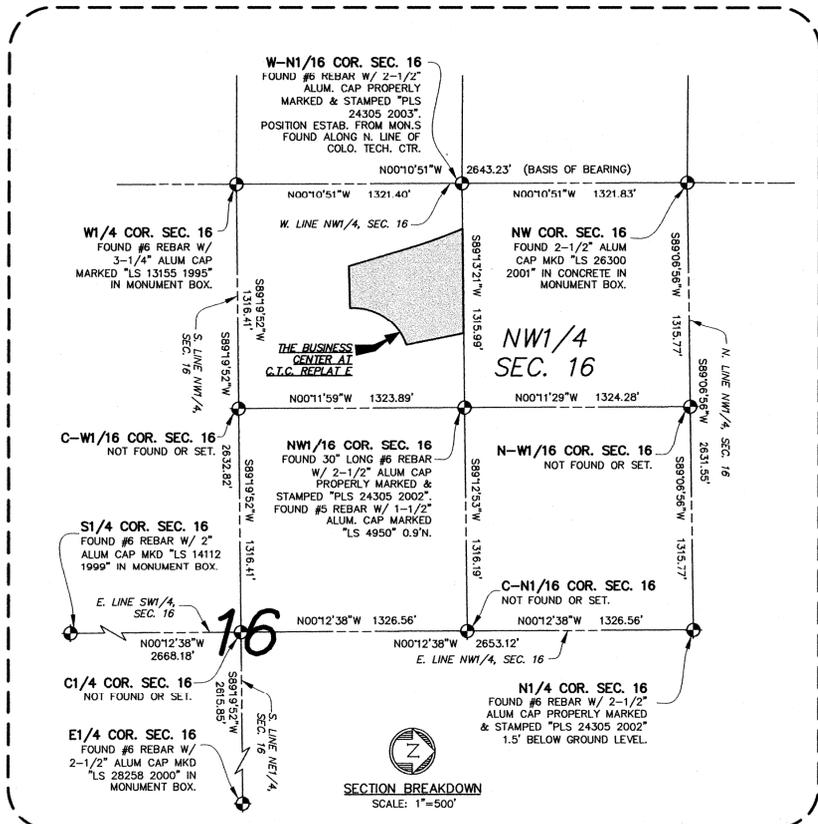
P-64 F3 #45 (102)

FINAL PLAT

THE BUSINESS CENTER AT C.T.C. REPLAT E

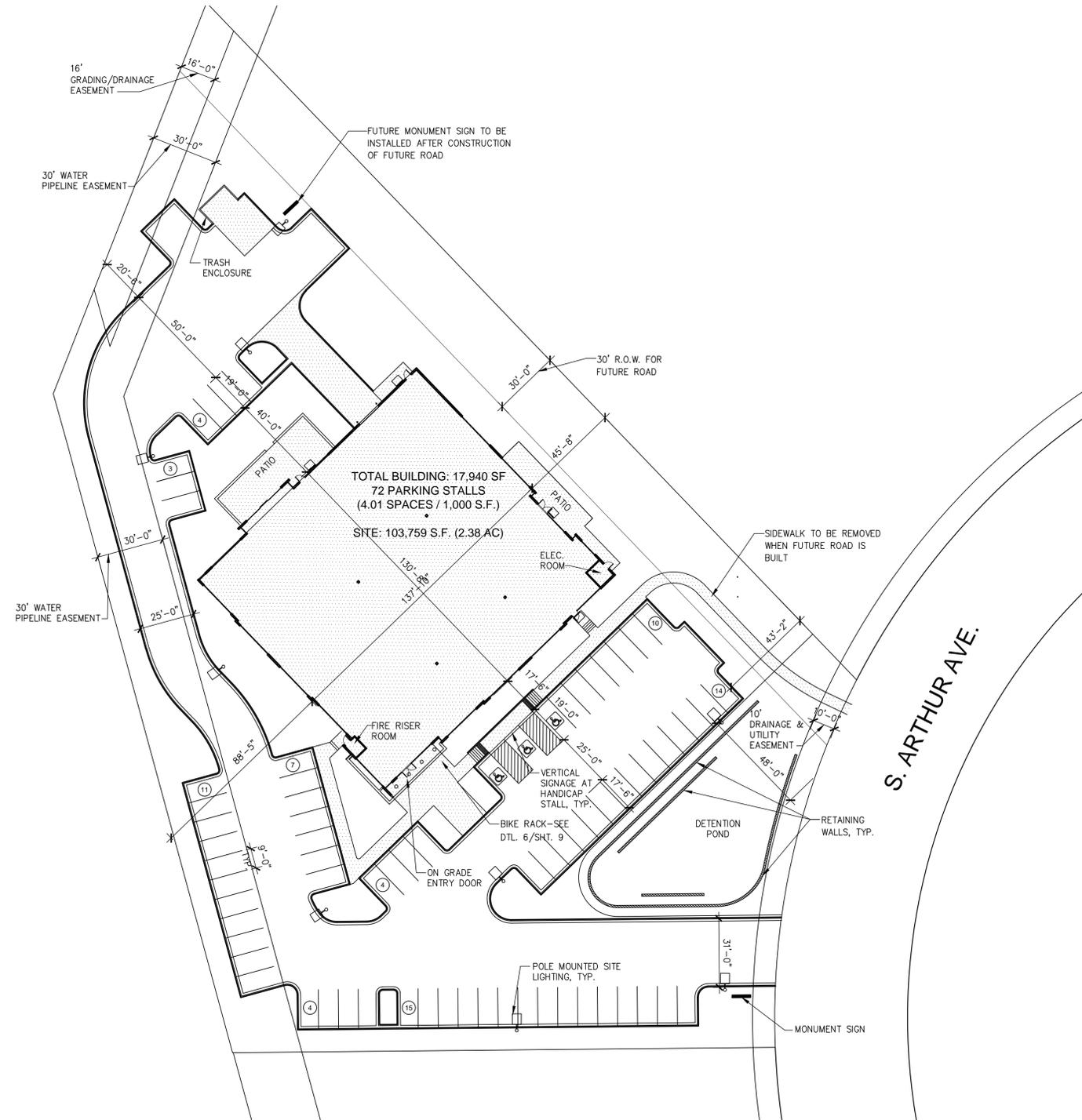
A REPLAT OF LOTS 4 AND 5 AND OUTLOT G, BLOCK 1, THE BUSINESS CENTER AT C.T.C.,
A SUBDIVISION LOCATED IN THE N1/2 OF SECTION 16, T1S, R69W OF THE 6TH P.M.
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

AREA = 7.143 ACRES, MORE OR LESS.



P-64 F3 # 46 (2022)

LOT 1 OF THE BUSINESS CENTER AT C.T.C. REPLAT E
305 SOUTH ARTHUR AVENUE
FINAL PLANNED UNIT DEVELOPMENT
 LOCATED IN THE NORTH HALF OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



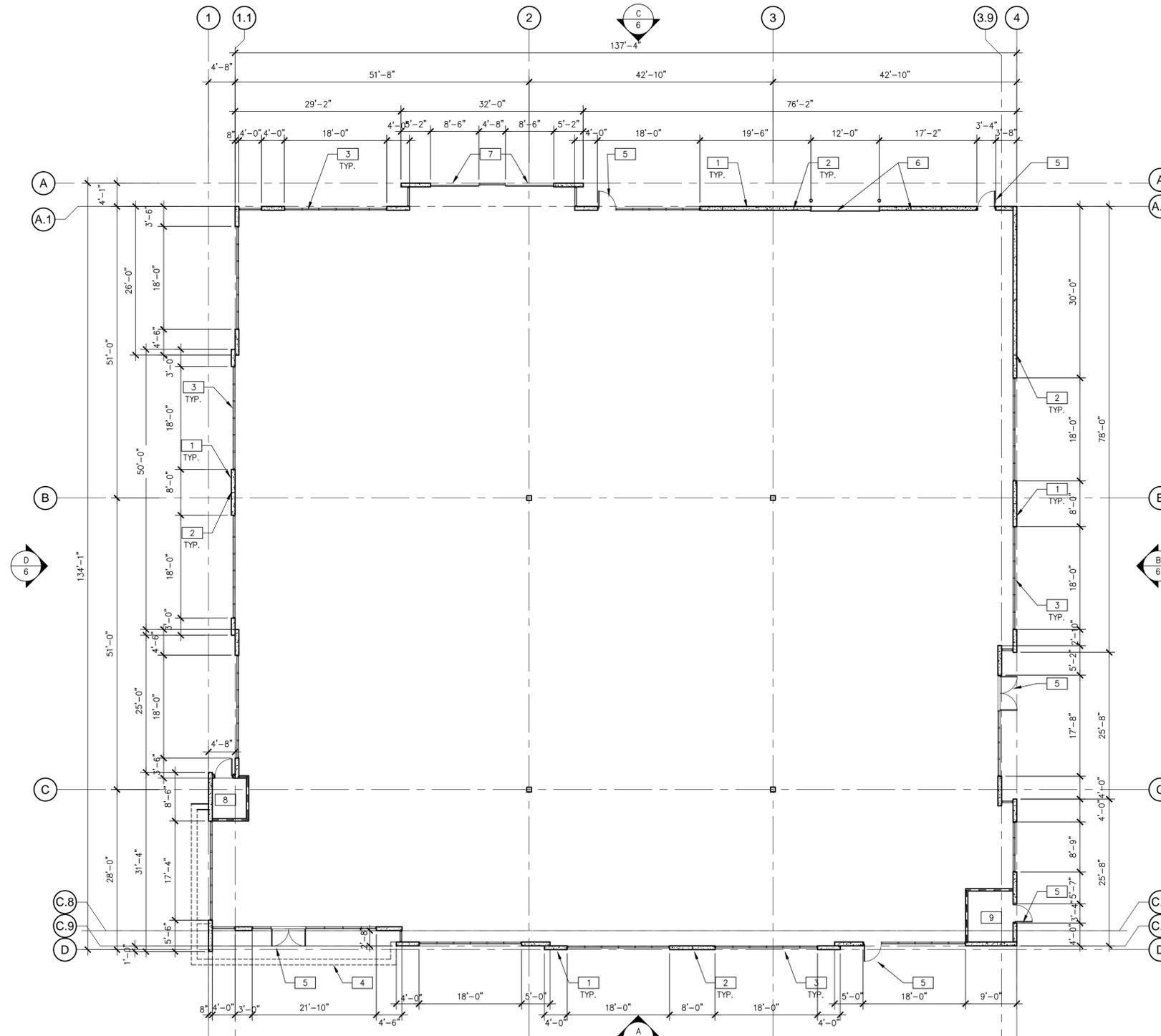
DEVELOPMENT PLAN

SCALE: 1" = 30'-0"



LOT 1 OF THE BUSINESS CENTER AT C.T.C. REPLAT E
 305 SOUTH ARTHUR AVENUE
 FINAL PLANNED UNIT DEVELOPMENT

LOCATED IN THE NORTH HALF OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



PLAN NOTES

- | | |
|---|---|
| 1 CONCRETE TILT-UP PANEL, PAINTED | 5 3' WIDE x 7' HIGH HOLLOW METAL MAN DOOR |
| 2 CONCRETE TILT-UP PANEL JOINT | 6 9' WIDE x 10' HIGH DOCK DOOR |
| 3 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING | 7 GLASS OVERHEAD DOOR |
| 4 STEEL CANOPY WRAPPED IN MATTIE BRUSHED ALUMINUM BREAK METAL TO MATCH STOREFRONT | 8 FIRE RISER ROOM |
| | 9 ELECTRICAL ROOM |

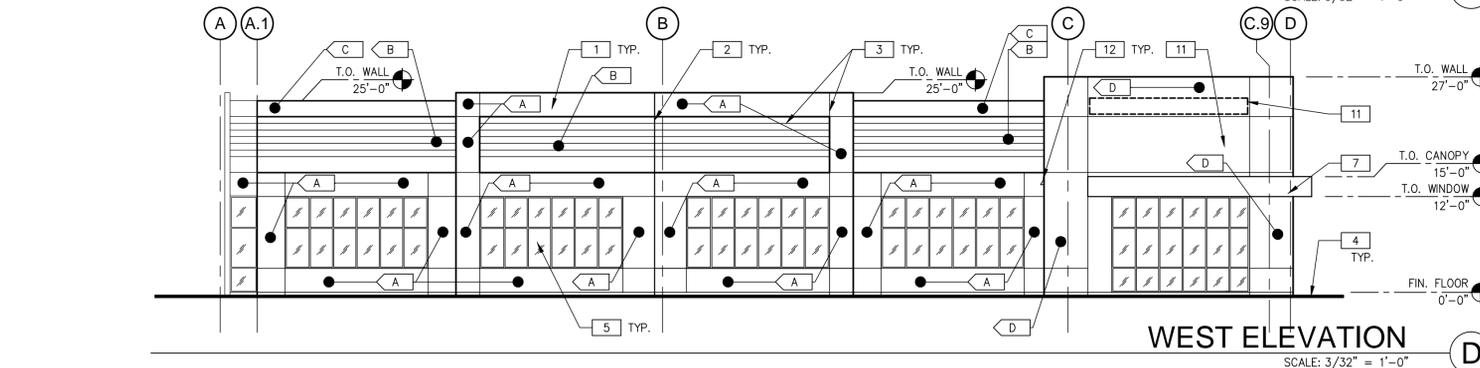
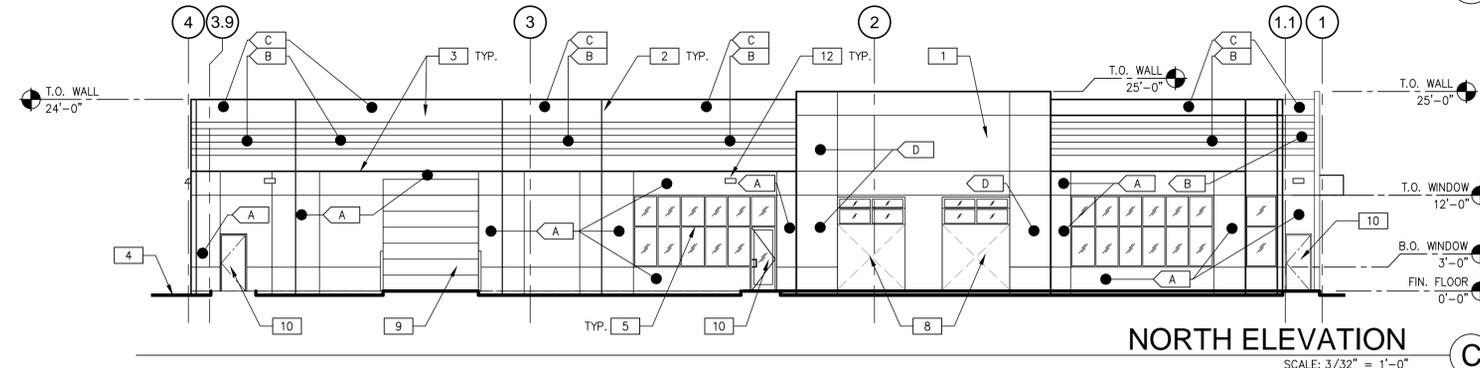
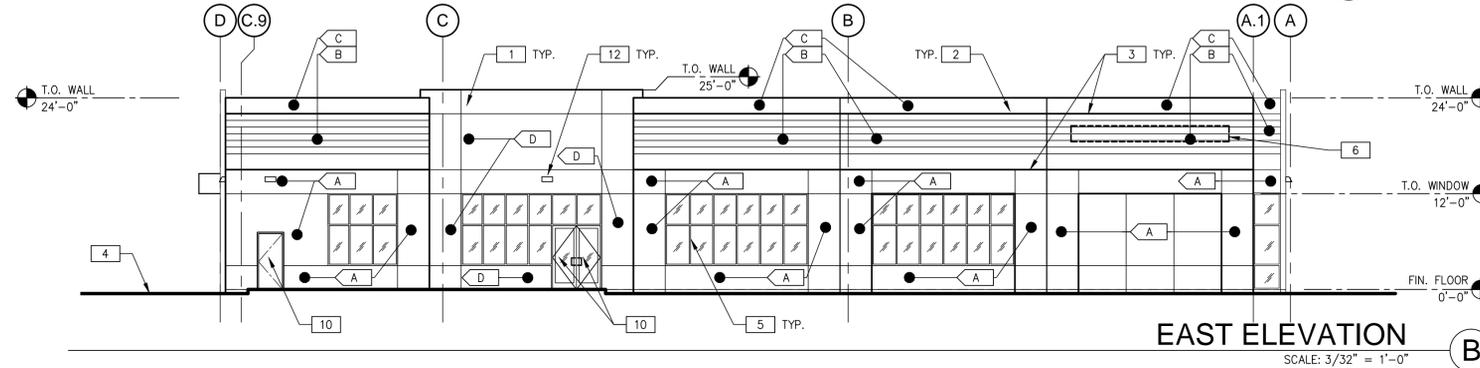
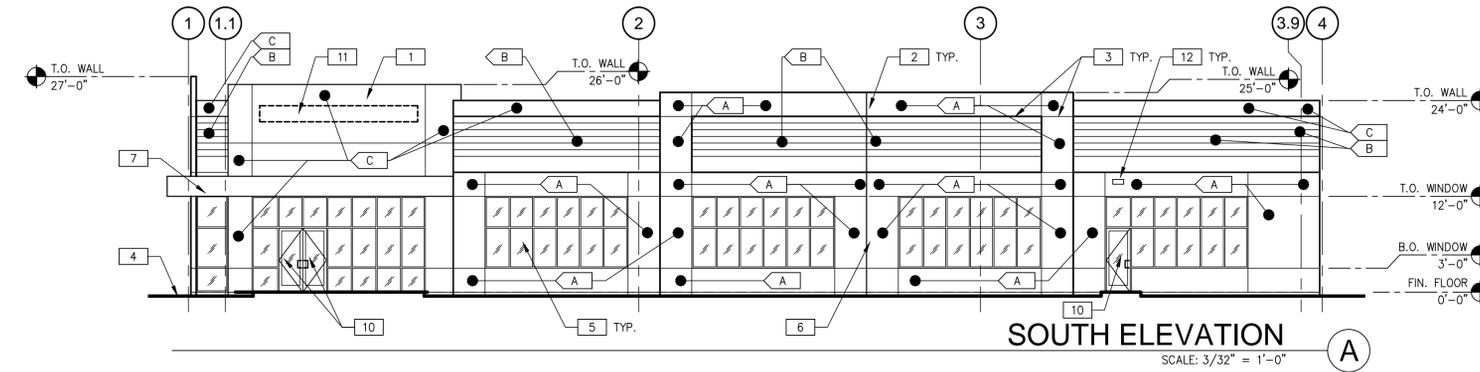
FLOOR PLAN

SCALE: 3/32"=1'-0"



LOT 1 OF THE BUSINESS CENTER AT C.T.C. REPLAT E
305 SOUTH ARTHUR AVENUE
FINAL PLANNED UNIT DEVELOPMENT

LOCATED IN THE NORTH HALF OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



COLOR LEGEND

	A	FIELD COLOR - BENJAMIN MOORE #2126-40; SWEATSHIRT GRAY
	B	ACCENT COLOR - BENJAMIN MOORE #2126-60; GRAY CLOUD
	C	ACCENT COLOR - BENJAMIN MOORE #2126-30; ANCHOR GRAY
	D	ACCENT COLOR - BENJAMIN MOORE #2063-40; SAILOR'S SEA BLUE

NOTE: DOCK AND MAN DOOR COLORS TO MATCH ADJACENT WALL

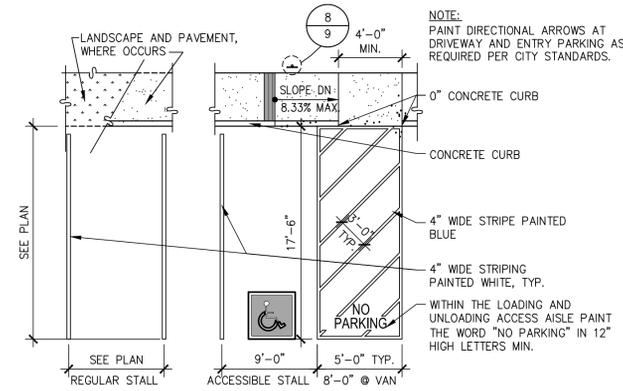
ELEVATION NOTES

- 1 CONCRETE TILT-UP PANEL, PAINTED
- 2 CONCRETE TILT-UP PANEL JOINT
- 3 3/4" V-REVEAL
- 4 FINISH GRADE, SEE CIVIL DRAWINGS
- 5 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING
- 6 FUTURE 2' W x 20' LONG TENANT SIGNAGE TO BE INSTALLED AFTER CONSTRUCTION OF FUTURE ROAD
- 7 STEEL CANOPY WRAPPED IN BRAKE METAL TO MATCH STOREFRONT
- 8 GLASS GARAGE DOOR

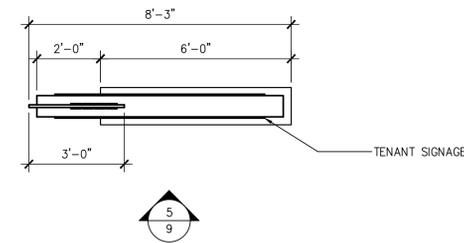
GENERAL NOTES

- 1. ALL ROOF-MOUNTED EQUIPMENT SHALL BE EITHER (1) PAINTED A COLOR COMPATIBLE WITH THE DOMINANT BUILDING COLOR, IF THE BUILDING IS SELF-CONTAINED WITHOUT EXPOSED DUCTWORK OR PROCESS PIPING, OR (2) SHALL BE SCREENED IF THE EQUIPMENT DOES NOT MEET THE CRITERIA SPECIFIED IN 1. SCREEN MATERIAL SHALL BE COMPATIBLE WITH MATERIALS AND COLORS UTILIZED ON THE BUILDING.

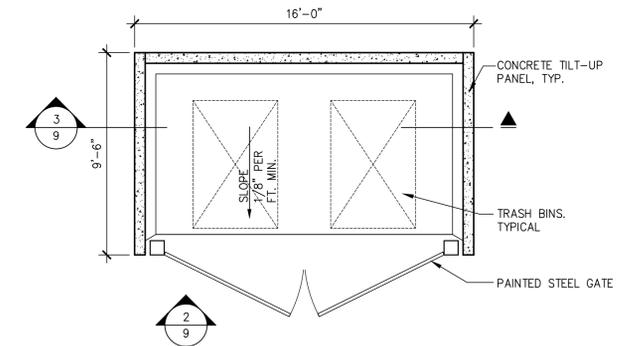
LOT 1 OF THE BUSINESS CENTER AT C.T.C. REPLAT E
305 SOUTH ARTHUR AVENUE
FINAL PLANNED UNIT DEVELOPMENT
 LOCATED IN THE NORTH HALF OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



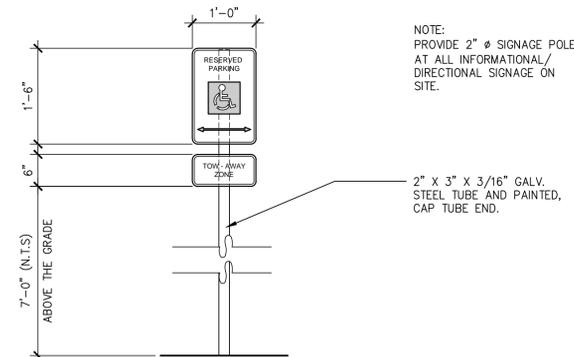
TYPICAL PARKING STALLS
 SCALE: 1/8" = 1'-0"
 ESIHC-Parking_stalls-01 **7**



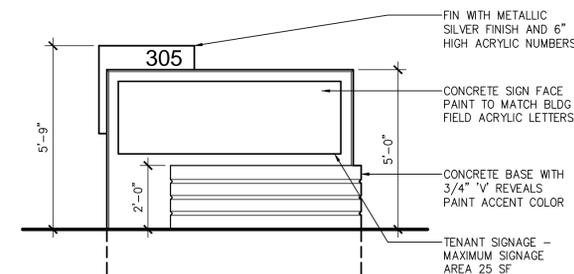
MONUMENT SIGN PLAN
 SCALE: 3/8" = 1'-0"
4



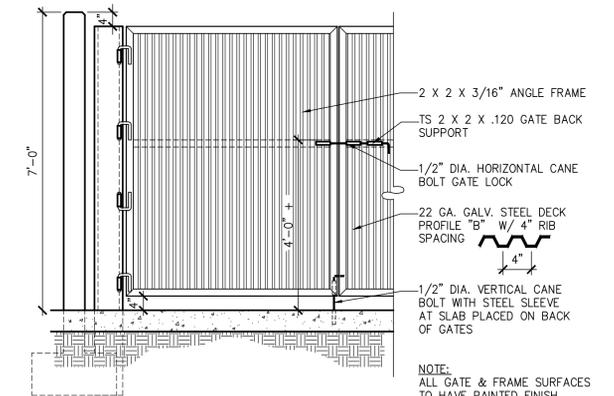
TRASH ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"
 ESITE-Trash_enclosure_plan-01 **1**



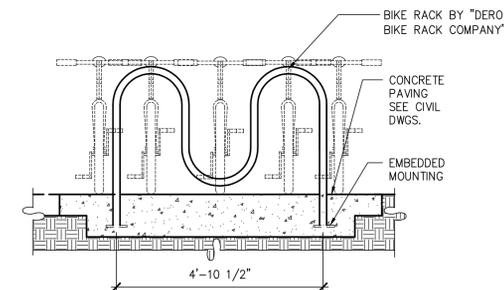
ACCESSIBLE PARKING SIGNAGE
 SCALE: 1 1/2" = 1'-0"
 ESIHC-Sign_access_park-01 **8**



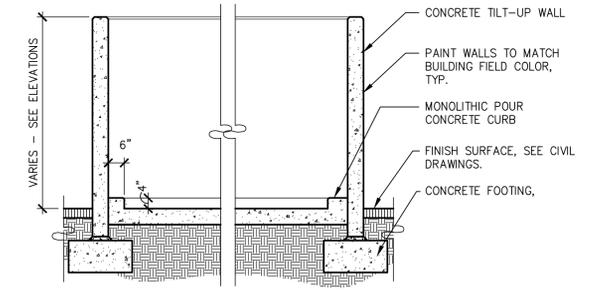
MONUMENT SIGN ELEVATION
 SCALE: 3/8" = 1'-0"
5



TRASH ENCLOSURE GATE
 SCALE: 1/2" = 1'-0"
 ESITE-Trash_enclosure_gate-02 **2**



BIKE RACK
 SCALE: 1/2" = 1'-0"
 ESIMI-Bike_rack-01 **6**



TRASH ENCLOSURE SECTION
 SCALE: 3/8" = 1'-0"
 ESITE-Trash_enclosure_sect-01 **3**

LOT 1 OF THE BUSINESS CENTER AT C.T.C. REPLAT E
305 SOUTH ARTHUR AVENUE
FINAL PLANNED UNIT DEVELOPMENT
 LOCATED IN THE NORTH HALF OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

BUSINESS CENTER AT C.T.C
 305 SOUTH ARTHUR AVENUE
 LANDSCAPE PLAN

SCALE: HOR. 1"=20' VERT. NA	2500 Broadway Suite B Boulder, CO 80304 303.449.9105 www.hurst-assoc.com	CIVIL ENGINEERING PLANNING SURVEYING
DESIGN/APPR. RD		
DRAWN BY RD		
DATE 04/15/2016		
FILE G:\224220\224220-LP-PUD.DWG		

LANDSCAPE LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- EVERGREEN SHRUBS
- DECIDUOUS SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- EDGER
- SOD
- SEED
- ANNUALS
- ROCK MULCH
- PARKING LIGHT

PLANT PALETTE

DECIDUOUS TREES

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE
ASL	3	LINDEN, AMERICAN SENTRY	<i>Tilia americana</i> 'Sentry'	2.5' cal. B&B
NRM	7	MAPLE, NORTHWOOD RED	<i>Acer rubrum</i> 'Northwood'	2.5' cal. B&B
SHL	4	HONEYLOCUST, SHADEMASTER	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	2.5' cal. B&B
SOA	7	OAK, SCARLET	<i>Quercus coccinea</i>	2.5' cal. B&B
WCA	4	CATALPA, WESTERN	<i>Catalpa speciosa</i>	2.5' cal. B&B

EVERGREEN TREES

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE
CBS	3	SPRUCE, COLORADO BLUE	<i>Picea pungens</i> 'Glauca'	8' min. ht., B&B
CGS	2	SPRUCE, COLORADO GREEN	<i>Picea pungens</i>	8' min. ht., B&B
VLP	7	PINE, VANDERWOLF'S PYRAMID LIMBER	<i>Pinus flexilis</i> 'Vanderwolf's Limber'	6' min. ht., B&B

ORNAMENTAL TREES

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE
CNC	4	CHOKECHERRY, CANADA RED	<i>Prunus virginiana</i> 'Shubert'	2' cal. B&B
RHW	5	HAWTHORN, RUSSIAN	<i>Crataegus ambigua</i>	2' cal. B&B
STP	5	PEAR, STONEHILL	<i>Pyrus calleryana</i> 'Stonehill'	2' cal. B&B

EVERGREEN SHRUBS

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE
AYJ	20	JUNIPER, ANDORRA YOUNGSTOWN	<i>Juniperus horizontalis</i> 'Youngstown'	5 gallon
BHJ	18	JUNIPER, BAR HARBOR	<i>Juniperus horizontalis</i> 'Bar Harbor'	5 gallon
GGJ	21	JUNIPER, GREY GLEAM	<i>Juniperus scopulorum</i> 'Grey Gleam'	5 gallon
HCP	39	PINE, HILLSIDE CREEPER SCOTCH	<i>Pinus sylvestris</i> 'Hillside Creeper'	5 gallon
MES	7	EUONYMUS, MANHATTAN	<i>Euonymus kianschovicus</i> 'Manhattan'	5 gallon
PLW	8	WINTER CREEPER, PURPLE LEAF	<i>Euonymus fortunei</i> 'Coloratus'	5 gallon
SGB	13	BROOM, SPANISH GOLD	<i>Cytisus purgans</i> 'Spanish Gold'	5 gallon
SGJ	15	JUNIPER, SEA GREEN	<i>Juniperus x media</i> 'Sea Green'	5 gallon
SMM	11	PINE, SLOWMOUND MUGO	<i>Pinus mugo</i> 'Slowmound'	5 gallon

DECIDUOUS SHRUBS

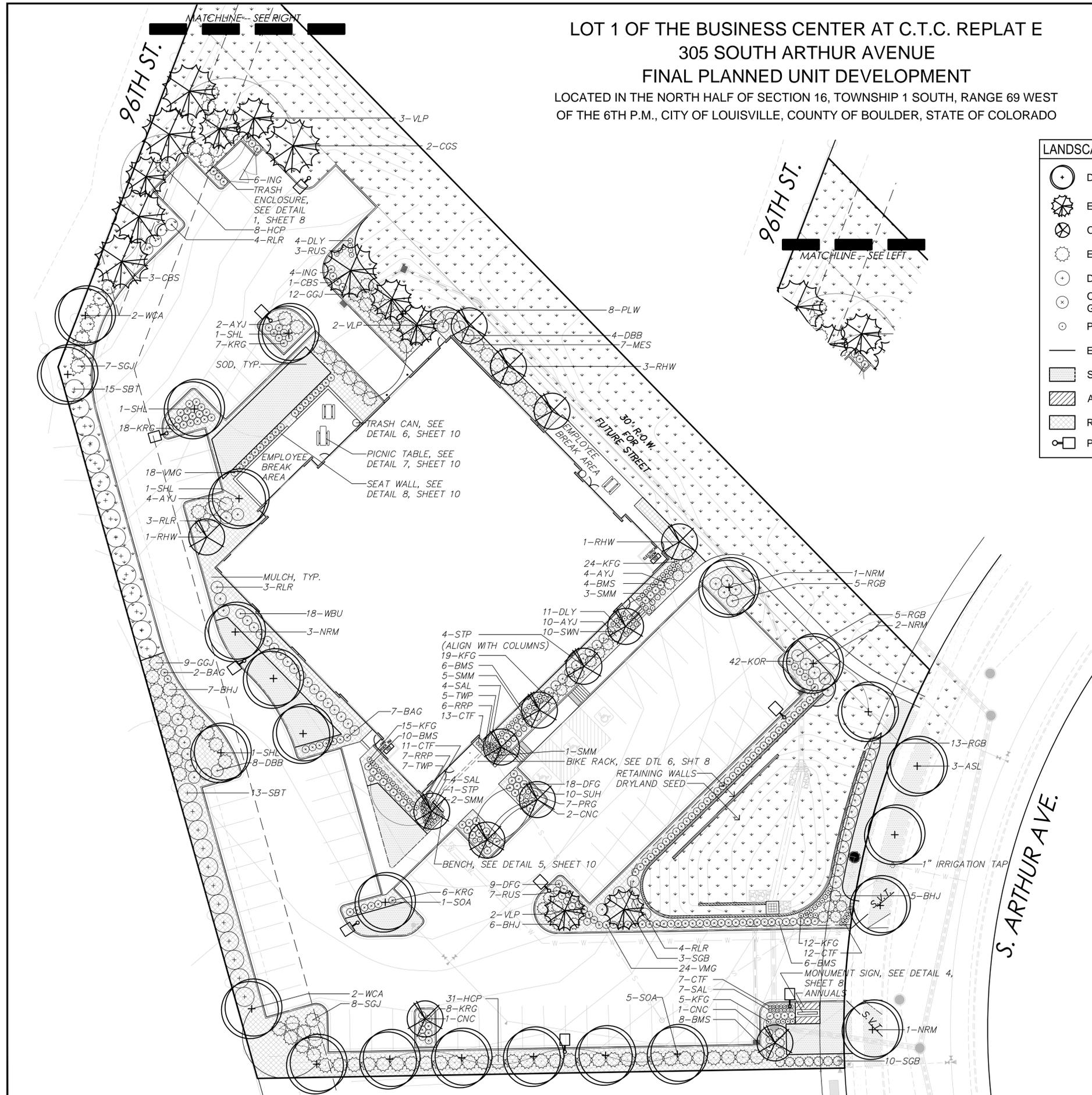
SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE
BMS	33	SPIREA, BLUE MIST	<i>Caryopteris x cladonensis</i> 'Blue Mist'	5 gallon
DBB	12	BURNING BUSH, DWARF	<i>Euonymus alatus</i> 'Compacta'	5 gallon
RGB	23	BARBERRY, RED LEAF	<i>Berberis thunbergii</i> 'Atropurpurea'	5 gallon
RLR	14	ROSE, RED LEAFED	<i>Rosa glauca</i>	5 gallon
SBT	28	BUCKTHORN, SMITH'S	<i>Rhamnus smithii</i>	5 gallon
SWN	10	NINEBARK, SUMMER WINE	<i>Physocarpus opulifolius</i> 'Summer Wine'	5 gallon
WBU	18	BUTTERFLY BUSH, WHITE BALL	<i>Buddleia davidii</i> 'White Ball'	5 gallon

ORNAMENTAL GRASSES

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE
BAG	9	BLUE AVENA GRASS	<i>Helictotrichon sempervirens</i>	1 gallon
DFG	27	FOUNTAIN GRASS, DWARF	<i>Pennisetum alopecuroides</i> 'Hameln'	1 gallon
ING	10	INDIAN GRASS	<i>Sorghastrum nutans</i>	1 gallon
KFG	73	FEATHER REED GRASS, KARL FOERSTER	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	1 gallon
KOR	42	FEATHER REED GRASS, KOREAN	<i>Calamagrostis brachytricha</i>	1 gallon
KRG	21	FOUNTAIN GRASS, KARLEY ROSE	<i>Pennisetum orientale</i> 'Karley Rose'	1 gallon
PRG	7	RUBY GRASS, PINK CRYSTALS	<i>Melinis nerviglumis</i>	1 gallon
VMG	42	MAIDEN GRASS, VARIEGATED	<i>Miscanthus sinensis</i> 'Variegatus'	1 gallon

PERENNIALS

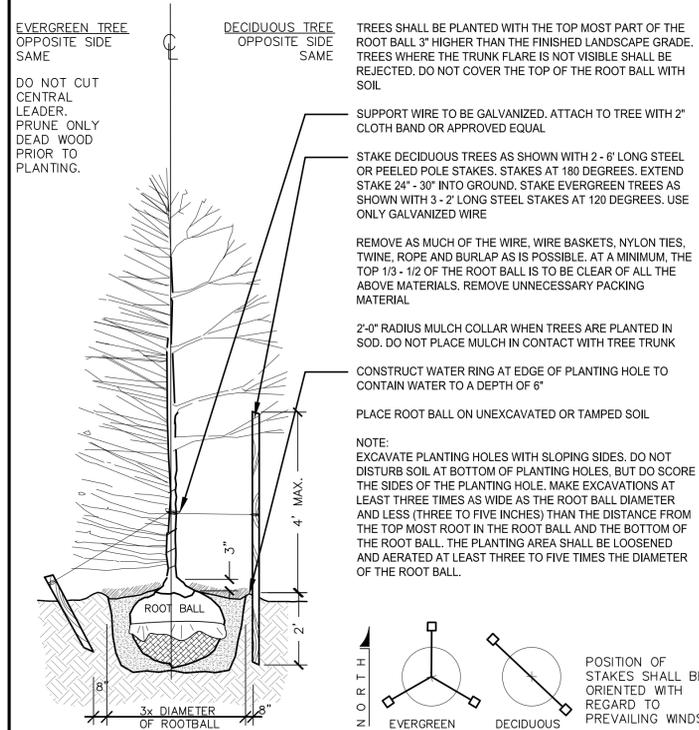
SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE
CTF	43	CANDYTUFT	<i>Iberis sempervirens</i>	2-1/4" pot
DLY	15	DAYLILY, SPP.	<i>Hemerocallis</i> spp.	2-1/4" pot
RRP	13	PENSTEMON, RED ROCKS	<i>Penstemon x mexicali</i> 'Red Rocks'	2-1/4" pot
RUS	10	RUSSIAN SAGE	<i>Perovskia atriplicifolia</i>	2-1/4" pot
SAL	15	SALVIA, MAY NIGHT	<i>Salvia nemorosa</i> 'May Night'	2-1/4" pot
SUH	10	HYSSOP, SUNSET	<i>Agastache rupestris</i>	2-1/4" pot
TWP	12	PHLOX, TALL WHITE GARDEN	<i>Phlox paniculata</i> 'David'	2-1/4" pot



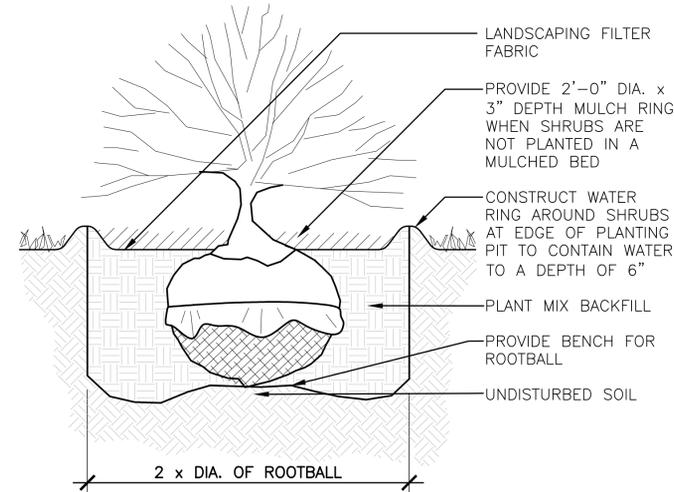
LOT 1 OF THE BUSINESS CENTER AT C.T.C. REPLAT E
305 SOUTH ARTHUR AVENUE
FINAL PLANNED UNIT DEVELOPMENT
 LOCATED IN THE NORTH HALF OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

BUSINESS CENTER AT C.T.C.
 305 SOUTH ARTHUR AVENUE
 LANDSCAPE DETAILS

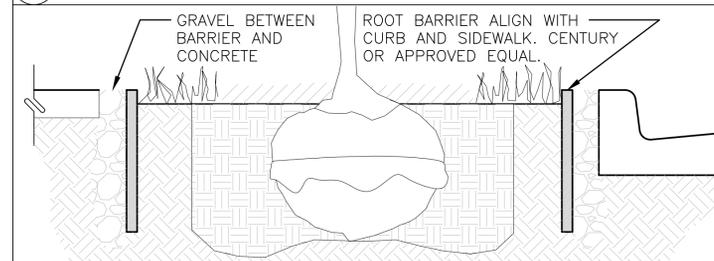
SCALE	HOR. 1" = 20' VERT. NA	2500 Broadway Suite B Boulder, CO 80304 303.449.9105 www.hurst-assoc.com	CIVIL ENGINEERING PLANNING SURVEYING
DESIGN/APPR.	RD		
DRAWN BY	RD		
DATE	04/15/2016		
FILE	G:\224220\224220-LP-PUD.DWG		



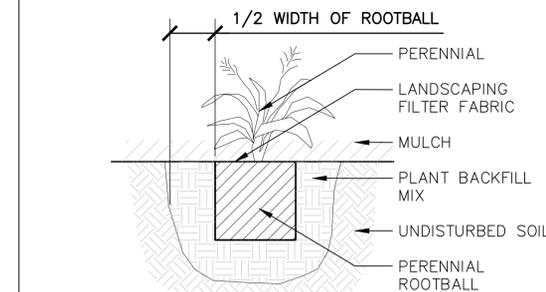
1 TREE PLANTING DETAIL



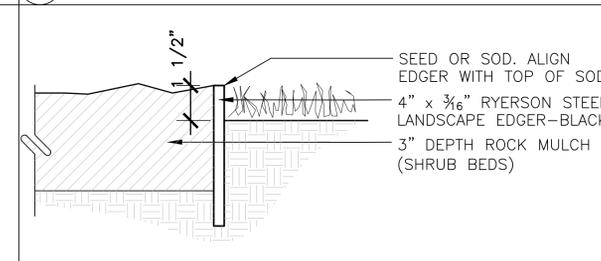
2 SHRUB PLANTING DETAIL



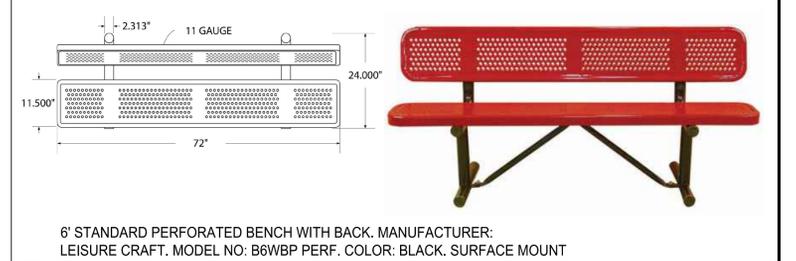
3 ROOT BARRIER DETAIL



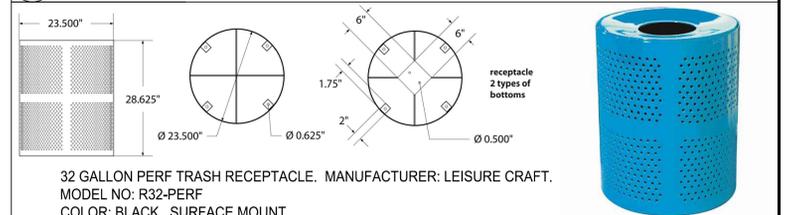
4 ORN. GRASS / PERENNIAL



5 EDGER



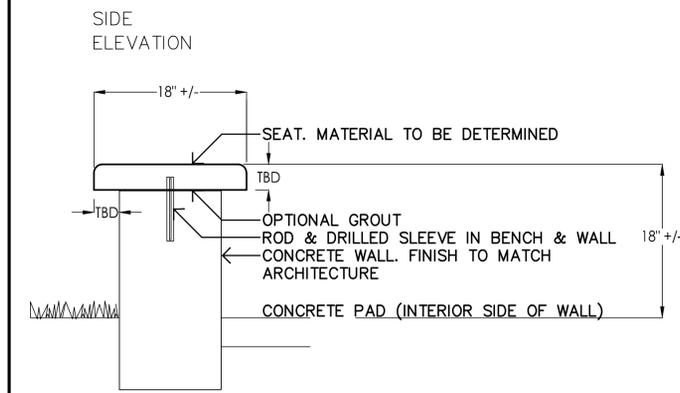
6 BENCH



7 TRASH CAN



8 PICNIC TABLE



9 SEAT WALL

- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN (American Association of Nurserymen) SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. IN PARKWAY AREAS, IRRIGATION SPRAY HEADS SHALL BE SPACED AND ADJUSTED TO PREVENT IRRIGATION WATER FROM SPRAYING ON PUBLIC WALKS OR CURBS. STAFF WILL REQUEST A WALK THROUGH OF THE IRRIGATION SYSTEM WITHIN THE R.O.W. PRIOR TO ISSUANCE OF CONSTRUCTION ACCEPTANCE OR A CERTIFICATE OF OCCUPANCY. IRRIGATION PLANS TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF THE SYSTEM. IRRIGATION DESIGN WILL BE DESIGN/BUILD BY OTHERS.
- ALL TREES TO BE BALLED & BURLAPPED, CONTAINERIZED, OR ROOT CONTROL BAGS.
- ALL SHRUB BEDS TO BE MULCHED WITH ROCK MULCH (3" AVERAGE DEPTH) ON LANDSCAPING FILTER FABRIC. INDIVIDUAL TREES IN SOD OR DRYLAND SEED TO RECEIVE WOOD MULCH (2" AVERAGE DEPTH). ALL BEDS ADJACENT TO SOD OR DRYLAND SEED TO BE BORDERED WITH LANDSCAPE EDGER. EDGER TO BE SET LEVEL WITH TOP OF SOD. EDGER TO ALSO BE INSTALLED TO SEPARATE WOOD MULCH AND ROCK MULCH.
- OWNER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ANY CHANGES IN SPECIES AND PLANT LOCATIONS DURING CONSTRUCTION AS REQUIRED BY SITE CONDITIONS OR AVAILABILITY NEED APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. OVERALL QUALITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED LANDSCAPE PLANS. ANY CHANGES WILL BE PROVIDED TO OWNER AND THE CITY OF LOUISVILLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- PRIOR TO INSTALLATION OF SEED, PLANT MATERIAL & SOD, CONTRACTOR TO THOROUGHLY LOOSEN ALL AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION. CONTRACTOR TO THOROUGHLY INCORPORATE SIX (6) CUBIC YARDS OF COMPOST OR COMPOSTED WEED FREE MANURE PER 1,000 SQUARE FEET TO BED AND SOD AREAS. AREAS TO BE SEEDED TO RECEIVE FOUR (4) CUBIC YARDS OF AMENDMENT. ORGANIC MATERIAL TO HAVE FOLLOWING CHARACTERISTICS:
 ORGANIC MATTER: 25% OR GREATER
 SALT CONTENT: 3.0 mmhos/cm MAX.
 pH: 8.5 MAXIMUM
 CARBON TO NITROGEN RATIO: 10:1 TO 25:1
 CONTRACTOR TO PROVIDE A NUTRIENT TEST FROM THE LAST 3 MONTHS PRIOR TO SPREADING. MOUNTAIN PEAT, ASPEN HUMUS, GYPSUM AND SAND WILL NOT BE ACCEPTED.
- TURF GRASS WILL BE SODDED WITH TURF-TYPE TALL FESCUE.
- ALL SEEDED AREAS TO BE SEEDED WITH SEED MIX SPECIFIED. NO SUPPLEMENTAL IRRIGATION IS SPECIFIED. ANNUAL MOWING TO APPROXIMATELY 6" IN THE SPRING IS RECOMMENDED.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- THE LANDSCAPE DESIGN COMPLIES WITH THE STANDARDS WITHIN THE CITY OF LOUISVILLE INDUSTRIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES, DATED JANUARY 18, 2000.
- IN PARKWAY AREAS LESS THAN 10 (TEN) FEET WIDE, ROOT BARRIERS SHALL BE LOCATED AT BACK OF WALK OR CURB WHERE TREES ARE PLANTED. STAFF PREFERS CLEARANCE OF 5 (FIVE) FEET FROM CURB OR WALK.
- TREES SHALL BE PLANTED A MINIMUM DISTANCE FROM CITY UTILITY LINES: 7' (DECIDUOUS); 10' (EVERGREEN).

10 LANDSCAPE NOTES

SPECIES AND VARIETY	% BY WEIGHT	LBS/AC
WESTERN WHEATGRASS 'ARRIBA' OR 'NATIVE'	30	9.6
SLENDER WHEATGRASS 'PRIMAR' OR 'NATIVE'	10	2.2
THICKSPIKE WHEATGRASS 'CRITANA' OR 'NATIVE'	10	2.2
GREEN NEEDLEGRASS 'LORDORM' OR 'NATIVE'	10	2.0
SIDEOATS GRAMA 'VAUGHN' OR 'NATIVE'	15	2.7
LITTLE BLUESTEM 'PASTURA' OR 'NATIVE'	5	0.7
BLUE GRAMA 'LOVINGTON' OR 'NATIVE'	10	0.6
BUFFALOGRASS 'NATIVE'	10	3.3

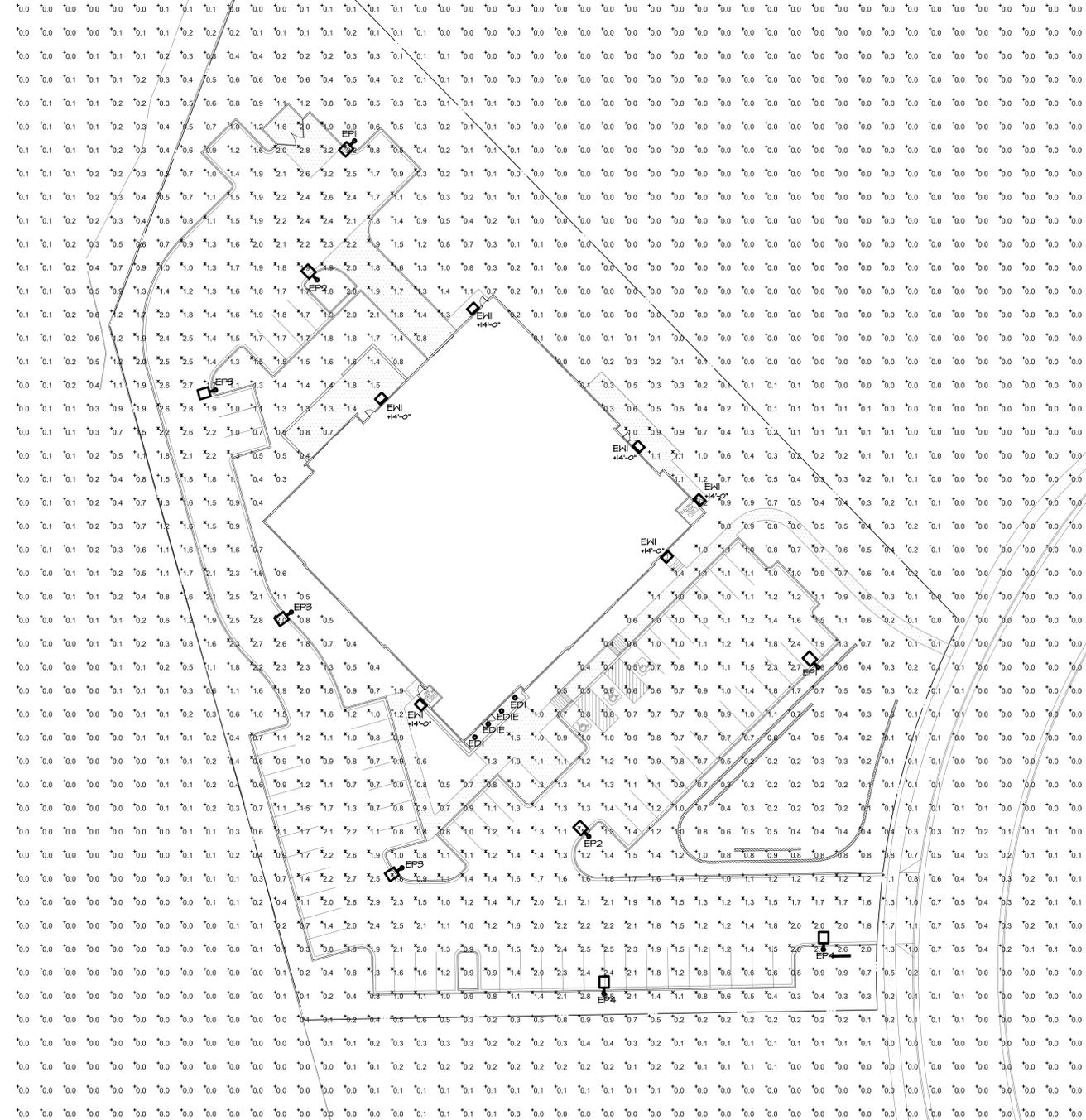
- NOTES:
- DRILL SEED AT 23.3 POUNDS PURE LIVE SEED PER ACRE USING A RANGELAND DRILL.
 - AT THIS SEEDING RATE, THERE WILL BE ABOUT 125 SEEDS PER SQUARE FOOT.

11 SEED MIX

LOT 1 OF THE BUSINESS CENTER AT C.T.C. REPLAT E
305 SOUTH ARTHUR STREET
FINAL PLANNED UNIT DEVELOPMENT
 LOCATED IN THE NORTH HALF OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

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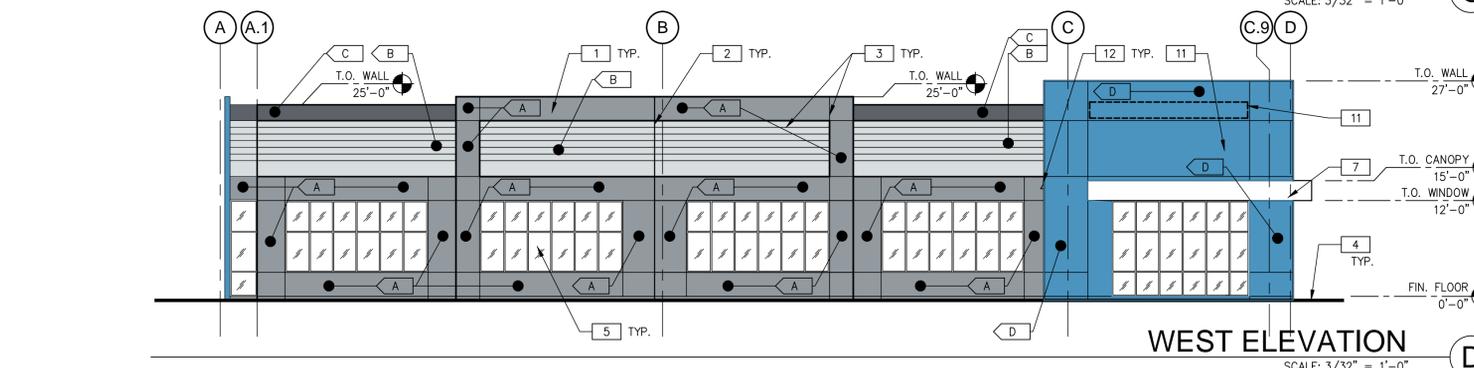
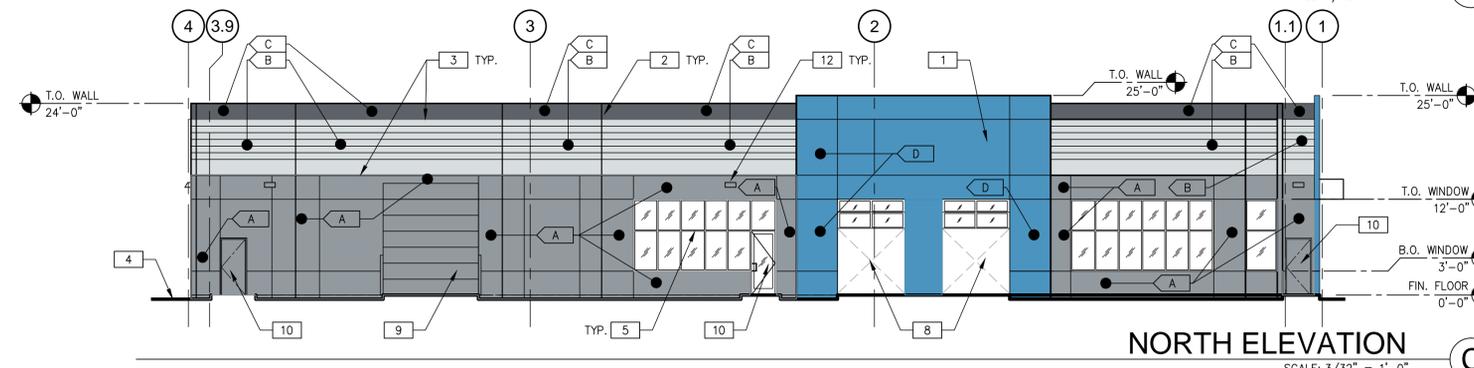
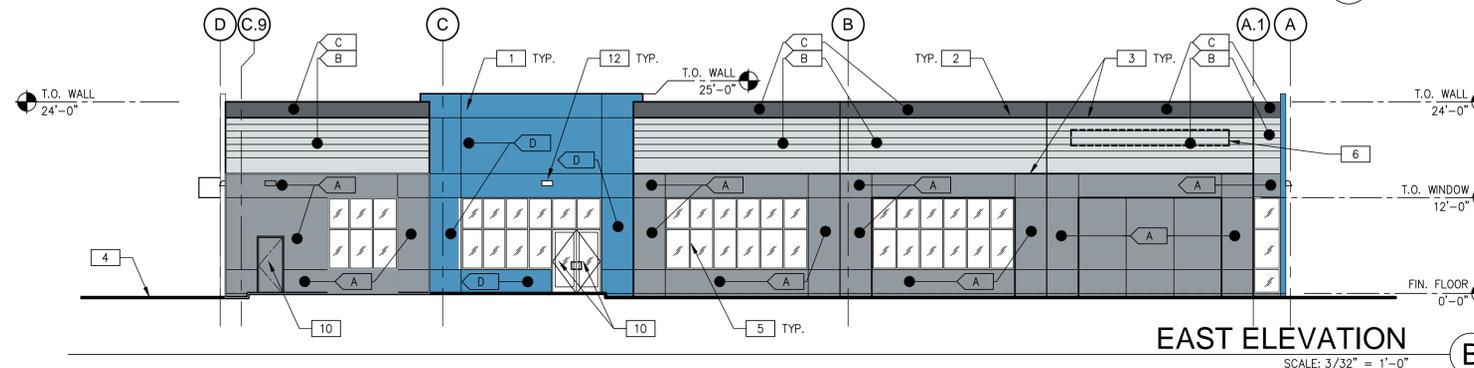
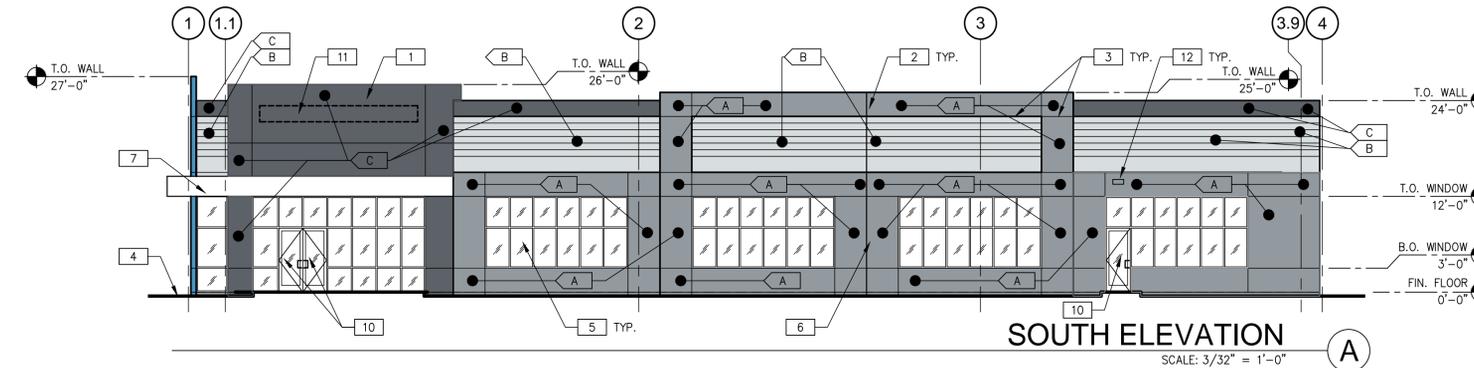


1 | SITE POINT ILLUMINANCE PLAN
 SCALE: 1" = 30'-0"



LOT 1 OF THE BUSINESS CENTER AT C.T.C. REPLAT E
305 SOUTH ARTHUR AVENUE
FINAL PLANNED UNIT DEVELOPMENT

LOCATED IN THE NORTH HALF OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST
 OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



COLOR LEGEND

	A	FIELD COLOR - BENJAMIN MOORE #2126-40; SWEATSHIRT GRAY
	B	ACCENT COLOR - BENJAMIN MOORE #2126-60; GRAY CLOUD
	C	ACCENT COLOR - BENJAMIN MOORE #2126-30; ANCHOR GRAY
	D	ACCENT COLOR - BENJAMIN MOORE #2063-40; SAILOR'S SEA BLUE

NOTE: DOCK AND MAN DOOR COLORS TO MATCH ADJACENT WALL

ELEVATION NOTES

- 1 CONCRETE TILT-UP PANEL, PAINTED
- 2 CONCRETE TILT-UP PANEL JOINT
- 3 3/4" V-REVEAL
- 4 FINISH GRADE, SEE CIVIL DRAWINGS
- 5 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING
- 6 FUTURE 2' W x 20' LONG TENANT SIGNAGE TO BE INSTALLED AFTER CONSTRUCTION OF FUTURE ROAD
- 7 STEEL CANOPY WRAPPED IN BRAKE METAL TO MATCH STOREFRONT
- 8 GLASS GARAGE DOOR

GENERAL NOTES

- 9 9' WIDE x 10' HIGH DOCK DOOR
 - 10 3' WIDE x 7' HIGH MAN DOOR
 - 11 2' W x 20' LONG TENANT SIGNAGE
 - 12 WALL MOUNTED LIGHT, SEE ELECTRICAL DRAWINGS
1. ALL ROOF-MOUNTED EQUIPMENT SHALL BE EITHER (1) PAINTED A COLOR COMPATIBLE WITH THE DOMINANT BUILDING COLOR, IF THE BUILDING IS SELF-CONTAINED WITHOUT EXPOSED DUCTWORK OR PROCESS PIPING, OR (2) SHALL BE SCREENED IF THE EQUIPMENT DOES NOT MEET THE CRITERIA SPECIFIED IN 1. SCREEN MATERIAL SHALL BE COMPATIBLE WITH MATERIALS AND COLORS UTILIZED ON THE BUILDING.

Memorandum

To: Lauren Trice, Historic Preservation Specialist
From: Allan Gill RLA, Parks Project Manager
Date: April 29, 2016
Re: Lot 1 of the Business Center At C.T.C. Replat 305 South Arthur Avenue, Final Planned Unit Development

The Parks & Recreation Department has reviewed the Lot 1 of the Business Center At C.T. C. Replat at 305 South Arthur Avenue; Final Planned Unit Development dated April 14, 2016 and has the following comments.

1. Sheet 1 of 13, Cover Sheet.
 - a. General note 3 A references a detail on sheet eight of the plan set; however, the detail is located on sheet nine. Revise the note to reference sheet nine 9.
2. Sheet 10 of 13, Landscape Plan.
 - a. The plant pallet lists a quantity of seven Scarlet Oaks but only six are on the plan. Revise the quantity to six.
3. Sheet 11 of 13, Landscape Details.
 - a. Detail 3, Root Barrier Detail. More detail is needed. Include Century product information, model number etc. as shown in the other details.
 - b. Detail 10, Landscape Notes. Note 3. Add sentence which reads 'Irrigation Plans will be provided to the City for review and approval prior to installation of the irrigation system and system components'.

TO: Lauren Trice, Planner I

FROM: Craig Duffin, City Engineer

DATE: May 6, 2016

SUBJECT: Business Center at CTC Replat E, Lot 1 (305 South Arthur Ave).

Public Works completed a review the Development Application Referral for the subject received on April 28, 2016 and staff comments are:

1. The proposed private utilities located in the future right of way are a concern. However we do not have an approved alignment for the road connection. PW staff will work with the developer to determine the best utility layout that will not or minimally impact future right of way.
2. Water Utility conceptual layout will require modification to address standard valve location requirements for private mains and accommodate future right of way.
3. There is an existing 18" RCP storm stub from manhole to property. The stub was provided as a connection to private property. Hence, when in use the line is conveying private storm water. Applicant indicated the line should be publicly maintained. The stub should be privately maintained as requested.
4. Staff requested a drainage easement for the detention pond. Applicant indicated he would provide written permission. City Attorney to determine the appropriate form needed.
5. We asked the applicant to indicate the location of the fire department connection on the utility plan. I couldn't see it on the plan.
6. Staff requested any deficient concrete adjacent the property be replaced as part of the development. Applicant requested City repair existing deficiencies in concrete walks and curb. Staff made a standard request. This is typically either non - existent or a minor repair. We can work with the applicant.
7. The Drainage Report was scanned. There will be minor comments.



P.O. Box 19768
Boulder, CO 80308-2768
Office: 303-652-3571

CTC Connection
Feasibility Study
FINAL - July 2013

Executive Summary

The Fox Tuttle Transportation Group, LLC (FT) worked with the Colorado Technology Center Metro District (CTC), property owners adjacent to CTC, and multiple departments within the City of Louisville (City) joined together to prepare a feasibility study for a new connection from CTC to 96th Street. This feasibility study completed the following tasks:

- established a clear purpose and need statement for the proposed connection,
- identified design alternatives for new connections including reconfiguration of 96th Street,
- conducted a preliminary engineering assessment of the connection alternatives,
- prepared a travel forecast for future travel demand associated with the CTC (base year and 2035),
- evaluated the alternatives using safety, economic, and mobility performance measures, and
- provided initial cost planning for the recommended alternative.

As part of this process FT worked with stakeholders to evaluate the potential alternatives and reach consensus for a recommended design. This included working with stakeholders at two workshops to review technical information, document input, and collectively rank the potential alternatives. The results of the data collection and other details can be found in the feasibility study.

The recommended alternative is to construct a new intersection on 96th Street, just north of the BNSF structure, that would connect to a new roadway in the northwest corner of CTC. The recommended alternative would be designed using state and federal design criteria. Based on the results of this study it meets the objectives in the purpose and need statement and it was the top ranked alternative based on ten performance measures. The recommended alternative should proceed with detailed engineering and fund raising. These steps will require on-going collaboration between the stakeholders who participated in the study to ensure the project can achieve the intended purpose and need.

1. Purpose and Need

The Colorado Technology Center Metro District (CTC), property owners adjacent to CTC, and multiple departments within the City of Louisville (City) to study roadway options that could connect CTC to one of Louisville's major economic and transportation corridors; South 96th Street. The CTC and the City worked with a technical team to identify and evaluate roadway alignments in the **northwest area** of CTC that meet current safety measures for all modes of travel, provide new economic development opportunities, and improve additional multimodal travel choices between the CTC and other destinations in the City and region.

This study identifies alignment options, performance measures, and conceptual costs for new connections to 96th Street. The decisions about constructing and funding the connection will occur at a later date.

Figure 1: CTC Context Map



Figure 2: view of potential connection from 96th Street to CTC



2. Connection Analysis

A. Technical and Consensus Building Process

Staff from FT conducted multiple field visits, two stakeholder meetings, and technical analysis in conjunction with multiple City departments as part of this study. The study was completed over a six-week period between April and May 2013. A stakeholder committee provided input and strategic direction during this process. The committee included adjacent property owners, CTC property owners, CTC district managers, City planning staff, and City engineering staff.

The stakeholder committee held a kick-off meeting in April 2013 to prepare the project's purpose and need statement (see section 1) and document existing conditions around the CTC. After this meeting FT staff collected new traffic counts, speed studies and conducted multiple days of field analysis in the 96th Street corridor. This work included assessment of the existing roadway geometries, sight distances, and accident history. A second meeting with the stakeholder committee was conducted in May 2013 to review connection alternatives and evaluate each based on performance measures. The details of the work completed during this process are provided in this section. Additional technical information is available in a technical appendix.

Figure 3: April 2013 kickoff meeting



B. Opportunities and Challenges Summary

The following provides a summary of existing conditions, opportunities, and challenges in the northwest section of CTC near 96th Street. This information was prepared in conjunction with the project stakeholders at the kick-off meeting in April 2013.

Figure 4: Opportunities and Challenges Summary Map



1. All alternatives should include safety analysis for all modes
CTC would like to explore this as a "new gateway"
Evaluate traffic control alternatives
Evaluate left turn movements - specifically for RTD route
2. Consider the role of deceleration lanes
Bridge deck has 50' of surface to consider
Existing bridge rail limits north bound sight distance visibility
Consider widening bridge to allow Coal Creek Trail across BNSF
3. Average accidents per year in this area on 96th Street = 1
Traffic signal not currently warranted
4. Future traffic signal for tennis center (1/2 mile south of bridge)
Average daily traffic on 96th Street = 20,000
5. Steep down grade on west side of road
Steep up grade on eastside of road
Average daily traffic on 96th Street = 15,000
6. Future roundabout at SH 42/Lock
(1/4 mile north of RR bridge)
Average daily traffic on 96th Street = 15,000
7. Work with north side property owner
8. Work with south side property owner
9. Explore intersection reconfiguration "Y", "T", or roundabout
Work with property owners to plan intersection
10. Explore Arthur Ave extension to the west to S. 96th Street
11. Explore Arthur Ave northwest realignment to S. 96th Street

C. Existing Traffic, Speed, and Accident Conditions

Traffic and speed studies were conducted in April 2013 to document existing conditions on 96th street between County Road and Highway 42. The data was collected mid-week in April 2013 during dry weather conditions. Bicycle counts were not collected, but will be referenced from the 42 Gateway Alternatives Analysis if needed for future analysis.

City of Louisville staff obtained accident history data from the City's police department database for 96th Street between Highway 42 and Dillon Road (excluding the end intersections). Accident history from 2005 to 2012 was analyzed. There was an average of 1 accident per year, most occurred in the vicinity of the County Road intersection, during this 7-year time period with no documented personal injuries.

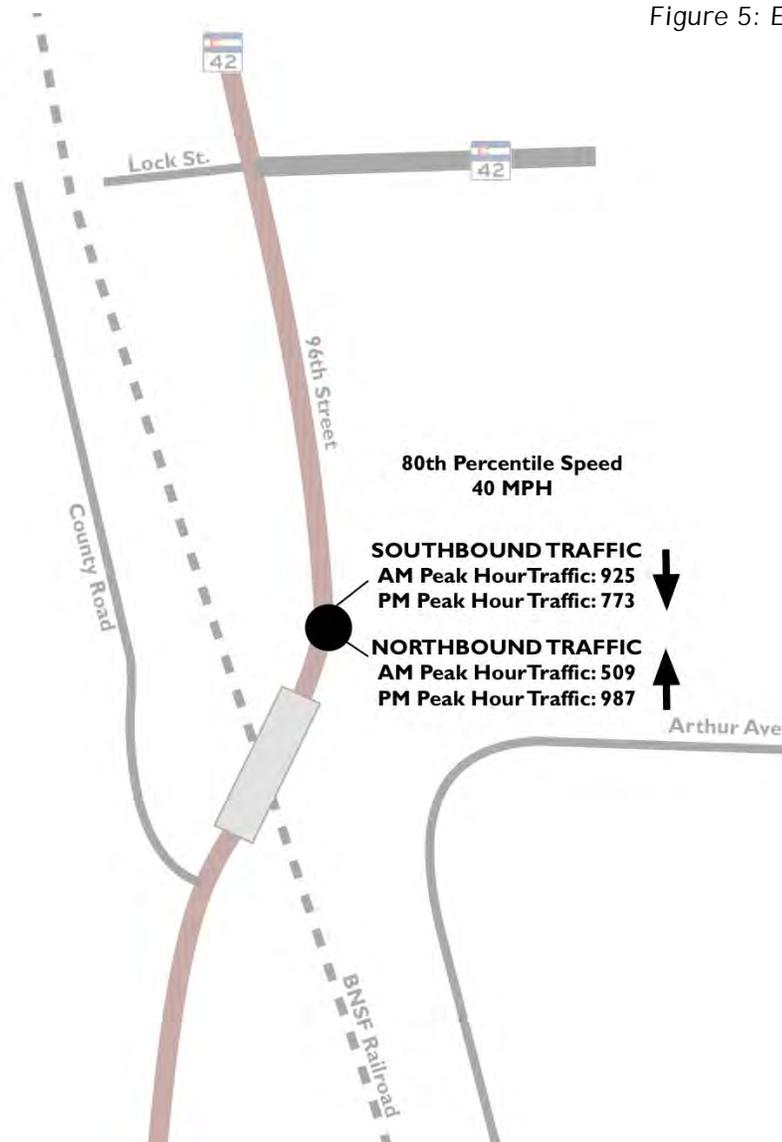


Figure 5: Existing traffic counts

D. Existing Roadway Geometry and Classification

The existing configuration of 96th Street between Highway 42 and Dillon Road is a 3-lane roadway section that has a varying pavement width of 44' to 50'. The narrowest pavement width (44') is located on the structure over the BNSF railroad tracks. Larger widths are found north and south of the structure with varying shoulders accounting for most of the size difference. The motor vehicle travel lanes include one northbound, one southbound, and a center median. The center median is expanded at the County Road intersection to provide a left turn lane for northbound vehicles turning west onto County Road.

There are shoulders on both sides of the travel lanes that are used by bicyclists. This section of 96th street is part of the regional on-street bike route network that connects Broomfield to Longmont. There are no sidewalks or transit stops present in the corridor. There is no RTD bus service in this section of 96th Street.

The City of Louisville currently classifies this section of 96th Street as an Arterial Corridor. Although this roadway is not under CDOT's jurisdiction, the city's engineering staff and FT found this section of 96th street most compatible with CDOT's NR-B design classification. This was due to the current posted speed limit, roadway

geometry, intersection spacing, and adjacent land use context.

Figure 6: Site Photographs

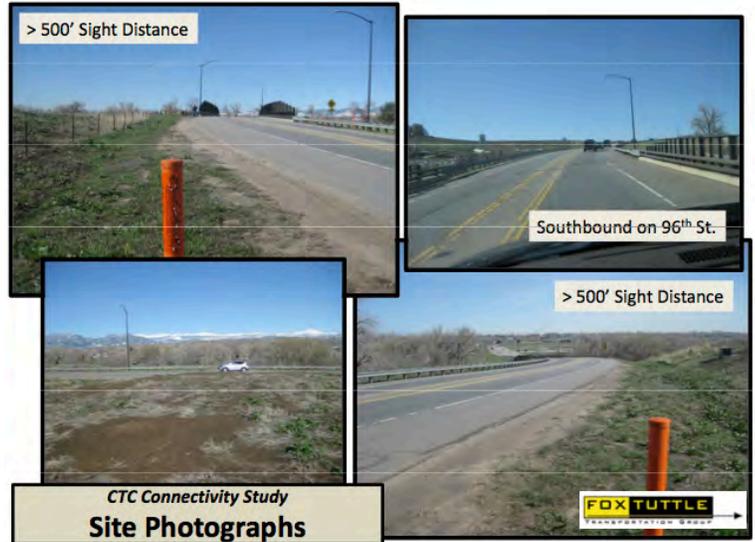
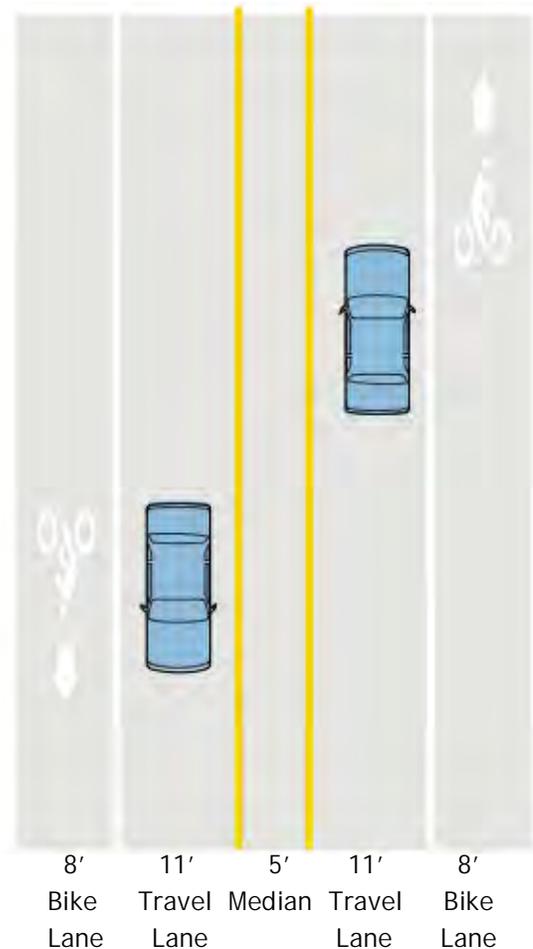


Figure 7: Existing Bridge Geometry



E. Roadway Design Alternatives

FT staff worked with the stakeholders to identify several design alternatives for a potential roadway connection between the northwest area of the CTC and 96th Street. The alternatives were based on the existing conditions, opportunities, and challenges documented in the prior section.

The following design alternatives would connect to a new intersection at 96th street based on the plan shown later in this section. The roadway connection alternatives have consistent right of way requirements and would meet the City's engineering standards for local streets in the CTC.

During the duration of the study six different design alternatives were considered. Two of the designs were initially screened out of consideration due to economic impacts, motor vehicle safety, and private property impacts. The following alternatives passed the initial screening and were evaluated using performance measures with the stakeholders found later in this document.

Figure 8: Property ownership and dimensions

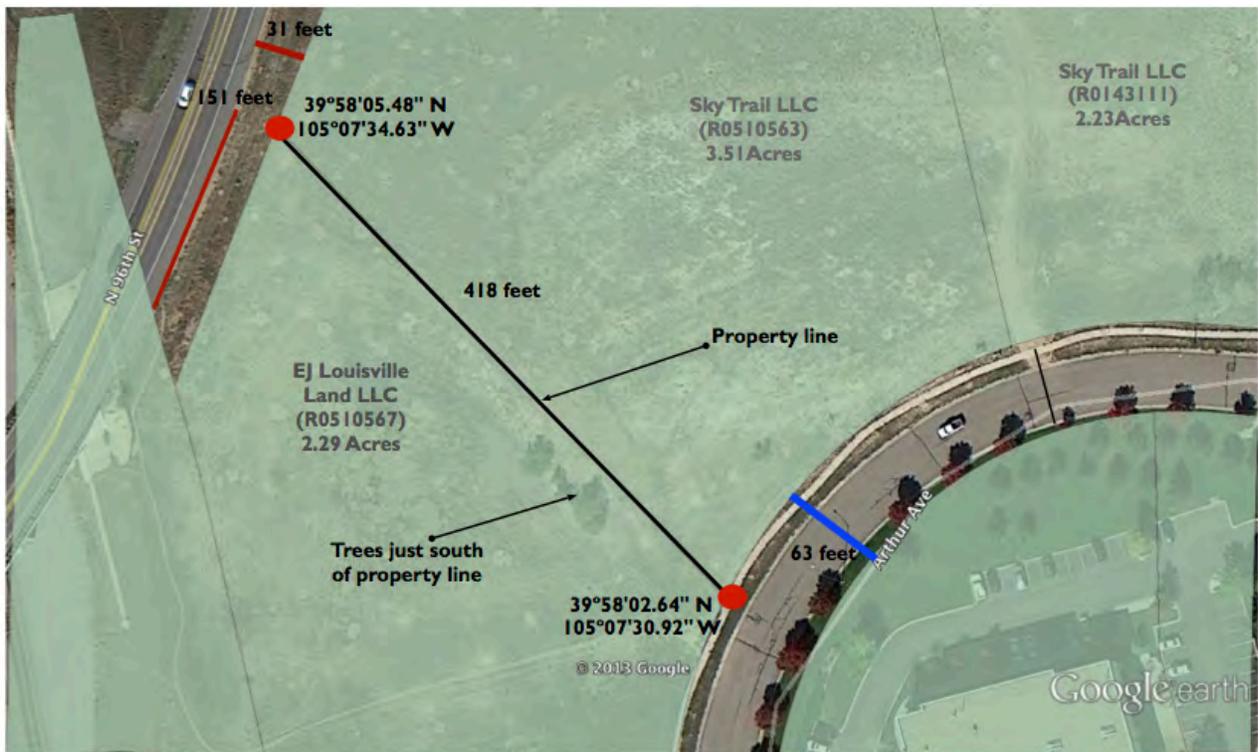


Figure 9: Alternative 1



Figure 10: Alternative 2



Figure 11: Alternative 3



Figure 12: Alternative 4

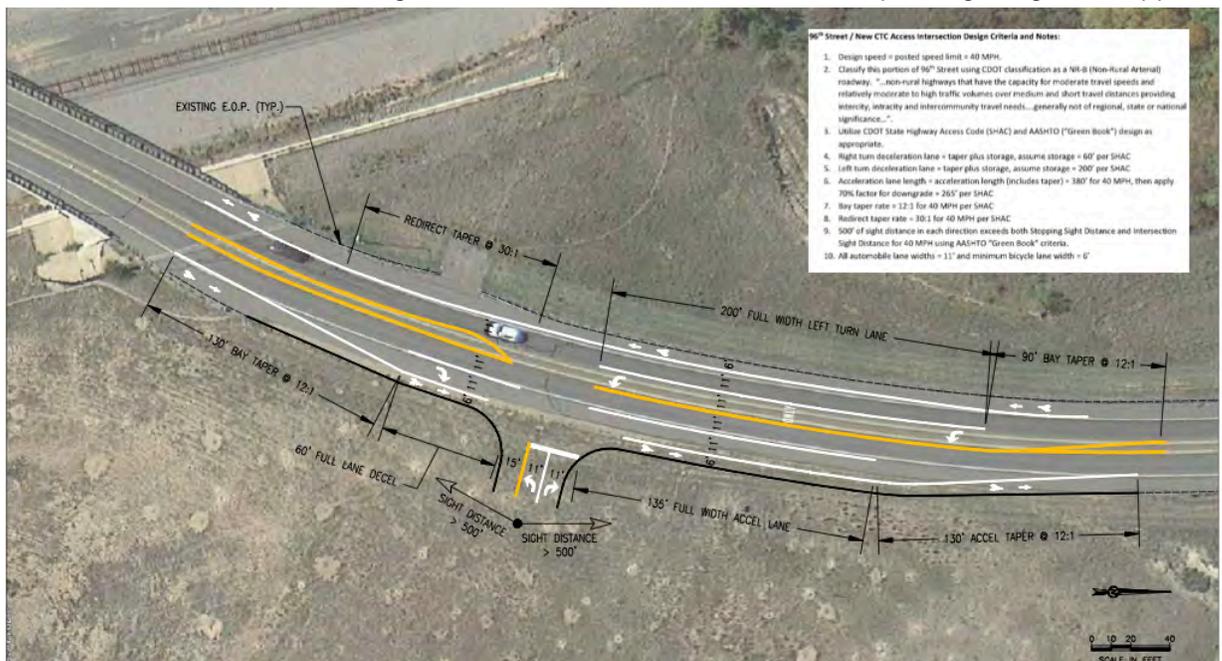


F. Intersection Design

The City’s engineering department and FT staff identified an intersection design that would work with each of the CTC roadway connection alternatives. The new intersection is based on CDOT’s NR-B design standard, CDOT State Highway Access Code, and the Federal Highway Administration’s (FHWA) *A Policy on Geometric Design of Highways and Streets*. The intersection design includes the necessary traffic control, sight visibility, turning requirements, and other safety design features recommend by both of these documents.

This new intersection would be located just north of the BNSF structure and south of the Coal Creek structure. It is located between the Sky Trail LLC (R0510563) and EJ Louisville (R510567) parcels to minimize property impacts. The intersection design would incorporate a new left turn lane to allow vehicles to make a left turn from southbound 96th Street into the CTC. The design would also allow vehicles to exit the CTC by making a left turn to head southbound and a right turn to head northbound. The design would convert the existing shoulders into full bike lanes with proper ground markings in both directions near the intersection. It would also provide acceleration and deceleration lanes for vehicles entering and leaving the CTC. The southbound left turn lane is located on a grade that is similar to other intersection in Boulder County (South Boulder Road and 76th Street) and has storage for at least 10 vehicles. The design would require new pavement on the eastside of 96th Street and should require minimal grading once the adjacent parcels are graded. The traffic control at this intersection is described in the next section.

Figure 13: 96th Street Intersection Concept (larger figure in appendix)



G. Future Traffic and Intersection Analysis

The City's engineering and planning department collaborated with FT staff to prepare a traffic forecast. The traffic forecast considers two factors. The first consideration is the additional development that will occur in the CTC over the next 20 years. The additional development will generate additional travel demand for walking, bicycling, transit, truck, and motor vehicle travel. The second consideration is the redirection of motor vehicle trips that will occur if the new CTC connection is constructed. The new CTC connection has the potential to redirect trips from existing roadways and intersections near the CTC. The following assumptions were used in this analysis:

- The City's planning department and CTC staff provided two scenarios for growth in the CTC over the next 22 years. Scenario A has an additional 500,000 square feet of development added between 2013 and 2035. Scenario B has 1,000,000 square feet of development added between 2013 and 2035.
- The new CTC connection is forecasted to serve 17% of the CTC traffic that is bound for the CTC. This would include 15% traveling to/from the north of the CTC on 96th Street and 2% that are traveling to/from the south on 96th Street. This information is based on FT's review of previous traffic studies completed, assumptions of regional traffic patterns in this area and a network connectivity analysis of the existing road network in the CTC.
- The traffic associated with future CTC development is shown in Figure 14. The trip generation tables for each scenario are provided in a technical appendix. Under future scenarios A and B a new traffic signal is warranted. If the intersection is constructed prior to the future scenarios, an additional analysis of traffic conditions should be completed to determine if a signal is warranted at the time of construction. The necessary conduit and signal pole boxes should be installed when the intersection is constructed to ensure the signal can be installed in the future (even if it is not warranted in the near term).
- The *42 Gateway Alternatives Analysis Report* identified a new roundabout at Lock Street and the *St. Louis Parish Traffic Impact Study* for the tennis center indicates a new traffic signal at the center entrance. Both of these intersections would be more than a ¼ mile from the new intersections for the CTC connection.

Figure 14: Turn movements at new intersection

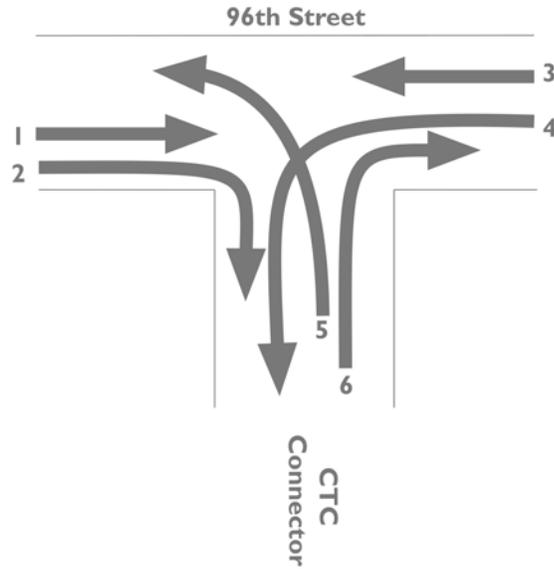


Figure 15: AM peak hour trip generation

Movement	2013 Existing	2035 SCENARIO A	2035 SCENARIO B
1	509	525	525
2	0	40	50
3	925	850	850
4	0	310	370
5	0	5	10
6	0	40	50

Figure 16: PM peak hour trip generation

Movement	2013 Existing	2035 SCENARIO A	2035 SCENARIO B
1	987	1,030	1,030
2	0	5	10
3	773	790	790
4	0	45	60
5	0	45	50
6	0	325	390

3. Measures of Success

FT staff worked with stakeholders to evaluate the connection alternatives based on a series of performance measures. The performance measures are based on details in the purpose and need statement and mobility goals identified in the recently adopted *City of Louisville Comprehensive Plan Update*. The table below shows the final scoring from stakeholders for the four roadway alignment alternatives that passed the initial screening.

Figure 17: Performance measures

Project Goals	Alt #1	Alt #2	Alt #3	Alt #4
Provides an "entry gateway" to CTC				
Minimize property encroachment				
Meets peer design standards				
Cost of new intersection and roadway connection		best		
Supports economic development objectives	least effective/ most impact	best	better	
Transit Access				
RTD ease of access	best		better	
Truck Access				
Accommodates truck movements			perception challenge	
Traffic Circulation				
Ability to accommodate future traffic volumes		better	best	
Private Property Access				
Private property encroachment		best	better	
Results in undevelopable land		best	better	

Stakeholder Scoring

5

10

8

4

Yellow Cells - not consistent with measure

Green Cells - consistent with measure

4. Recommendation

Alternative 2 with the proposed 96th Street intersection is the recommended alternative based on the findings of this planning and preliminary engineering study. Alternative 2 is most compatible with the project's purpose and need statement, ranked the highest based on the performance measures, and fits within state and federal design guidelines. The following list of considerations has been prepared to support the recommendation to proceed with additional engineering evaluation of Alternative 2.

- The new 96th Street intersection will require winter maintenance priority similar to other intersections in the city that have 4% grades.
- The new 96th Street intersection will require a traffic signal to ensure safe and efficient movements to the new CTC connection. The signal will need to be installed at the same time the new CTC connection is completed based on our projections that it is warranted when the new connection is available.
- The Sky Trail, LLC and EJ Louisville, LLC property owners will need to work together with the CTC on a grading plan for the Alternative 2 alignment and the adjacent properties.
- Sidewalk connections along the new CTC connection will need to integrate into the proposed connection to the Coal Creek Trail to the north of the new CTC connection along the eastside of 96th Street.
- Any development approvals for the Sky Trail, LLC and EJ Louisville, LLC properties that are adjacent to the new intersection at Arthur Drive and the CTC connection should include setbacks and flexible parking requirements that allow for the addition of a roundabout if desired in the future (as shown in alternative 3).

Figure 18: Recommended Alternative (larger figure in appendix)



5. Cost Planning

The recommended alternative will require additional engineering to determine actual costs for grading and design elements. The preliminary engineering completed during this study provides planning level information to determine preliminary costs to complete this project. The stakeholders who participated in this study will continue to collaborate and identify funding sources and agreements that allow this connection to be constructed to meet the project's purpose and need statement.

Figure 19: Preliminary Planning Cost Estimate

Design Element	Materials Required	Estimated Total
96 th Street eastside pavement installation, restriping travel lanes, and signage	New road base, asphalt, road lighting, striping, and signage	\$100,000
96 th Street traffic signal	New signal equipment and installation	\$300,000
Alternative 2 installation	420' of new grading, road base, asphalt, lighting, striping, drainage, sidewalks, transit stops, and signage	\$500,000
Design Fees	10%	\$75,000
Contingency	TBD	\$50,000
Estimated Total		\$1,025,000

- ITEM:** Case #16-004-FP, Kestrel PUD – 1st Amendment
- PLANNER:** Robert Zuccaro, Director of Planning and Building Safety
- OWNER:** Boulder County Housing Authority
2525 13th Street
Boulder, CO 80306
- APPLICANT:** Boulder County Housing Authority
2525 13th Street
Boulder, CO 80306
- ZONING:** Planned Community Zone District – Commercial/Residential
(PCZD – C/ R)
- LOCATION:** 245 North 96th Street
- TOTAL AREA:** 13.404 acres
- REQUEST:** Resolution 13, Series 2016, a resolution approving an amendment to the Kestrel PUD to allow for nine additional residential units in Planning Area A



BACKGROUND:

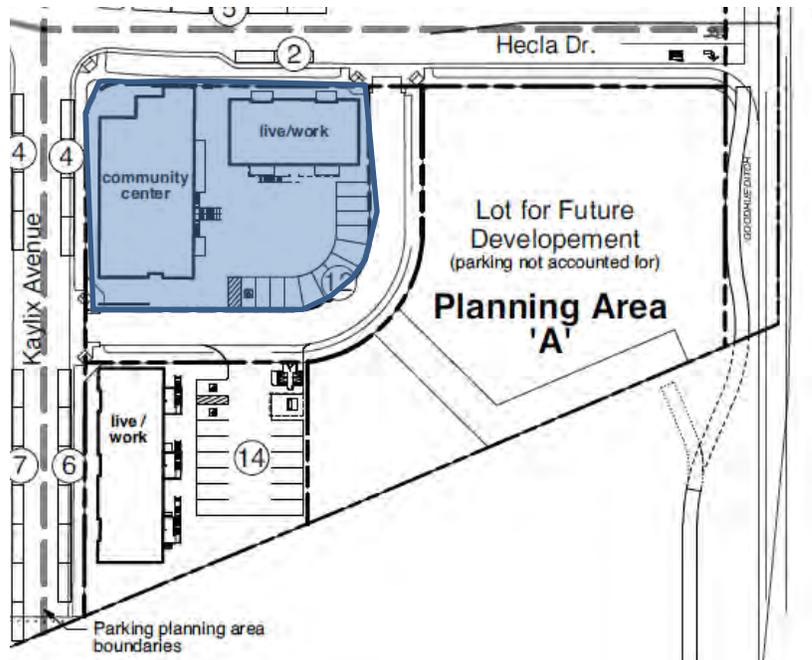
The property is located northwest of the South Boulder Road and Colorado State Highway 42 (96th Street) intersection, north of Christopher Village, east of Steel Ranch, South of the Davidson Highline Subdivision, and west of the Balfour Senior Living.

In 2015, the City approved the voluntary annexation of “245 North 96th Street” by Ordinance 1679, Series 2015 and Resolution 13, 2015. The ordinance annexed the property while the resolution approved the terms of the annexation agreement between the City and the Boulder County Housing Authority. Ordinance 1680, Series 2015 adopted the General Development Plan (GDP) that defined the property’s zoning as Planned Community Zone District (PCZD) with both commercial and residential areas.

The preliminary Subdivision Plat and Planned Unit Development (PUD), approved by Resolution 45, Series 2015, included 231 residential units and up to 18,406 sf of commercial development. The final Subdivision Plat and final PUD, approved by Resolution 89, Series 2015, allowed the development of 191 residential units and up to 5,977 sf of commercial development, reserving three lots for future development. Concurrent with the final PUD approval, City Council approved an amendment to the GDP by Ordinance 1710, Series 2015 to increase the allowed commercial development from 18,406 sf to 64,468 sq. ft. and shift 13 of the 231 residential units to other planning areas of the GDP.

REQUEST

The applicant requests a PUD amendment to allow nine additional residential units within Planning Area A. The proposal would increase the overall number of allowed residential units within Planning Area A to 25 and increase the overall allowed number of residential units in all planning areas within the PUD to 200. The GDP allows a total of 28 residential units within Planning Area A and 231 units in all planning areas. Four of the nine proposed units would be located on the ground floor of the live/work building, replacing the commercial area of this building. The live/work building would also be modified from a two-story to three-story building. The remaining five units would be located within the community center building, which would be changed from a one-story to a two-story structure in order to accommodate the additional units. All of the units would be one-bedroom.



STAFF ANALYSIS

Site Plan

There are no changes proposed to the site plan other than the addition of one parking space accessed from the private access drive connecting Kaylix Avenue to Hecla Drive. The additional units would be incorporated as an additional story above the community center and live/work buildings with no change to the building footprints.

Circulation and Parking

There are no changes proposed to the street network or circulation.

Standard parking requirements for this zone district are found in LMC Section 17.20 for the residential portions of the development and the City’s Community Development Design Standards and Guidelines (CDDSG) for the commercial portions of the development. However, the applicant received a waiver to these standards with the approval of the original PUD that follows the Louisville’s Mixed Use Development Design Standards and Guidelines (MUDDSG) with some modifications as noted below.

Parking Requirements

Use Category	Amount of Off-Street Parking Spaces Required
1 BR unit	0.75 space per unit ¹
2 BR unit	1.5 spaces per unit ¹
3 BR unit	1.5 spaces per unit ¹
Restricted to aged	0.75 space per unit ¹
Additional guest	1 space per 8 units ³
Public assembly (civic uses)	1 space per 800 sf ²
Commercial (retail)	2 space per 300 sf ³
Commercial (offices)	1 space per 500 sf ³

Notes:

¹ Multifamily - proposed 25% reduction to the code MU-R District (Louisville).

² Community center - proposed 50% reduction to the code MU-R District (Louisville).

³ No reduction to the code MU-R District (Louisville).

A total of 31 parking spaces would be required for Planning Area 1 under the proposed PUD amendment. This is the same number for Planning Area 1 that was required under the original PUD. The increase in residential units and reduction in commercial space proposed result in no net change in the overall number of parking spaces required. Of the 31 parking spaces required, 26 are proposed to be located off-street and 12 are proposed on street. Three off-street ADA compliant spaces are provided.

Uses and Parking Requirements				Spaces Provided			
Building Use / Types and Designated Parking Areas	No. of Units or S.F. Area	Spaces per Requirements	Off-Street Spaces Standard	Off-Street Spaces ADA	On-Street Spaces	Total Spaces Provided	
Planning Area A							
Live/work	1 BR unit	19	14	10	2	2	
	2 BR unit	6	9	9			
Guests			3		3		
Community center	assembly spaces	2276 sf	3	2	1		
	staff	601 sf	2	2			
Central mail pick-up					2		
On-street (12 total)					5		
<i>Sub-Total</i>		25	31	23	3	12	38
Planning Area B							
Multi-family	1 BR unit	20	15	16	1		
	2 BR unit	12	18	18	2		
	3 BR unit	12	18	21			
Guests		6	6				
Senior housing	71	53	53	2			
staff		4	4				
guests		9	9	7	2		
On-street (13 total)						24	
<i>Sub-Total</i>		115	123	125	7	24	156
Planning Area C							
Multi-family	1 BR unit	18	14	10	4		
	2 BR unit	12	18	18			
	3 BR unit	12	18	18			
Guests		8	8	3	4		
On-street (11 total)						12	
<i>Sub-Total</i>		42	56	48	4	16	68
Planning Area D							
Multi-family	1 BR unit	8	8	6			
	2 BR unit	4	6	6			
	3 BR unit	6	9	8	3		
Guests		3	3		3		
On-street (22 total)						19	
<i>Sub-Total</i>		18	24	18	3	22	
Grand Total		200	234	214	17	74	305
Summary							
			Parking Spaces Required		Parking Spaces Provided		
					214	Off-Street Standard	
					17	Off-Street ADA	
					74	On-Street	
			234		305	Total	

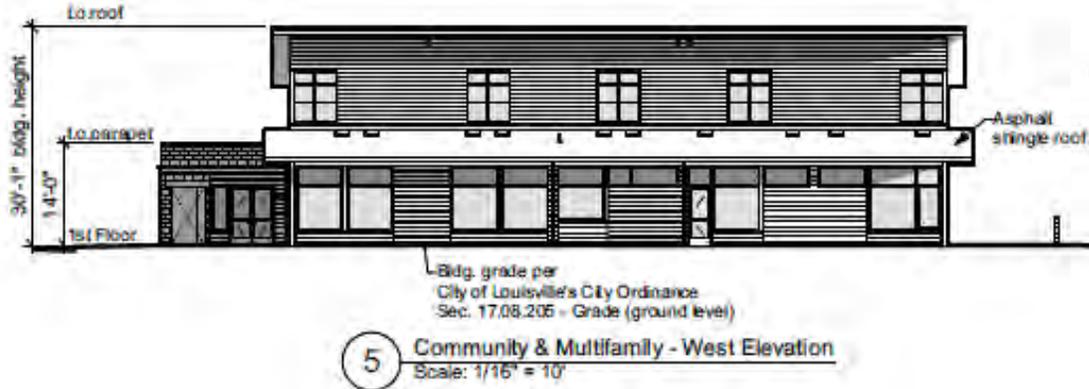
Building Architecture

The yard and bulk standards contained in the proposed GDP amendment along with the City's Commercial Development Design Standards and Guidelines (CDDSG) regulate the architectural standards for commercial properties. The City does not have architectural design standards for residential development applicable to this proposed project. The GDP allows 2-3 stories for Planning Area A with no maximum height specified. The GDP states that roof forms are required to have a mix of pitched, sloped or flat roof types that vary in orientation in order to achieve a dynamic skyline.

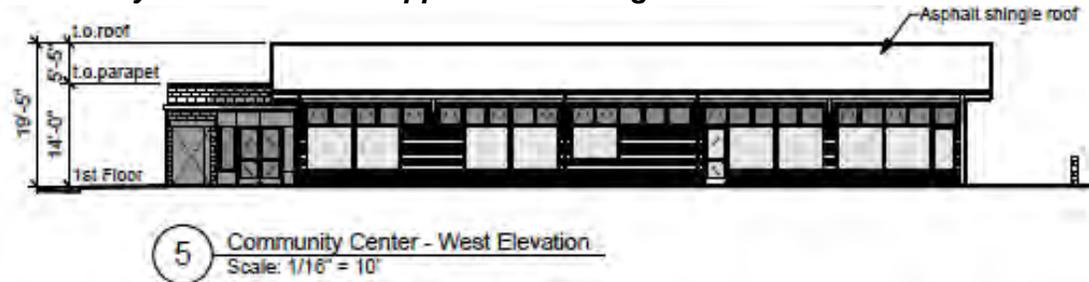
A stepped-back second story would be added to the community center to accommodate five of the nine proposed residential units. Building height would increase from 19'-5" to 30'-1". Staff finds that the community center provides varying roof surfaces and orientations meeting the GDP requirements for roof form. The building includes a mix of

fiber cement lap siding, fiber cement ship lap siding, corrugated metal siding and concrete block veneer.

Proposed community center elevations:



Community center elevation approved with original PUD:

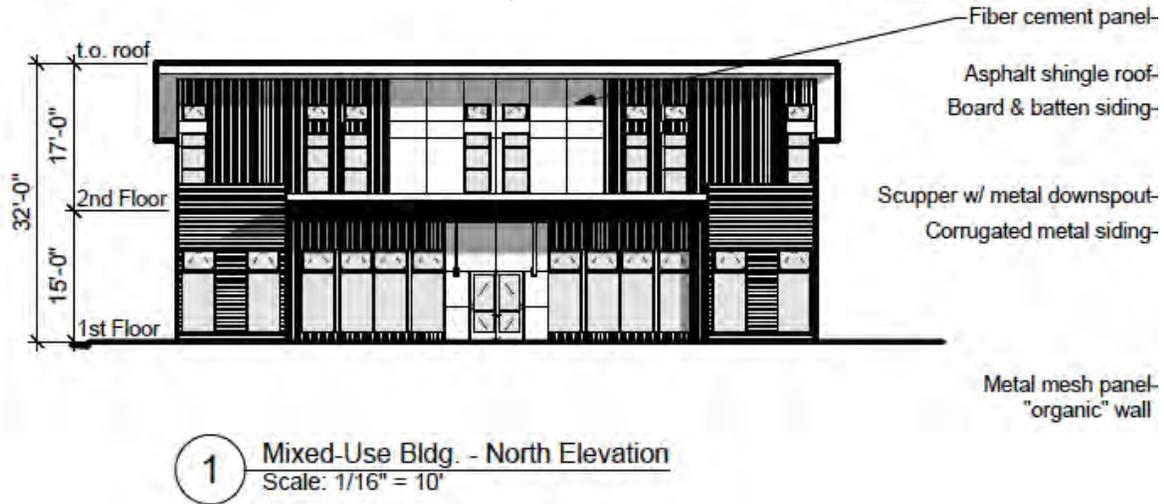


A third story will be added to the work/live building to expand the number of residential units by four. The new one-bedroom units will be placed on the ground floor. Building height would increase only slightly from 32'-0" to 32'-8" due to a decrease in ceiling heights. Staff finds that the community center provides varying roof surfaces and orientations meeting the GDP requirements for roof form. The building includes a mix of fiber cement lap siding, fiber cement ship lap siding, corrugated metal siding, concrete block veneer and asphalt shingle roofing.

Proposed live/work building elevation:



Live/work elevation approved with original PUD:



PUBLIC COMMENT

Staff posted the property and mailed a public notice all properties owners within 500-feet. No comments have been received as of the publishing of this report.

STAFF RECOMMENDATION

Staff recommends Planning Commission approve Resolution 13, Series 2016, a resolution approving an amendment to the Kestrel PUD to allow for nine additional residential units in Planning Area A.

ATTACHMENTS:

1. Resolution No. 13, Series 2016
2. Application
3. Request Letter
4. PUD Amendment
5. Kestrel Final Planned Unit Development
6. Takoda General Development Plan – 5th Amendment

**RESOLUTION NO. 13
SERIES 2016**

A RESOLUTION RECOMMENDING APPROVAL OF AN AMENDMENT TO THE KESTREL PLANNED UNIT DEVELOPMENT (PUD) TO ALLOW NINE ADDITIONAL RESIDENTIAL UNITS ON LOT 1 OF THE KESTREL SUBDIVISION

WHEREAS, there has been submitted to the Louisville Planning Commission an application for amendment to the Kestrel Planned Unit Development (PUD) to allow for nine additional residential units on Lot 1 of the Kestrel Subdivision.

WHEREAS, the City Staff has reviewed the information submitted and found that the application complies with the Takoda General Development Plan – 5th Amendment, Louisville zoning regulations, and other applicable sections of the Louisville Municipal Code; and;

WHEREAS, after a duly noticed public hearing on May 12, 2016, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated May 12, 2016, the Planning Commission finds the Kestrel PUD – 1st Amendment should be approved.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of an amendment to the Kestrel Planned Unit Development to allow nine additional residential units on Lot 1 of the Kestrel Subdivision.

PASSED AND ADOPTED this 12th day of May, 2016.

By: _____
Chris Pritchard, Chairman
Planning Commission

Attest: _____
Ann O'Connell, Secretary
Planning Commission

LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: Boulder County Housing Authority
 Contact: Norrie Boyd
 Address: 2525 13th St
Boulder, CO
 Mailing Address: PO Box 471
Boulder, CO 80306
 Telephone: (303) 441-1506
 Fax: _____
 Email: Nboyd@BoulderCounty.org

OWNER INFORMATION

Firm: Boulder County Housing Authority
 Contact: Norrie Boyd
 Address: 2525 13th St
Boulder, CO
 Mailing Address: PO Box 471
Boulder, CO 80306
 Telephone: (303) 441-1506
 Fax: _____
 Email: Nboyd@BoulderCounty.org

REPRESENTATIVE INFORMATION

Firm: Barrett Studio Architects
 Contact: Nicole Delmage
 Address: 1944 20th St
Boulder, CO 80302
 Mailing Address: Same
 Telephone: (303) 449-1141
 Fax: _____
 Email: Nicole@barrettstudio.com

PROPERTY INFORMATION

Common Address: 245 N 96th St
 Legal Description: Lot _____ Blk _____
 Subdivision TR South Central NBR 145 820
 Area: 13.404 Acres Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: _____
 This Final PUD Amendment submittal includes 9 additional units to the proposed "Kestrel" development to build affordable senior housing, affordable multifamily housing, and community center on the former Alkonis site is sequential to the Final PUD review process initiated in August 2015.

Current zoning: PCZD-C/R Proposed zoning: PCZD-C/R
 Boulder County City of Louisville

SIGNATURES & DATE

Applicant: Frank Alexander
 Print: Frank Alexander, BCHA 2/4/2016
 Owner: Frank Alexander
 Print: Frank Alexander, BCHA 2/4/2016
 Representative: Nicole Delmage
 Print: Nicole Delmage, BSA 2/4/2016

CITY STAFF USE ONLY

- Fee paid: _____
- Check number: _____
- Date Received: _____



Housing Authority

2525 13th Street, Suite 204 • Boulder, Colorado 80304 • Tel: 303.441.3929 Fax: 720.564.2283

February 4, 2016

Mr. Sean McCartney
Principal Planner
City of Louisville Department of Planning and Building Safety
749 Main Street
Louisville, CO 80027

Re: Request – Planned Unit Development Amendment for Kestrel PUD

Dear Mr. McCartney:

We are pleased to submit this request to amend the Kestrel Final Planned Unit Development (PUD). The intent of this request is to allow for an additional nine units of affordable housing on the site, a significant benefit to the Kestrel project, City of Louisville, and Louisville community. BCHA received unanimous approval in December 2015 to develop the property for affordable senior housing, multi-family housing, a community center, and neighborhood park and to develop one salable residential and two salable commercial parcels. We believe that this amendment request is consistent with the intent and spirit of the original Final PUD for the project.

The key components of this amendment request are outlined below:

1. Increase the number of units from 191 to 200.

BCHA is requesting an increase in the number of units from 191 to 200. The nine additional units would be located in Planning Area 'A', bringing the number of units provided in Planning Area 'A' to 25, within the 28 units permitted in the General Development Plan (GDP).

Of the nine additional units, four will be located on the ground floor of Building A, which formerly contained ground floor commercial with residential units on the second story. The remaining five additional units will be located on a stepped-back second story of the community-building, which has been modified from a single-story structure to two stories to accommodate the additional units. We believe that the second story is consistent with the rest of the PUD, as all other buildings are 2-3 stories in height.

Finally, all nine additional units are one-bedrooms, limiting the impact to the local schools and increasing housing availability for seniors and other small households. The need for these types of units was consistently heard throughout BCHA's community engagement process.

2. Updated parking strategy

The parking strategy has been updated to reflect the additional residential units and the omitted commercial square footage. The overall number of parking spaces required for Planning Area 'A' remains the same at 31. However, due to the additional residential units,

three of these spaces must now be located off-street. We were able to provide one of these additional spaces off-street, while the other two additional spaces have been allocated on-street.

Our intent in this strategy is to ensure that the project remains adequately parked while maintaining a high level of landscape and public space design. Overall, we were able to increase the parking count for the entire project by 1 space and are exceeding the approved reduced requirement of 234 spaces by 71, bringing the total to 305 parking spaces.

3. No changes to commercial square footage

The requested amendment does not change the amount of commercial square footage allowed under the GDP.

We look forward to working closely with the City and its referral agencies to complete the Final PUD Amendment. Thank you for your continued support of the Kestrel development.

Sincerely,

A handwritten signature in cursive script that reads "Norrie Boyd".

Norrie Boyd
Planning Division Manager

KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT - 1st AMENDMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

Development Summary					
Total Gross Property Area:					±13.404 Ac.
CO Highway 42 Right of Way Dedication:					±0.41 Ac.
Collector Street Right of Way Dedication:					±1.11 Ac.
Local Street Right of Way Dedication:					±0.82 Ac.
Ditch Easement:					±0.19 Ac.
Other Utility Easement:					±0.63 Ac.
Net Development Area:					±10.244 Ac.
Planning Area	Use	Gross Area	Units	Commercial SF	Density
Planning Area "A"	PCZD-C/R	±1.82 Ac. (18%)	28 D.U.	37,897 s.f.	15.4 D.U. / Ac.
Planning Area "B"	PCZD-R	±3.44 Ac. (33%)	115 D.U.	-	33.4 D.U. / Ac.
Planning Area "C"	PCZD-C/R	±2.85 Ac. (28%)	56 D.U.	26,571 s.f.	25 D.U. / Ac.
Planning Area "D"	PCZD-R	±2.13 Ac. (21%)	32 D.U.	-	15 D.U. / Ac.
TOTAL:	PCZD-C/R	±10.24 Ac. (100%)	231 D.U.	64,468 s.f.	22.6 D.U. / Ac.

Bulk and Dimension Standards

	Planning Area "A"	Planning Area "B"	Planning Area "C"	Planning Area "D"
Min. Lot Area	7,000 sf	7,000 sf	7,000 sf	7,000 sf
Min. Lot Width	60'	60'	60'	60'
Max. Lot Coverage	40%	40%	40%	40%
Building Setbacks				
Min. Front Yard Setback (Principle Uses)	See ROW Setbacks	See ROW Setbacks	See ROW Setbacks	See ROW Setbacks
Min. Side Yard Setback (Principle Uses)	3'	3'	3'	3'
Min. Side Yard Setbacks (Accessory Uses)	3'	3'	3'	3'
Min. Rear Yard Setback (Principle Uses)	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'
Min. Rear Yard Setbacks (Accessory Uses)	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'
Setback from Hwy 42 ROW	Parking: 40' min from PL (10' from ROW Easement) ¹ Building: 40' min from PL (10' from ROW Easement) ¹	N/A	Parking: 40' min from PL (10' from ROW Easement) ¹ Building: 45' min from PL (15' from ROW Easement) ¹	N/A
Setback from Collector Street ROW	Parking: 10' Building: 5' typical, 0' for 33% of façade up to 12' max. width ^{2,3}	Parking: 10' Building: 5' typical, 0' for 33% of façade up to 12' max. width ^{2,3}	Parking: 10' Building: 5' typical, 2' for 33% of façade up to 12' max. width ^{2,3}	Parking: 10' Building: 5' typical, 2' for 33% of façade up to 12' max. width ^{2,3}
Setback from Local Street ROW	Parking: 10' Building: 5' ³	Parking: 10' Building: 5' ³	Parking: 10' Building: 5' ³	Parking: 10' Building: 5' ³
Setback From Parks and Open Space	0'	0'	0'	0'
Min Building Separation	6'	6'	6'	6'
Max Building Height				
Principle Uses	2-3 stories ^{4,5}	2-3 stories / 50' max. height ^{1,4,5}	2-3 stories ^{4,5}	2-3 stories ^{4,5}
Accessory Uses	30'	30'	30'	30'

¹ The 50' max building height accommodates the specific instance in Planning Area B where a two-three story residential building with basement level garage parking access is proposed in a location where the height is compatible with building height precedents on the adjacent property.
² The 33% portion of the multi-family building façade with 2' setback shall be angled and have a maximum width of 12' to maintain pedestrian mass and scale along the street front.
³ Stoop, steps, covered porch, awning, or sunshading elements are permitted within the 5' setback.
⁴ Third floors of multifamily buildings shall step back a minimum of 5' for a minimum of 50% of any given frontage.
⁵ Roof forms shall have a mix of pitched, sloped, or flat roof types that vary in orientation for a dynamic skyline.
⁶ Boulder County Housing Authority shall work with the Goodhue Ditch Company to finalize the necessary easement and setback agreements.

General Notes and Standards - All Planning Areas

- Four distinct Planning Areas are proposed within 245 North 96th Street, as follows:
 Planning Area "A": PCZD-C/R "excluding automobile service stations"
 Planning Area "B": PCZD-R
 Planning Area "C": PCZD-C/R "excluding automobile service stations"
 Planning Area "D": PCZD-R
- Required public land dedication is 15% of the gross residential area and 12% of the gross non-residential area for a total of 1.98 acres.
- Multi-use regional and local trail connections shall be made per the Louisville comprehensive trail system and design standards and coordination with the construction of the Hwy 42 trail underpass to the northeast of the property.
- As outlined in the Comprehensive Plan, West Hecla Drive is a collector street and Kaylix Avenue is a local street that will provide much needed and improved access to adjacent residential and commercial neighborhoods while taking pressure off Hwy 42. In addition to making connections north to south and east to west through the site a traffic signal at the intersection of West Hecla Drive and Hwy 42 shall be constructed as part of a cost share program as proposed in the Annexation Agreement between BCHA and the City of Louisville.
- The Goodhue ditch, sections of which are open, shall be piped as part of this development. Boulder County Housing Authority will enter into a separate agreement with the Goodhue Ditch Company.
- Pavement marking is conceptual and will be installed when warranted and as directed by the City of Louisville.

Sheet Index

- Cover Sheet, Master Plan & General Notes
- Public Lands Dedication
- Parking
- Master Landscape Plan
- Community Center, Live-Work & Mixed-Use Building Elevations
- Site 3B Photometric Plan

City Council Signature Block

APPROVED THIS _____ DAY OF _____, 201____ BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, CO. RESOLUTION NO. _____ SERIES _____

MAYOR _____

CITY CLERK _____

Planning Commission Certification

APPROVED THIS _____ DAY OF _____, 201____ BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, CO. RESOLUTION NO. _____ SERIES _____

CHAIRMAN _____

SECRETARY _____

Clerk & Recorder Certificate, County of Boulder, State of Colorado

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT O'CLOCK, _____ M., THIS _____ DAY OF _____, 201____ AND IS RECORDED IN PLAN FILE _____ FEE: _____ PAID _____ FILM NO. _____ RECEPTION _____

CLERK _____

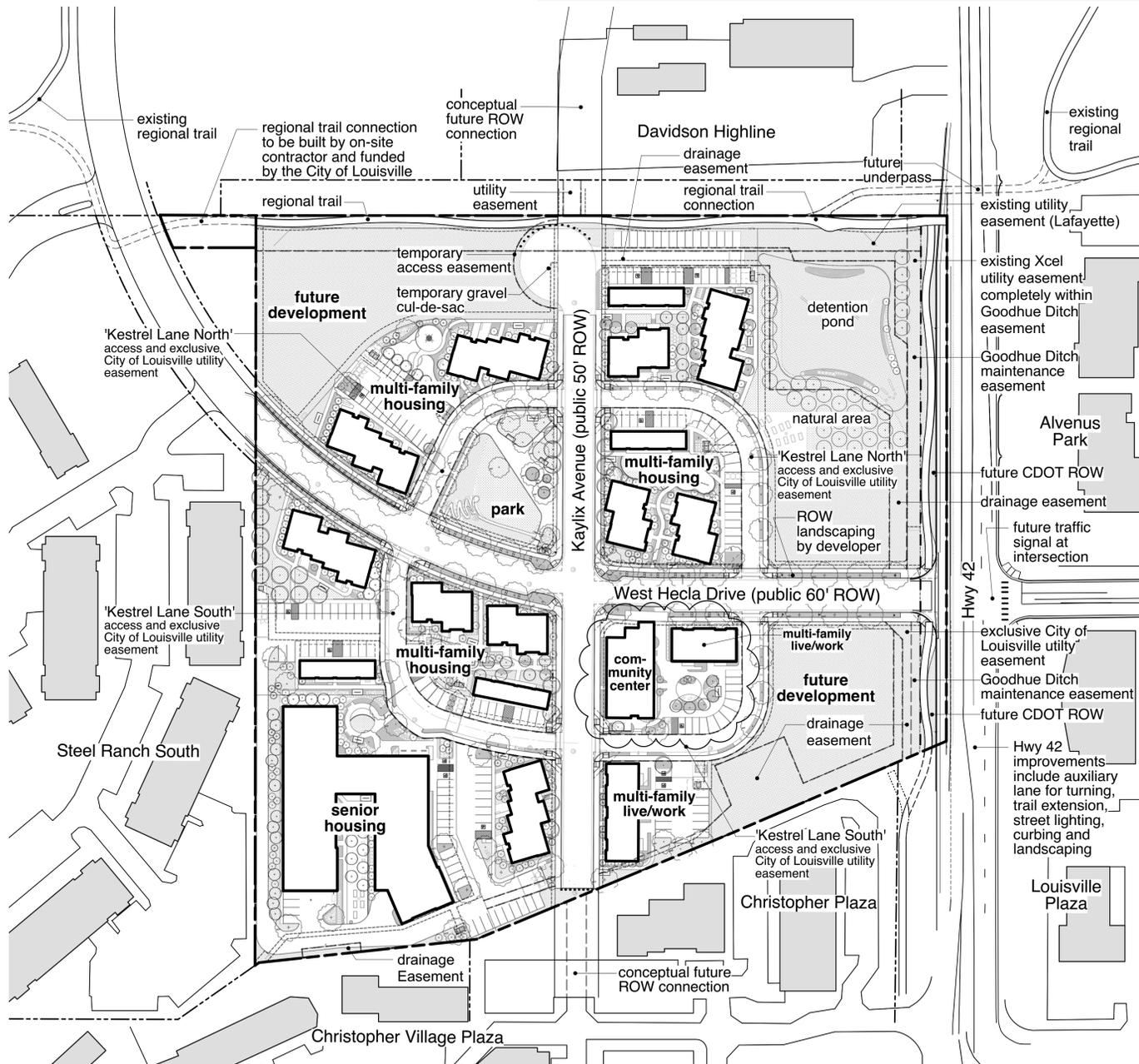
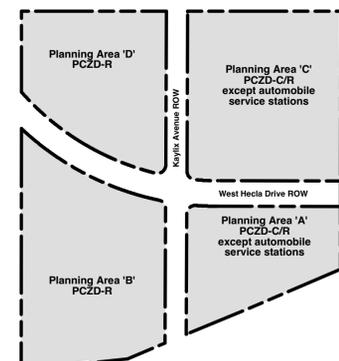
DEPUTY _____

Ownership Signature Block

BY SIGNING THIS PRELIMINARY PDP/PUD, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH BY THIS PDP/PUD. WITNESS OUR HANDS AND SEALS THIS _____ DAY OF _____, 201____.

OWNER - Boulder County Housing Authority

Planning Area Reference Map



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COVER SHEET MASTER PLAN & GENERAL NOTES

Drawing Number:

KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT - 1st AMENDMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

Land Summary Table				
Outlot / Tract	Area ± Ac.	Ownership	Primary Uses	Maintenance ¹
1	0.114	City of Louisville	Regional Trail	City of Louisville
2	0.124	City of Louisville	Regional Trail	City of Louisville
3	0.413	BCHA	Right of Way / Existing Goodhue Ditch Company Easement / Regional Trail	BCHA: landscaping and snow removal on sidewalk City of Louisville: sidewalk repair and replacement CDOT: roadway
4	0.399	BCHA	Public Park	BCHA
5	0.643	BCHA	Common Open Space, Drainage, Ditch Maintenance and Water Line Easements	BCHA
Tract				
A	0.202	BCHA	Private Drive is Private Common Open Space w/ Public Access and Exclusive City of Louisville Easement	BCHA
B	0.251	BCHA	Private Drive is Private Common Open Space w/ Public Access and Exclusive City of Louisville Easement	BCHA
C	0.157	BCHA	Private Drive is Private Common Open Space w/ Public Access and Exclusive City of Louisville Easement	BCHA
D	0.229	BCHA	Private Drive is Private Common Open Space w/ Public Access and Exclusive City of Louisville Easement	BCHA
E	0.436	BCHA	Private Drive is Private Common Open Space w/ Public Access and Drainage Easement	BCHA

¹ Specific maintenance responsibilities will be outlined in the Subdivision Agreement.

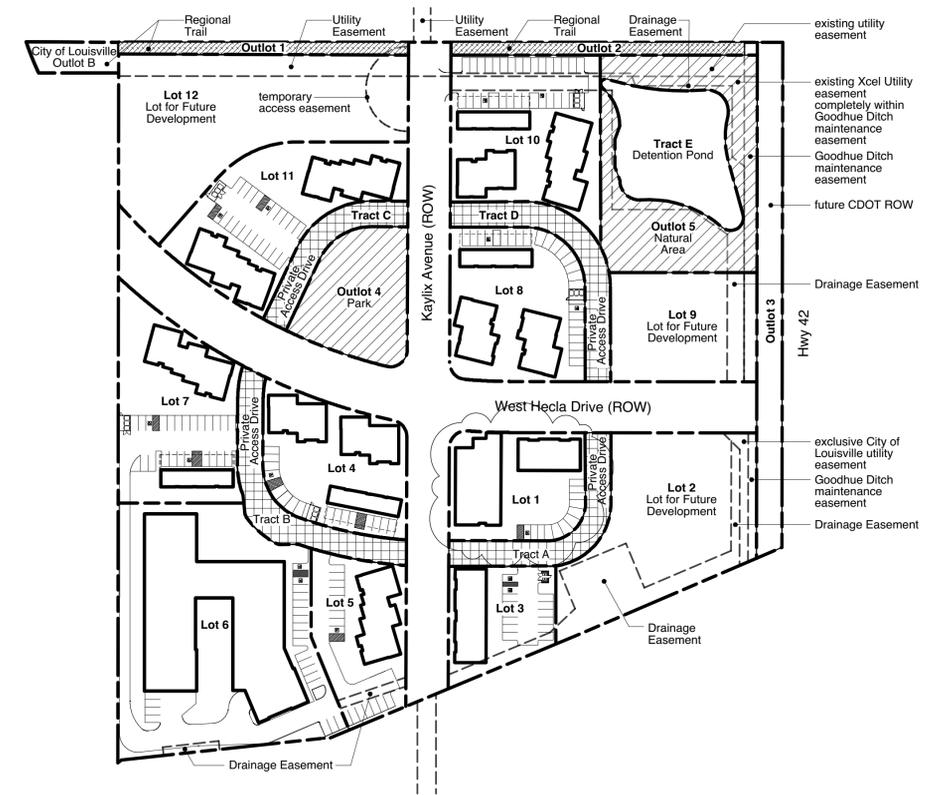
Public Land Dedication Requirements & Provisions	
Total Site Area	13.404 Ac.
PCZD-R Area + PCZD-C/R (Residential Area Only): Minimum Area Requirement - 15%	±11.926 Ac.
Total Dedicated Land Requirement: (Based on Residential Area)	±1.8 Ac.
PCZD-C/R Area (Commercial Area Only): Minimum Area Requirement - 12%	±1.478 Ac.
Total Dedicated Land Requirement: (Based on Commercial Area)	±0.18 Ac.
TOTAL DEDICATED PUBLIC LAND REQUIRED:	±1.98 Ac.
Unencumbered Dedication:	±0.399 Ac.
Encumbered Dedication:	±0.885 Ac.
TOTAL PUBLIC LAND DEDICATION:	±1.28 Ac.¹

¹ BCHA will provide a payment in lieu of the remaining 0.7 Ac. In the form of physical improvements to Outlot 1, Outlot 2, and Outlot 4.

Land Type	Area (Acres)				Total (Acres)	% of site
	Area A	Area B	Area C	Area D		
Unencumbered Dedicated Land	-	-	-	0.399	0.399	3.0%
Encumbered Dedicated Land	-	-	0.767	0.118	0.885	6.5%
Private Common Open Area w/ Public Access	0.202	0.251	0.229	0.157	0.839	21.5%
Total:	0.202	0.251	0.996	0.674	2.123	31.0%

Dedication Legend

- Public Land Dedication
- Encumbered Public Land Dedication
- Private Common Open Area w/ Public Access



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PUBLIC LANDS DEDICATION

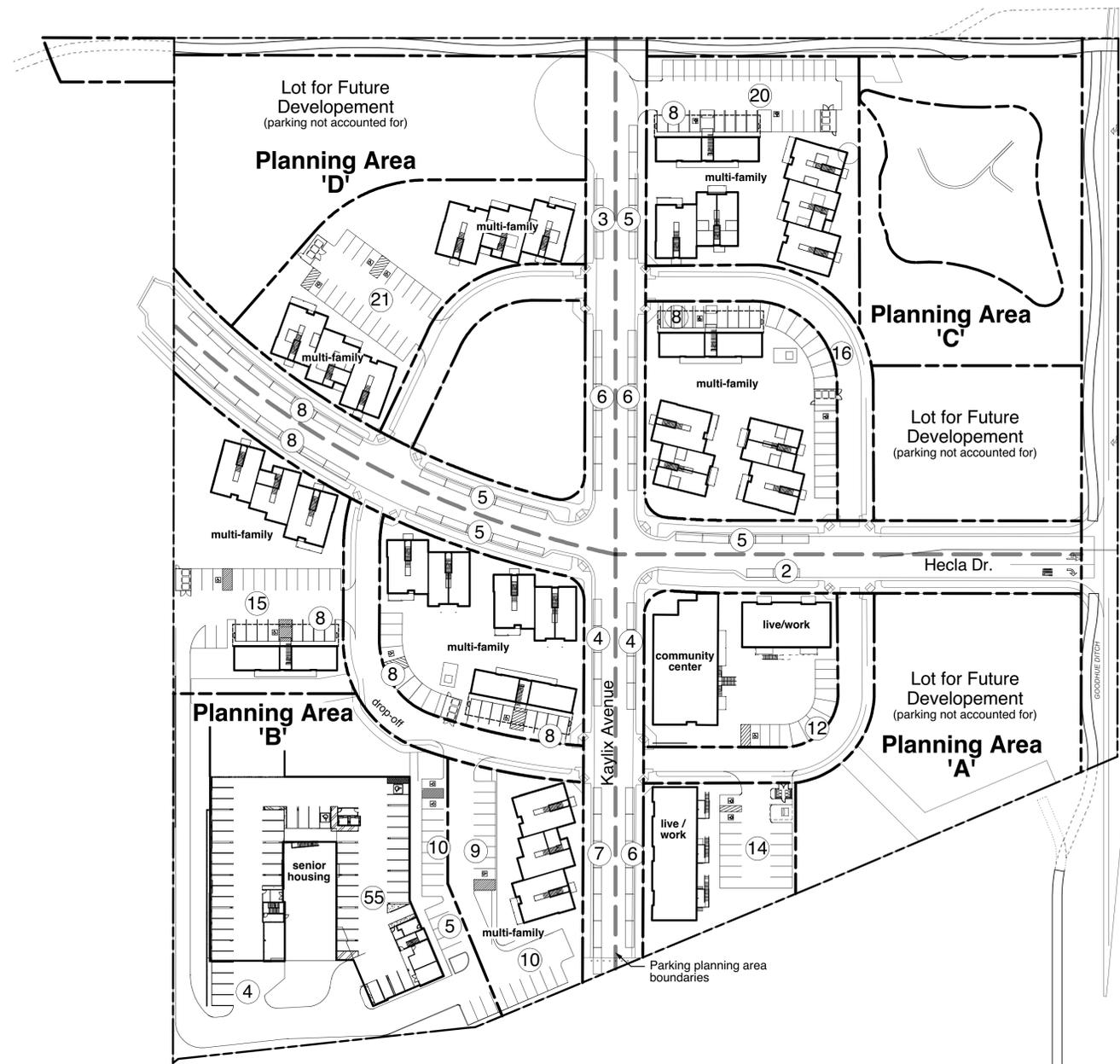
1 Public Lands Dedication Plan
 Scale: 1" = 100'



KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT - 1st AMENDMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



1 Parking Map
 Scale: 1" = 60'

0' 30' 60' 120'
 scale: 1" = 60'

Parking Requirements

Use Category	Amount of Off-Street Parking Spaces Required
1 BR unit	0.75 space per unit ¹
2 BR unit	1.5 spaces per unit ¹
3 BR unit	1.5 spaces per unit ¹
Restricted to aged	0.75 space per unit ¹
Additional guest	1 space per 8 units ³
Public assembly (civic uses)	1 space per 800 sf ²
Commercial (retail)	2 space per 300 sf ³
Commercial (offices)	1 space per 500 sf ³

Table 2 Notes:
¹ Multifamily - proposed 25% reduction to the code MU-R District (Louisville).
² Community center - proposed 50% reduction to the code MU-R District (Louisville).
³ No reduction to the code MU-R District (Louisville).

Table 1 color code:
off-street parking
on-street parking

Table 1

Uses and Parking Requirements				Spaces Provided			Total Spaces Provided	
Building Use / Types and Designated Parking Areas	No. of Units or S.F. Area	Spaces per Requirements	Off-Street Spaces Standard	Off-Street Spaces ADA	On-Street Spaces			
Planning Area A								
Live/work	1 BR unit	19	14	10	2	2		
	2 BR unit	6	9	9				
Guests			3			3		
Community center	assembly spaces	2276 sf	3	2	1			
	staff	601 sf	2	2				
Central mail pick-up						2		
On-street (12 total)						5		
						12		
<i>Sub-Total</i>	25	31	23	3		12		
						38		
Planning Area B								
Multi-family	1 BR unit	20	15	16	1			
	2 BR unit	12	18	18	2			
	3 BR unit	12	18	21				
Guests			6	6				
Senior housing		71	53	53	2			
	staff		4	4				
	guests		9	7	2			
On-street (13 total)						24		
<i>Sub-Total</i>	115	123	125	7		24		
						156		
Planning Area C								
Multi-family	1 BR unit	18	14	10	4			
	2 BR unit	12	18	18				
	3 BR unit	12	18	18				
Guests			6	2		4		
On-street (11 total)						12		
<i>Sub-Total</i>	42	56	48	4		16		
						68		
Planning Area D								
Multi-family	1 BR unit	8	6	6				
	2 BR unit	4	6	6				
	3 BR unit	6	9	6	3			
Guests			3			3		
On-street (22 total)						19		
<i>Sub-Total</i>	18	24	18	3		22		
						305		
Grand Total								
	200	234	214	17	74			

Summary	
Parking Spaces Required	Parking Spaces Provided
234	214 Off-Street Standard
	17 Off-Street ADA
	74 On-Street
	305 Total

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PARKING

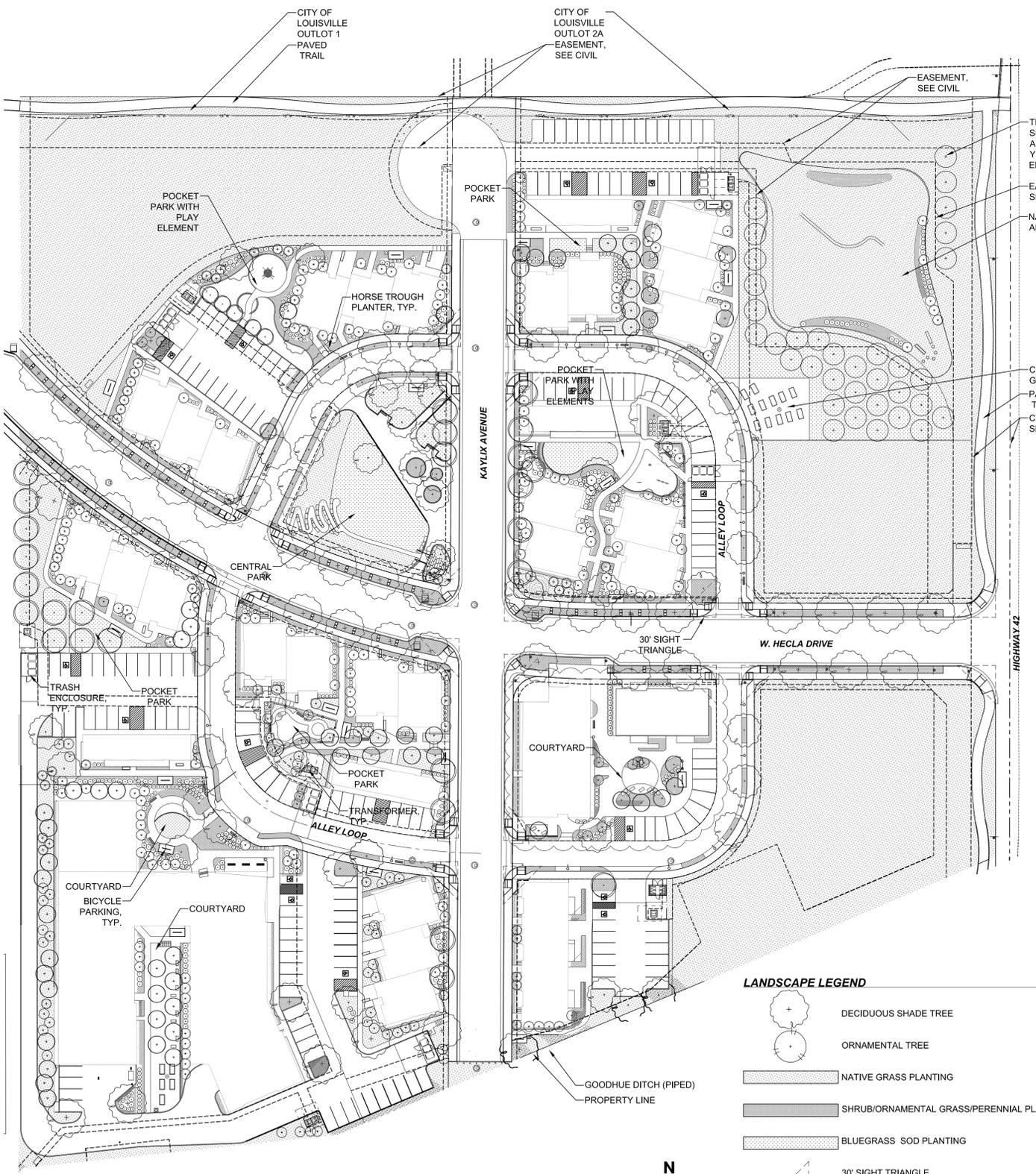
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SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

KESTREL
 Boulder County Housing Authority
 245 North 96th Street, Louisville, CO



LANDSCAPE INTENT

OVERALL STATEMENT OF INTENT
 KESTREL IS ORGANIZED AROUND A SERIES OF PARKS, GARDENS, PLAY SPACES AND PEDESTRIAN-ORIENTED STREETS.

THE FOLLOWING LANDSCAPE STANDARDS ARE TO ENSURE THAT THE LANDSCAPE THROUGHOUT THE COMMUNITY WILL BE A STRONG, UNIFYING ELEMENT THAT COMPLEMENTS THE CITY OF LOUISVILLE AND SURROUNDING AREAS.

- A. RIGHTS OF WAY**
- CO HIGHWAY 42
 - POCKETS OF TREES AND SHRUBS AS BUFFER BETWEEN TRAIL AND HIGHWAY
 - NATIVE GRASS
 - WEST HECLA DRIVE
 - ONE TREE PER 40 LF. (MINIMUM) OF RIGHT-OF-WAY (BOTH SIDES OF STREET, AVERAGE)
 - ORNAMENTAL GRASSES, GROUNDCOVERS, PERENNIALS AND BULBS
 - KAYLIX AVENUE
 - ONE SHADE TREE, ORNAMENTAL TREE, OR DWARF EVERGREEN TREE PER 20 LINEAL FEET OF R.O.W. LOCATED WITHIN 15' OF R.O.W.
 - DECIDUOUS SHADE TREES WHERE SPACE PERMITS
 - ORNAMENTAL DECIDUOUS TREES OR DWARF EVERGREEN TREES WHERE SPACE DOES NOT PERMIT LARGE SHADE TREES
 - PARKING LOTS
 - ONE TREE AND THREE SHRUBS PER EIGHT PARKING SPACES, OR A COMBINATION THEREOF AS AGREED UPON WITH THE PLANNING DEPARTMENT

- B. COMMON AREAS**
- PARKS
 - CENTRAL PARK
 - BLUEGRASS LAWN IN COMMUNITY GATHERING AREA
 - LANDFORM FOR VIEWS AND VISUAL BUFFER OF PARKING
 - SITE FURNISHINGS INCLUDING BENCHES, BICYCLE PARKING, AND TRASH RECEPTACLES
 - NATIVE SOD
 - POCKET PARKS
 - SOME WILL FEATURE MANUFACTURED PLAY ELEMENTS
 - MINIMAL BLUEGRASS LAWN IN KEY SPACES
 - SITE AMENITIES INCLUDING BENCHES, BICYCLE PARKING, AND TRASH RECEPTACLES
 - XERIC NATIVE PERENNIALS, SHRUBS, AND ORNAMENTAL GRASSES
 - STANDARD AND DECORATIVE CONCRETE PAVING, AND/OR CRUSHER FINES PAVING
 - COURTYARDS
 - LOW-MAINTENANCE PERENNIALS, SHRUBS AND ORNAMENTAL GRASSES
 - GARDENS
 - SITE FURNISHINGS INCLUDING BENCHES, BOULDER SEATING, BICYCLE PARKING, AND BICYCLE REPAIR STATIONS
 - STANDARD AND DECORATIVE CONCRETE PAVING, AND/OR CRUSHER FINES PAVING
 - MINIMUM 1 TREE, 5 SHRUBS, & 5 ORNAMENTAL GRASSES PER 1500 S.F.
 - NATURAL AREA
 - THIS ZONE WITH FACILITATE RECREATION AND STORMWATER MANAGEMENT
 - TREE SPECIES WILL INCLUDE EDIBLE FRUIT TREES AND SHADE TREES
 - AT UPPER LEVELS OF ORCHARD, SPECIES WILL INCLUDE EDIBLE FRUIT TREES AND SHADE TREES
 - NATIVE TREES WILL BE ABOVE THE 100-YEAR FLOOD LEVEL
 - THE ALLEY LOOP
 - ONE TREE PER 40 LF. OF RIGHT-OF-WAY
 - RESIDENTIAL LANDSCAPE TO INCLUDE ORNAMENTAL GRASSES, PERENNIALS AND GROUNDCOVERS
 - SITE FURNISHINGS INCLUDING BENCHES AND PEDESTRIAN LIGHTING

- C. RESIDENTIAL LANDSCAPES**
- CONSISTENT PALETTE OF XERIC NATIVE AND ADAPTABLE PERENNIALS, SHRUBS, GROUNDCOVERS AND ORNAMENTAL GRASSES
 - MINIMUM 1 TREE, 5 SHRUBS, & 5 ORNAMENTAL GRASSES PER 1500 S.F.
 - HORSE TROUGH PLANTERS AT FRONT AND BACK PORCHES; VEGETATION SUPPLIED BY RESIDENTS

GENERAL NOTES:

- FINAL CONSTRUCTION DOCUMENTS SHALL CONFORM TO THE REQUIREMENTS OUTLINED WITHIN THIS PUD SUBMITTAL.
- LANDSCAPE PLANS ARE SCHEMATIC IN NATURE AND SUBJECT TO MODIFICATION TO MEET THE CITY'S REQUIREMENTS, THE DEVELOPER'S PROGRAM, OR OTHER NECESSARY REQUIREMENTS.
- LOCATION OF LANDSCAPE PLANTINGS SHALL BE ALTERED TO PROVIDE ADEQUATE CLEARANCE FROM THE FINAL LOCATION OF UNDERGROUND UTILITIES.
- PLANTINGS SHALL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. TURF AREAS WILL BE SPRAY IRRIGATED. TREES, SHRUBS, LANDSCAPE BEDS AND TREE LAWNS LESS THAN 10' WIDE SHALL BE SUBSURFACE IRRIGATED. THE TAP AND BACKFLOW PREVENTION DEVICE SIZE AND LOCATION SHALL BE SHOWN ON IRRIGATION PLANS. R.O.W. AREAS SHALL HAVE PERMANENT IRRIGATION SYSTEMS. IRRIGATION SYSTEMS SHALL BE COMPATIBLE TO THE CITY'S EXISTING TORO-SENTINEL CENTRAL CONTROL SYSTEM. DESIGN SHALL INCLUDE A FIELD SATELLITE CONTROLLER, MASTER VALVES, FLOW CONTROL VALVES AND E.T. SENSORS. THE STANDARD SHALL APPLY TO CITY-OWNED PROPERTY.
- LANDSCAPE IMPROVEMENTS IN TRACTS SHALL BE OWNED AND MAINTAINED BY THE DEVELOPER AND / OR HOMEOWNERS ASSOCIATION.
- INDIVIDUAL LOT OWNERS SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE OF PRIVATE LOTS.
- PRIVATELY OWNED AND MAINTAINED AREAS INTENDED FOR IRRIGATED AND MOWED TURF SHALL NOT EXCEED 4:1 SLOPE. PRIVATELY OWNED NATIVE GRASSES AND SHRUB BEDS SHALL NOT EXCEED 3:1 SLOPE.
- 30' SIGHT TRIANGLES ARE SHOWN ON THE PLANS, PER LOUISVILLE MUNICIPAL CODE. A VISION CLEARANCE AREA SHALL CONTAIN NO PLANTINGS, WALLS, STRUCTURES, OR TEMPORARY OR PERMANENT OBSTRUCTIONS EXCEEDING 2.5' IN HEIGHT, MEASURED FROM THE TOP OF THE CURB OR EXISTING GRADE, UNLESS SUCH STRUCTURE OR OBSTRUCTIONS ARE MORE THAN 80 PERCENT OPEN.
- MECHANICAL DEVICES SHALL BE SCREENED WITH LANDSCAPE MATERIAL.

PLANT PALETTE & MINIMUM SIZES
 A LOW WATER REQUIREMENT PLANT PALETTE IS PROPOSED. ADDITIONAL PLANTS MAY BE PROPOSED IN SUBSEQUENT PROCESSES. IN GENERAL, A MINIMUM PLANT SIZE OF 2" CALIPER FOR DECIDUOUS TREES, 6" MINIMUM HEIGHT FOR EVERGREENS (A MINIMUM OF 25% OF TOTAL EVERGREENS A HEIGHT OF 8"), AND 5-GALLON CONTAINER FOR SHRUBS IS REQUIRED, AS AN ALTERNATIVE, SMALLER PLANTS MAY BE INSTALLED IN GREATER QUANTITY, AS DESCRIBED BELOW:
 FOR 10 2" CAL. TREES, 15 1.5" CAL. TREES OR 30 15-GALLON CONTAINER TREES MAY BE SUBSTITUTED;
 FOR 10 5-GALLON SHRUBS, 15 2-GALLON SHRUBS, OR 30 1-GALLON SHRUBS MAY BE SUBSTITUTED.

NOTE: DECIDUOUS TREES SHALL BE PLANTED NO CLOSER THAN 7' FROM WET UTILITIES. EVERGREEN TREES SHALL BE PLANTED NO CLOSER THAN 10' FROM ALL WET UTILITIES. TREES OUTSIDE OF THE R.O.W. SHALL BE PLANTED NO CLOSER THAN 5' FROM BACK OF WALKS / CURBS.

PROPOSED PLANTING PALETTE - PUBLIC R.O.W.

DECIDUOUS SHADE TREES - THESE APPLY TO PRIVATE R.O.W. AND INTERIOR LOTS AS WELL	
BOTANICAL NAME	COMMON NAME
CELTIS OCCIDENTALIS	WESTERN HACKBERRY
GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO
GLEDITSIA TRIACANTHOS 'INERMIS' 'IMPERIAL'	IMPERIAL THORNLESS HONEYLOCUST
PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANE TREE
QUERCUS BICOLOR	SWAMP WHITE OAK
QUERCUS MACDANIELII 'CLEMONS'	HERITAGE OAK
TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN
ULMUS ACCOLADE	ACCOLADE ELM

DECIDUOUS ORNAMENTAL TREES / LARGE SHRUBS - THESE APPLY TO KAYLIX AVE. AND TO PRIVATE R.O.W. AND INTERIOR LOTS	
BOTANICAL NAME	COMMON NAME
ACER TARTARICUM 'GARANN'	HOT WINGS TATARIAN MAPLE
AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY
AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY
RHUS GLABRA	SMOOTH SUMAC
SAMBUCUS NIGRA 'BLACK LACE'	BLACK LACE ELDERBERRY

DWARF EVERGREEN TREES - THIS APPLIES TO KAYLIX AVE. AND TO PRIVATE R.O.W. AND INTERIOR PARCELS	
BOTANICAL NAME	COMMON NAME
JUNIPERUS SCOPULORUM 'COLOGREEN'	COLOGREEN JUNIPER

DECIDUOUS SHRUBS	
BOTANICAL NAME	COMMON NAME
SPIRAEA JAPONICA 'GOLDFLAME'	GOLDFLAME JAPANESE SPIREA

ORNAMENTAL GRASSES - THESE APPLY TO PRIVATE R.O.W. AND INTERIOR PARCELS AS WELL	
BOTANICAL NAME	COMMON NAME
ANDROPOGON SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM
BOULELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA GRASS
MUHLENBERGIA REVERCHONII 'UNDAUNTED'	UNDAUNTED RUBY MUHLY
PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCHGRASS

PERENNIALS AND GROUNDCOVERS - THESE APPLY TO PRIVATE R.O.W. AND INTERIOR PARCELS AS WELL	
BOTANICAL NAME	COMMON NAME
IRIS X HYBRIDA	BEARDED IRIS
MAHONIA REPENS	CREeping HOLLY-GRAPE
RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN
SOLIDAGO RUGOSA 'FIREWORKS'	FIREWORKS GOLDENROD

BULBS	
BOTANICAL NAME	COMMON NAME
GALANTHUS NIVALIS	SNOWDROP
SCILLA SIBERICA	SIBERIAN SQUILL
NARCISSUS HYBRIDA	DAFFODIL
TULIPA HYBRIDA	TULIP

PROPOSED PLANTING PALETTE - PRIVATE R.O.W., PARKS, COURTYARDS AND RESIDENTIAL LANDSCAPES

DECIDUOUS TREES	
BOTANICAL NAME	COMMON NAME
BETULA NIGRA 'BMFT'	DURA-HEAT BIRCH
CATALPA SPECIOSA	WESTERN CATALPA
CELTIS OCCIDENTALIS 'PRAIRIE SENTINEL'	AMERICAN YELLOWWOOD
CLADRASTIS KENTUCKICA	SEEDLESS KENTUCKY COFFEETREE
GYNOCLOADUS DIOICA 'ESPRESSO'	JERONIMUS PLAINS COTTONWOOD
POPULUS DELTOIDES SSP 'MONILIFERA' 'JERONIMUS'	MONTMORENCY CHERRY
PRUNUS CERASUS 'MONTMORENCY'	STAGHORN SUMAC
RHUS TYPHINA	JAPANESE SCHOLAR TREE
SOPHORA JAPONICA	REDMOND LINDEN
TILIA AMERICANA 'REDMOND'	

CONIFEROUS TREES	
BOTANICAL NAME	COMMON NAME
JUNIPERUS CHINENSIS 'HETZI COLUMNARIS'	HETZI COLUMNAR UPRIGHT JUNIPER
PINUS LEUCODERMIS 'EMERALD ARROW'	EMERALD ARROW BOSNIAN PINE

SHRUBS	
BOTANICAL NAME	COMMON NAME
AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY
ARTEMISIA CANA	SILVER SAGEBRUSH
CARYOPTERIS X CLAUDONENSIS 'BLUE MIST'	BLUE MIST CARYOPTERIS
CORNUS ALBA 'BAIHALHO'	IVORY HALO DOGWOOD
CORNUS SERICEA 'RED GNOME'	RED GNOME REDTWIG DOGWOOD
HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA
ILEX MESERVAE 'BERRY MAGIC KIDS'	BERRY-MAGIC KIDS HOLLY
ROSA WOODSII	WOOD'S ROSE
RHUS TYPHINA TIGER EYES	TIGER EYES SUMAC
SYMPHORICARPOS X DOORENBOSII 'MAGIC BERRY'	PINK SNOWBERRY

PERENNIALS AND GROUNDCOVERS	
BOTANICAL NAME	COMMON NAME
ALCHEMILLA MOLLIS 'THRILLER'	THRILLER LADY'S MANTLE
ATHYRIUM NIPONICUM VAR. PICTUM	JAPANESE PAINTED FERN
BERGENIA CRASSIFOLIA 'WINTERGLUT'	REDLEAF BERGENIA
CERATOSTIGMA PLUMBAGINOIDES	PLUMBAGO
ECHINACEA PURPUREA 'MAGNUS SUPERIOR'	MAGNUS SUPERIOR ECHINACEA
IRIX X HYBRIDA	BEARDED IRIS
MAHONIA REPENS	CREeping HOLLY-GRAPE
SOLIDAGO RUGOSA 'FIREWORKS'	FIREWORKS GOLDENROD

VINES	
BOTANICAL NAME	COMMON NAME
PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER

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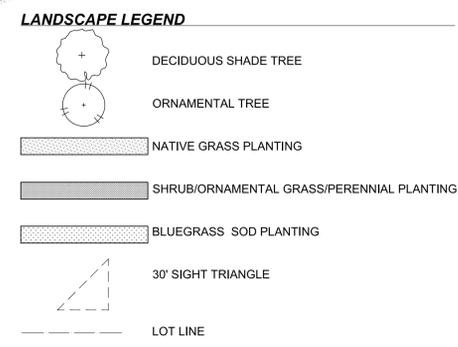
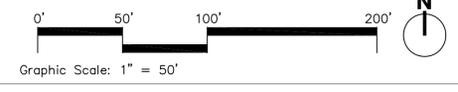
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MASTER LANDSCAPE PLAN

Drawing Number:



KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT - 1st AMENDMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



View from south parking area toward east elevation of the 12 unit "live/work" Multi-Family Housing

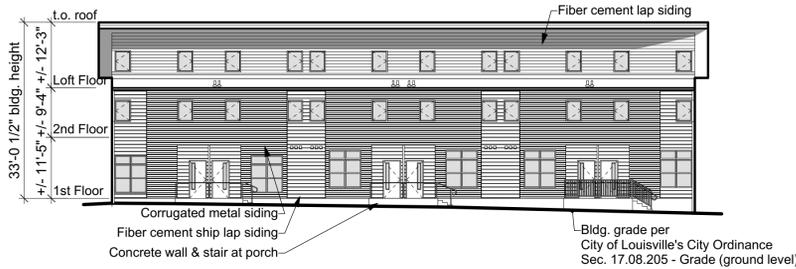


View across Kaylix Ave. to west facade of 12-unit Multi-Family Housing



Courtyard view through pedestrian corridor between Multifamily building and Community Center.

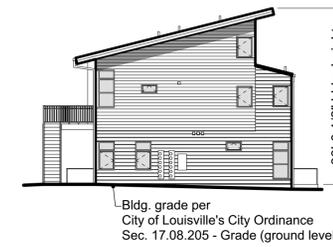
KESTREL
 Boulder County Housing Authority
 245 North 96th Street, Louisville, CO



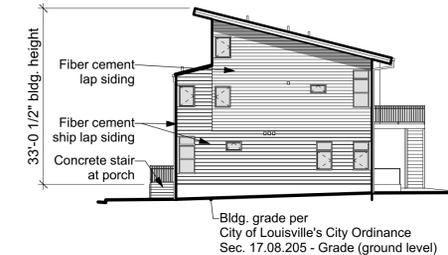
9 Multifamily Bldg. - West Elevation
 Scale: 1/16" = 10'



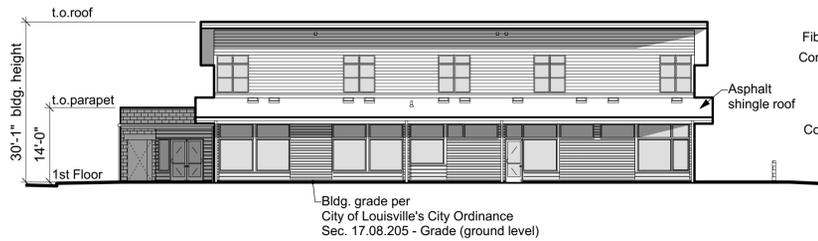
10 Multifamily Bldg. - East Elevation
 Scale: 1/16" = 10'



11 Multifamily Bldg. - North Elevation
 Scale: 1/16" = 10'



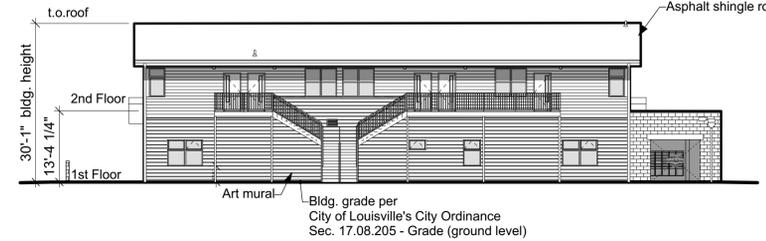
12 Multifamily Bldg. - South Elevation
 Scale: 1/16" = 10'



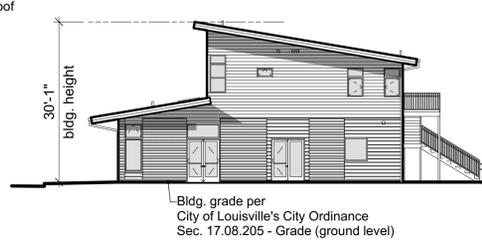
5 Community & Multifamily - West Elevation
 Scale: 1/16" = 10'



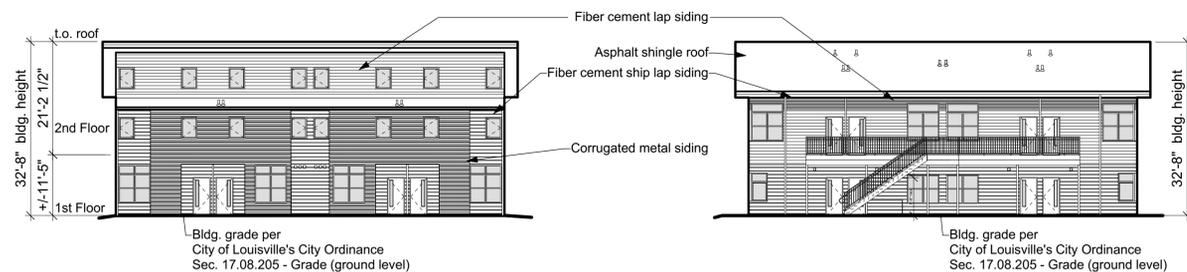
6 Community & Multifamily - North Elevation
 Scale: 1/16" = 10'



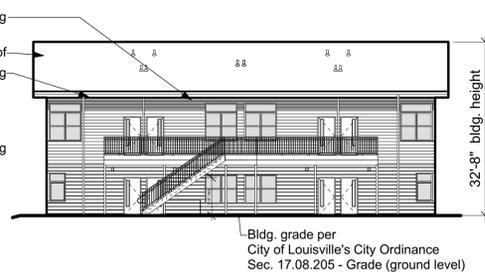
7 Community & Multifamily - East Elevation
 Scale: 1/16" = 10'



8 Community & Multifamily - South Elevation
 Scale: 1/16" = 10'



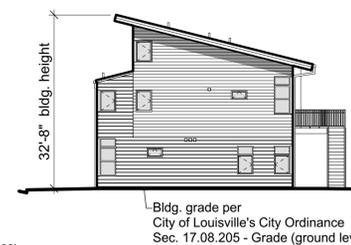
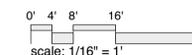
1 Multifamily Bldg. - North Elevation
 Scale: 1/16" = 10'



2 Multifamily Bldg. - South Elevation
 Scale: 1/16" = 10'



3 Multifamily Bldg. - East Elevation
 Scale: 1/16" = 10'



4 Multifamily Bldg. - West Elevation
 Scale: 1/16" = 10'

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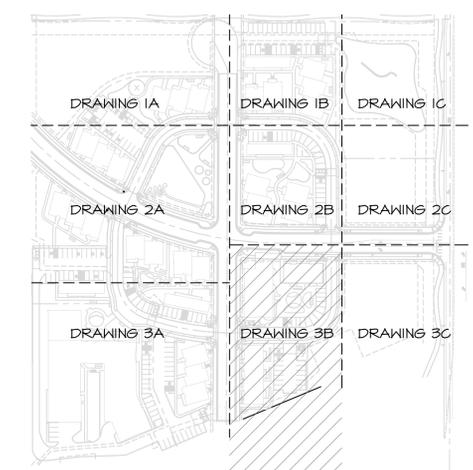
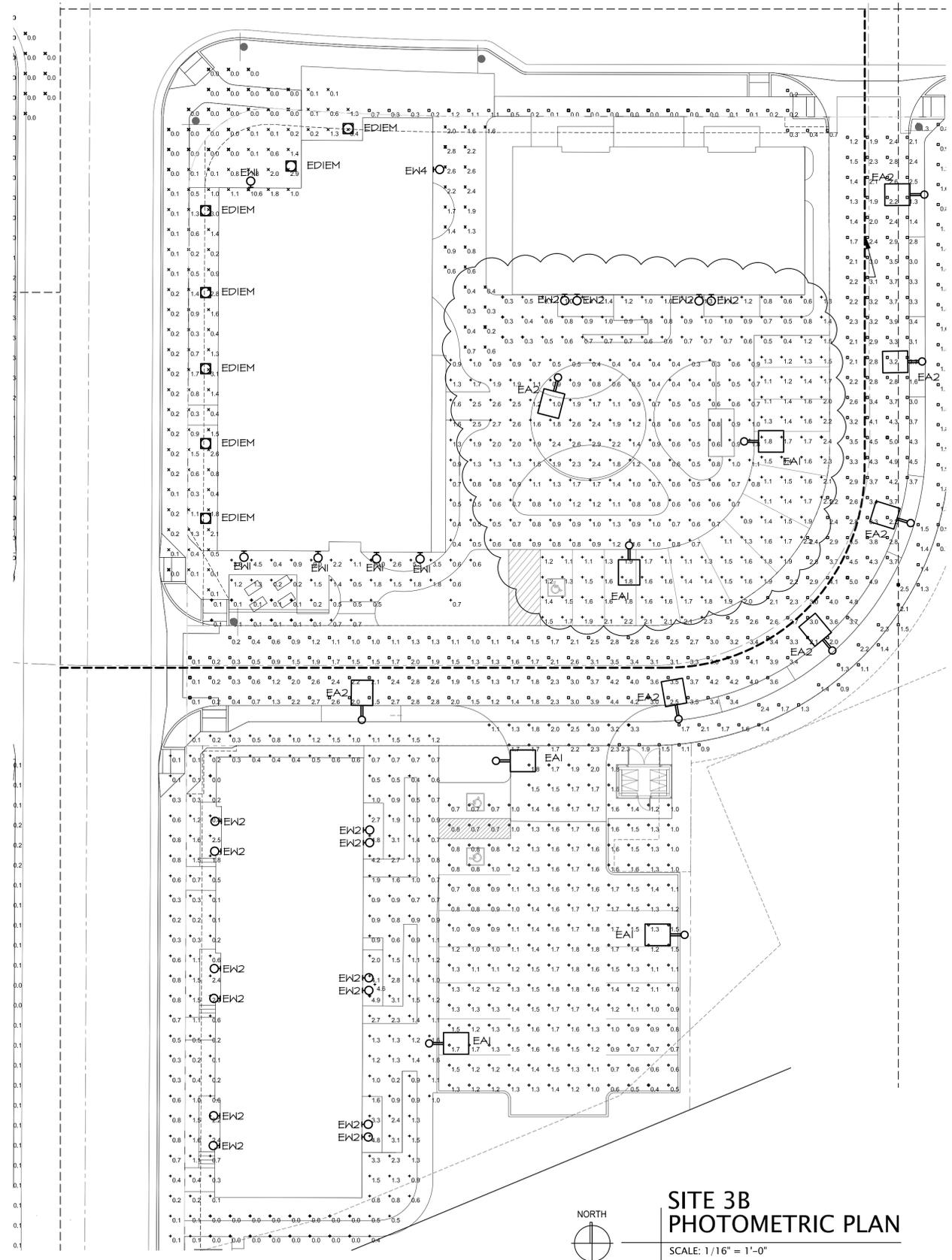
COMMUNITY CENTER & LIVE-WORK ELEVATIONS

Drawing Number:

KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



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KESTREL FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

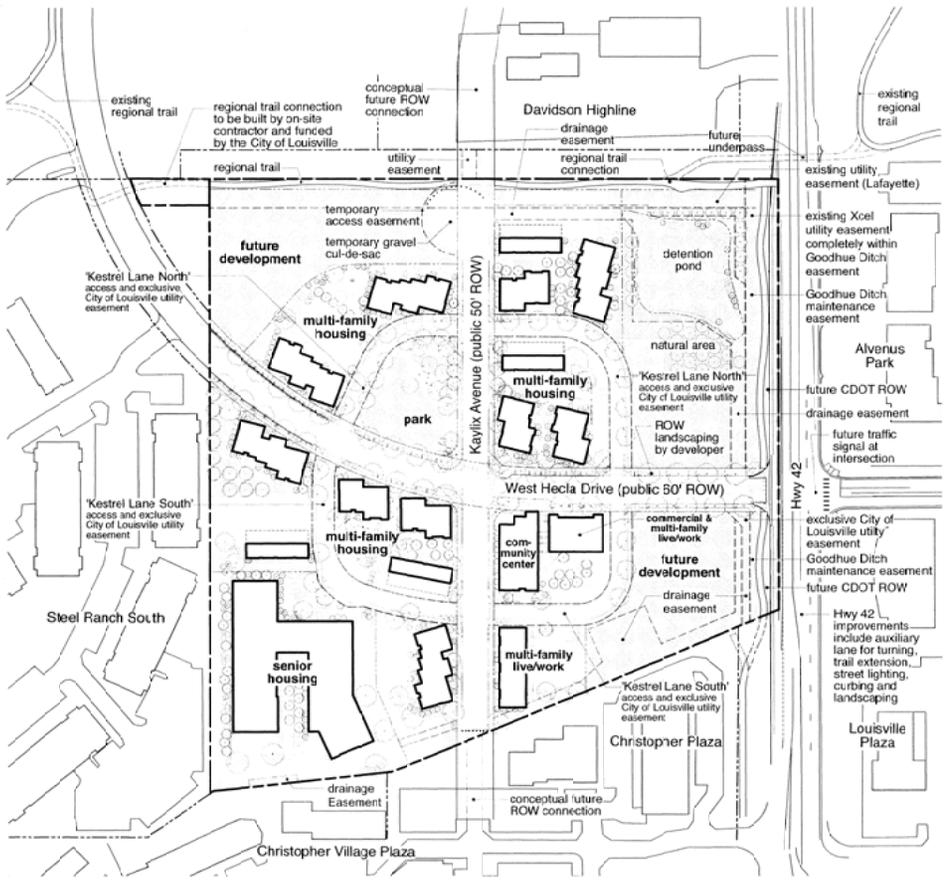
SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

Planning Area Reference Map



General Notes and Standards - All Planning Areas

- Four distinct Planning Areas are proposed within 245 North 96th Street, as follows:
 Planning Area A: PCZD-CR "excluding automobile service stations"
 Planning Area B: PCZD-R
 Planning Area C: PCZD-CR "excluding automobile service stations"
 Planning Area D: PCZD-R
- Required public land dedication is 15% of the gross residential area and 12% of the gross non-residential area for a total of 1.58 acres.
- Multi-use regional and local trail connections shall be made per the Louisville comprehensive trail system and design standards and coordination with the construction of the Hwy 42 trail underpass to the northeast of the property.
- As outlined in the Comprehensive Plan, West Hecla Drive is a collector street and Kaylix Avenue is a local street that will provide much needed and improved access to adjacent residential and commercial neighborhoods while taking pressure off Hwy 42. In addition to making connections north to south and east to west through the site a traffic signal at the intersection of West Hecla Drive and Hwy 42 shall be constructed as part of a cost share program as proposed in the Association Agreement between BCHA and the City of Louisville.
- The goodhue ditch, sections of which are open, shall be piped as part of this development. Boulder County Housing Authority will enter into a separate agreement with the Goodhue Ditch Company.
- Pavement marking is conceptual and will be installed when warranted and as directed by the City of Louisville.



Development Summary

Total Gross Property Area:	±3,404 Ac.
COO Highway 42 Right of Way Dedication:	±0.41 Ac.
Collector Street Right of Way Dedication:	±1.11 Ac.
Local Street Right of Way Dedication:	±0.82 Ac.
Ditch Easement:	±0.19 Ac.
Other Utility Easement:	±0.63 Ac.
Net Development Area:	±0.244 Ac.

Planning Area	Use	Gross Area	Units	Commercial SF	Density
Planning Area A	PCZD-CR	±1.82 Ac. (18%)	28 D.U.	37,397 s.f.	15.4 D.U./Ac.
Planning Area B	PCZD-R	±3.44 Ac. (33%)	115 D.U.	-	33.4 D.U./Ac.
Planning Area C	PCZD-CR	±2.95 Ac. (28%)	56 D.U.	26,571 s.f.	25 D.U./Ac.
Planning Area D	PCZD-R	±2.13 Ac. (21%)	32 D.U.	-	15 D.U./Ac.
TOTAL	PCZD-CR	±0.244 Ac. (100%)	237 D.U.	54,468 s.f.	22.6 D.U./Ac.

	Planning Area A*	Planning Area B**	Planning Area C**	Planning Area D*
Min. Lot Area	7,000 sf	7,000 sf	7,000 sf	7,000 sf
Min. Lot Width	60'	40'	60'	60'
Max. Lot Coverage	40%	40%	41%	40%
Building Setbacks				
Min. Front Yard Setback (Principle Uses)	See ROW Setbacks	See ROW Setbacks	See ROW Setbacks	See ROW Setbacks
Min. Side Yard Setback (Principle Uses)	3'	3'	3'	3'
Min. Side Yard Setbacks (Accessory Uses)	3'	3'	3'	3'
Min. Rear Yard Setback (Principle Uses)	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'
Min. Rear Yard Setbacks (Accessory Uses)	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'
Setback from Hwy 42 ROW	Parking: 40' min from PL, (10' from ROW Easement) Building: 40' min from PL, (10' from ROW Easement)	N/A	Parking: 40' min from PL, (10' from ROW Easement) Building: 45' min from PL, (15' from ROW Easement)	N/A
Setback from Collector Street ROW	Parking: 10' Building: 5' typical, 0' for 33% of facade up to 12' max. width **	Parking: 10' Building: 5' typical, 0' for 33% of facade up to 12' max. width **	Parking: 10' Building: 5' typical, 0' for 33% of facade up to 12' max. width **	Parking: 10' Building: 5' typical, 0' for 33% of facade up to 12' max. width **
Setback from Local Street ROW	Parking: 10' Building: 5' *	Parking: 10' Building: 5' *	Parking: 10' Building: 5' *	Parking: 10' Building: 5' *
Setback from Parks and Open Space	0'	0'	0'	0'
Min. Building Separator	0'	0'	0'	0'
Max. Building Height				
Principle Uses	2-3 stories **	2-3 stories / 50' max. height **	2-3 stories **	2-3 stories **
Accessory Uses	30'	30'	30'	30'

* The 50' max building height accommodates the specific instance in Planning Area B where a two-three story residential building with basement level garage parking access is proposed in a location where the height is compatible with building height precedents on the adjacent property.
 ** The 33% portion of the multi-family building facade with 2' setback shall be angled and have a maximum width of 12' to maintain pedestrian mass and scale along the street front.
 * Stop, steep, covered porch, awning, or sunshading elements are permitted within the 2' setback.
 ** Third floors of multi-family buildings shall step back a minimum of 5' for a minimum of 50% of any given frontage.
 * Roof forms shall have a max. of pitched, sloped, or flat roof types that vary in orientation or a dynamic skyline.
 * Boulder County Housing Authority shall work with the Goodhue Ditch Company to finalize the necessary easement and setback agreements.

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MASTER PLAN & GENERAL NOTES

Drawing Number:



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KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

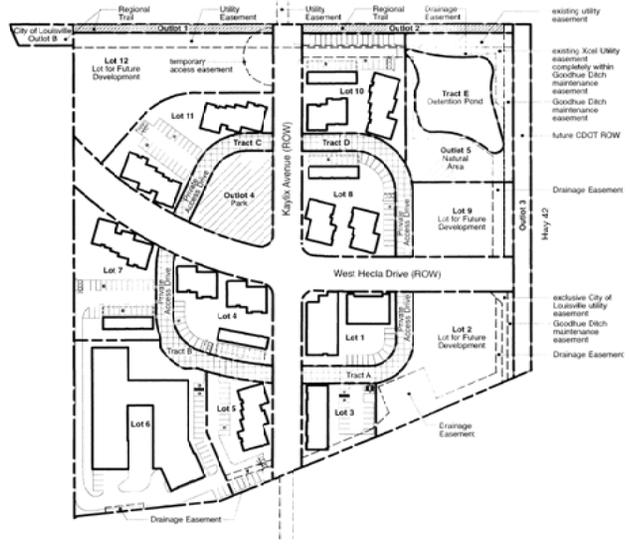
Land Summary Table				
Outlet / Tract	Area ± Ac.	Ownership	Primary Uses	Maintenancer
1	0.114	City of Louisville	Regional Trail	City of Louisville
2	0.124	City of Louisville	Regional Trail	City of Louisville
3	0.413	BCHA	Right of Way / Existing Goodhue Ditch Company Easement / Regional Trail	BCHA; landscaping and snow removal on sidewalk City of Louisville; sidewalk repair and replacement CDOT; roadway
4	0.399	BCHA	Public Park	BCHA
5	0.643	BCHA	Common Open Space, Drainage, Ditch Maintenance and Water Line Easements	BCHA
Tract				
A	0.202	BCHA	Private Drive is Private Common Open Space w/ Public Access and Exclusive City of Louisville Easement	BCHA
B	0.251	BCHA	Private Drive is Private Common Open Space w/ Public Access and Exclusive City of Louisville Easement	BCHA
C	0.157	BCHA	Private Drive is Private Common Open Space w/ Public Access and Exclusive City of Louisville Easement	BCHA
D	0.229	BCHA	Private Drive is Private Common Open Space w/ Public Access and Exclusive City of Louisville Easement	BCHA
E	0.436	BCHA	Private Drive is Private Common Open Space w/ Public Access and Drainage Easement	BCHA

* Specific maintenance responsibilities will be outlined in the Subdivision Agreement.

Public Land Dedication Requirements & Provisions	
Total Site Area	13.404 Ac.
PCZD-R Area + PCZD-C/R (Residential Area Only): Minimum Area Requirement - 15%	±11.926 Ac.
Total Dedicated Land Requirement: (Based on Residential Area)	±1.8 Ac.
PCZD-C/R Area (Commercial Area Only): Minimum Area Requirement - 12%	±1.478 Ac.
Total Dedicated Land Requirement: (Based on Commercial Area)	±0.18 Ac.
TOTAL DEDICATED PUBLIC LAND REQUIRED:	±1.98 Ac.
Unencumbered Dedication:	±0.399 Ac.
Encumbered Dedication:	±0.885 Ac.
TOTAL PUBLIC LAND DEDICATION:	±1.28 Ac.¹

¹ BCHA will provide a payment in lieu of the remaining 0.7 Ac. in the form of physical improvements to Outlet 1, Outlet 2, and Outlet 4.

Land Type	Area (Acres)				Total (Acres)	% of site
	Area A	Area B	Area C	Area D		
Unencumbered Dedicated Land	-	-	-	0.399	0.399	3.0%
Encumbered Dedicated Land	-	-	0.767	0.118	0.885	6.5%
Private Common Open Area w/ Public Access	0.202	3.251	0.229	0.157	0.839	21.5%
Total:	0.202	3.251	0.996	0.674	2.123	31.0%



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245 North 96th Street, Louisville, CO

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PUBLIC LANDS DEDICATION

Drawing Number:

1 Public Lands Dedication Plan
Scale: 1" = 100'

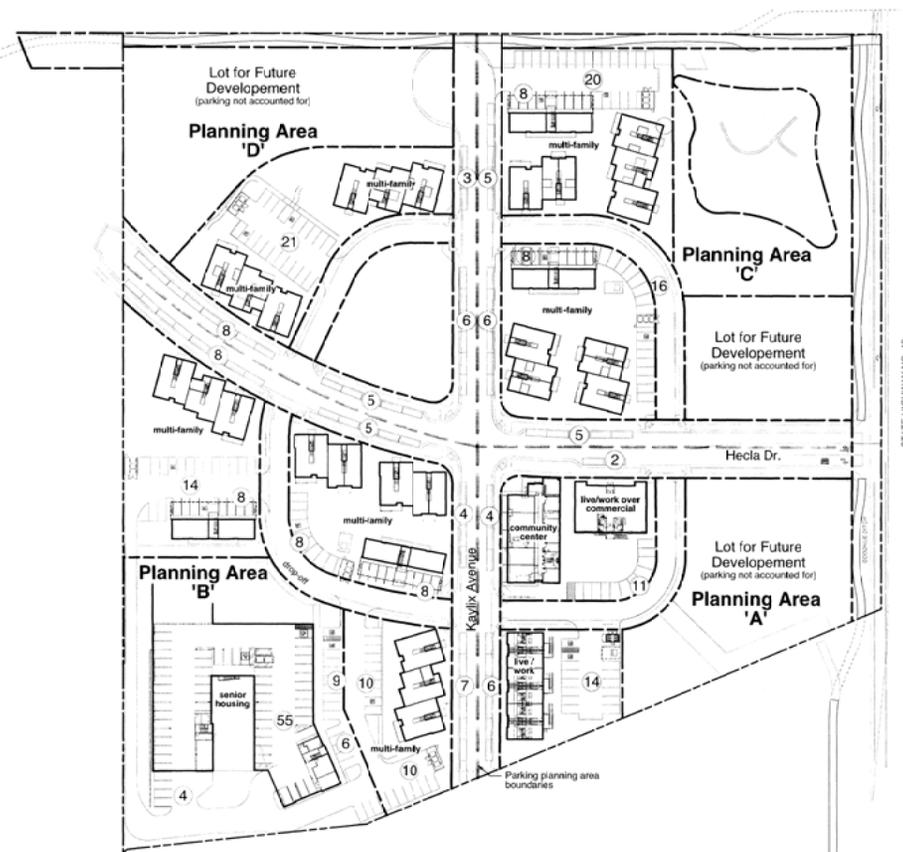


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KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



1 Parking Map Scale: 1" = 60'



Parking Requirements

Use Category	Amount of Off-Street Parking Spaces Required
1 BR unit	0.75 space per unit ^a
2 BR unit	1.5 spaces per unit ^a
3 BR unit	1.5 spaces per unit ^a
Restricted to aged	0.75 space per unit ^a
Additional guest	1 space per 8 units ^a
Public assembly (live) uses	1 space per 100 sf ^a
Commercial (retail)	2 space per 100 sf ^a
Commercial (offices)	1 space per 500 sf ^a

Notes:
^a Multi-family - proposed 25% reduction to the code MU-R District (Louisville).
^b Community center - proposed 50% reduction to the code MU-R District (Louisville).
^c No reduction to the code MU-R District (Louisville).

Table 2 color code: off-street parking on-street parking

Table 2

Building Use / Types and Designated Parking Areas	No. of Units or S.F. Area	Spaces per Requirements	Spaces Provided			Total Spaces Provided
			Off-Street Spaces Standard	Off-Street Spaces ADA	On-Street Spaces	
Planning Area A						
live/work	30	8	6	2		
guests	6	9	9			
Future Commercial (offices)	3100 sf	7	3		2	
Community assembly spaces	2216 sf	3	2	1	4	
center staff	608 sf	2	2		2	
Central mail pick-up					2	
On-street (12 total)					4	
Sub-Total	16	31	22	3	12	37
Planning Area B						
1 BR unit	20	15	16	1		
Multi Family	12	18	18	2		
2 BR unit	12	18	23			
3 BR unit		6	6			
Guests	31	53	53	2		
Senior housing	4	4	4			
staff	9	7	2		24	
guests					24	
On-street (24 total)						
Sub-Total	115	123	125	7	24	156
Planning Area C						
1 BR unit	18	14	10	4		
Multi Family	12	18	18			
2 BR unit	12	18	18			
3 BR unit		6	2		4	
Guests					12	
On-street (16 total)						
Sub-Total	42	56	48	4	16	68
Planning Area D						
1 BR unit	8	6	6			
Multi Family	4	6	6			
2 BR unit	4	6	6			
3 BR unit	6	9	8	1		
Guests		3			3	
On-street (22 total)						
Sub-Total	18	24	20	1	22	
Grand Total	191	234	215	15	74	304
Summary						
Parking Spaces Required		Parking Spaces Provided				
215		215				
15		15				
74		74				
234		234				

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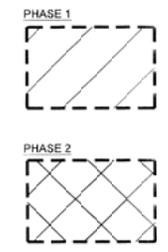
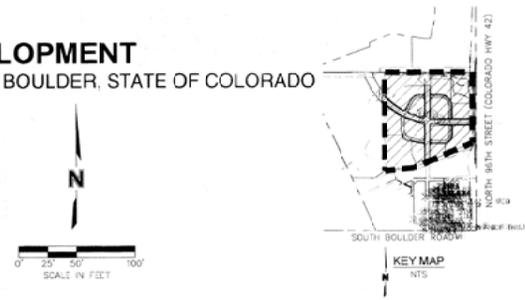
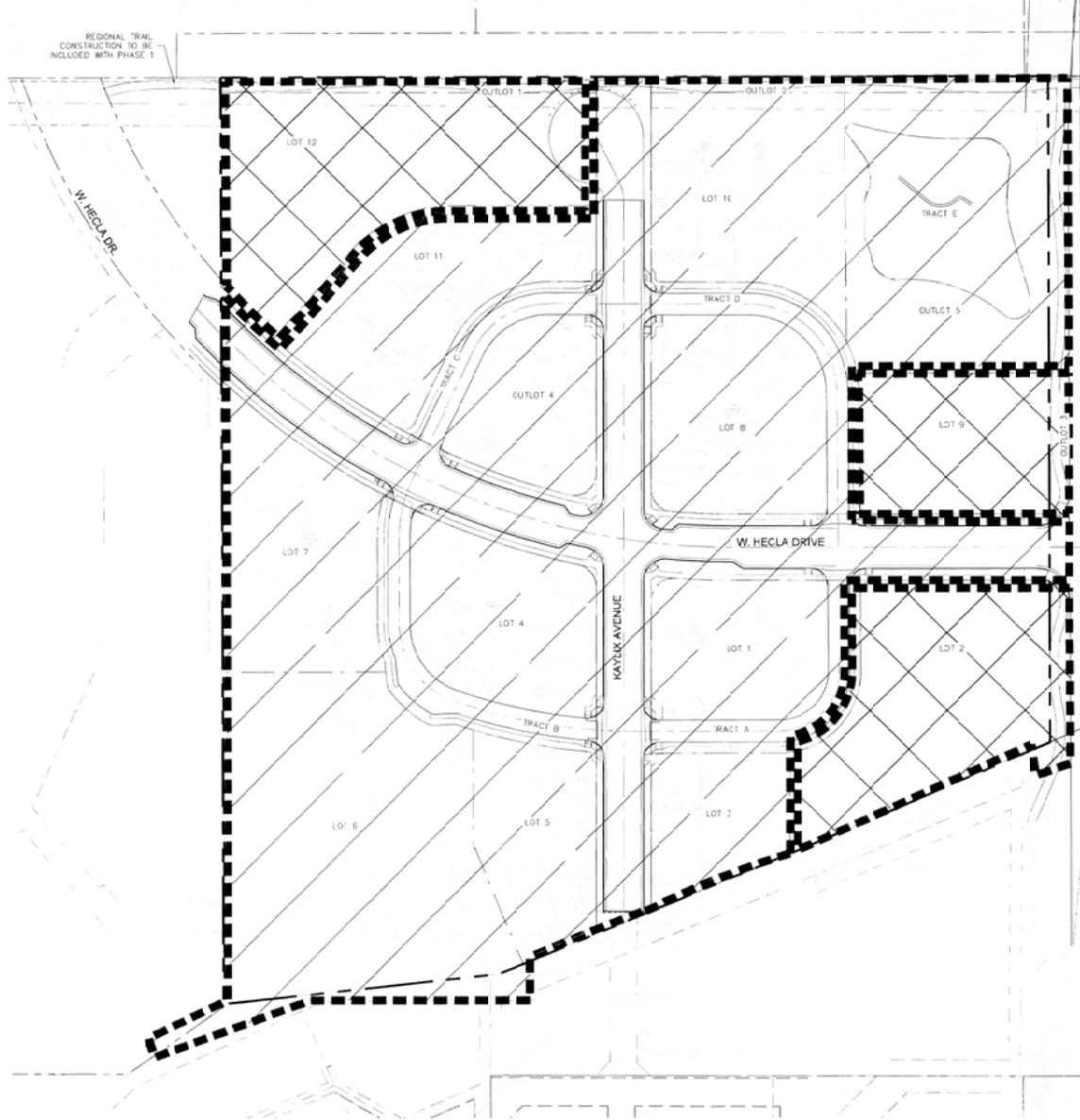
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PARKING

Drawing Number:

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KESTREL
FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



NORTH 96TH STREET (COLORADO HWY 42)

PUBLIC IMPROVEMENT NOTES

PUBLIC IMPROVEMENTS FOR THE PROPERTY WILL BE CONSTRUCTED TO SERVICE THE FIRST PHASE OF THE PROJECT. THIS PHASING PLAN IS NOT MEANT TO DICTATE THE PHASING ASSOCIATED WITH CONSTRUCTION OF THIS PROJECT BEYOND WHAT IS STATED IN THESE NOTES. THE PUBLIC IMPROVEMENTS INCLUDE THE FOLLOWING:

- BIKE TRAIL ALONG NORTHERN EDGE OF PROPERTY AND ALONG THE WEST SIDE OF HWY 42. PROPOSED TRAIL WILL CONNECT TO THE CITY'S PLANNED HWY 42 UNDERPASS PROJECT, AND WILL CONTINUE WESTERLY ACROSS THE SUBJECT PROPERTY, CONNECTING TO EXISTING TRAIL ON WEST HECLA DR. (WEST OF SUBJECT PROPERTY).
- PIPING OF THE GOODHUE DITCH ALONG THE HWY 42 ROW, AND NEAR THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY.
- 8" WATER MAIN THAT CONNECTS THE TAKODA SUBDIVISION 8" MAIN TO THE CHRISTOPHER PLAZA 1.8" MAIN.
- 8" SANITARY SEWER MAIN THAT CONNECTS THE DAVIDSON HIGHLINE PUD 12" MAIN AND THE CHRISTOPHER PLAZA 1.8" MAIN.
- WEST HECLA DRIVE FROM THE DEAD END AT TAKODA SUBDIVISION TO HWY 42.
- KAYLIK AVENUE FROM THE SOUTH FOOT OF THE SUBJECT PROPERTY TO THE NORTH EDGE OF THE SUBJECT PROPERTY TERMINATING AT A TEMPORARY CUL-DE-SAC.
- HWY 42 IMPROVEMENTS, INCLUDING THE SOUTHBOUND RIGHT-TURN LANE, SOUTHBOUND ACCELERATION LANE, AND THE NORTHBOUND LEFT-TURN LANE. ALL ON-SITE STORM SEWERS, VOLETS AND PONDS.

PHASING NOTES

- PHASING OF THE COMMERCIAL/RESIDENTIAL PORTIONS OF THE SITE MAY OCCUR IN ANY ORDER ONCE THE PUBLIC IMPROVEMENTS ARE IN PLACE.
- PUBLIC IMPROVEMENTS ARE REQUIRED PRIOR TO, OR IN CONJUNCTION WITH, THE FIRST PROPOSED PHASE.
- ALL PARKS, POCKET PARKS, AND COMMUNITY GARDENS SHALL BE INSTALLED/CONSTRUCTED DURING PHASE 1.

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PHASING

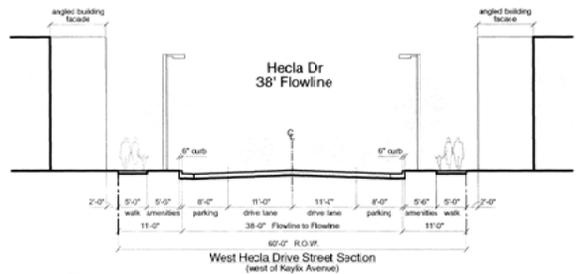
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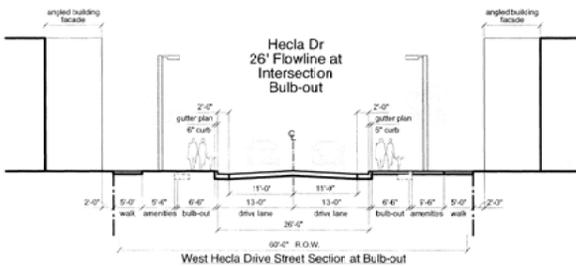
KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

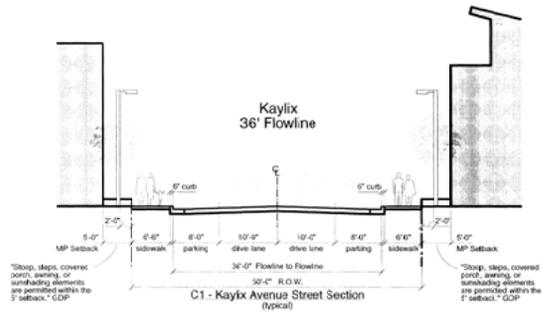
SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



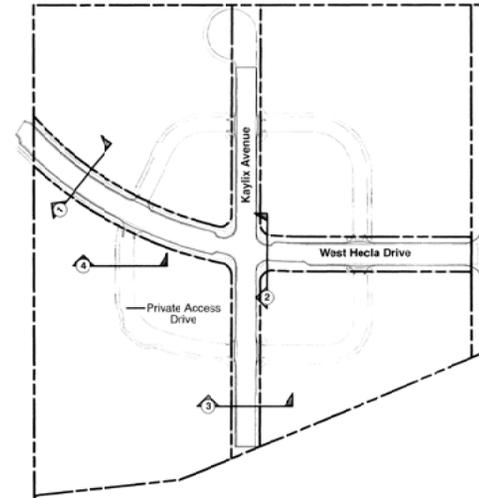
1 Hecla Drive - Looking West
Scale: 1" = 10'



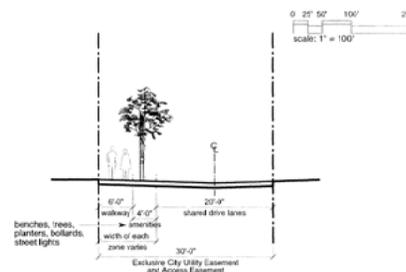
2 Hecla Drive - Bulb Out
Scale: 1" = 10'



3 Kaylix Avenue - Looking North
Scale: 1" = 10'



5 Street Sections Key Plan
Scale: 1" = 100'



4 Private Drive - Looking North
Scale: 1" = 10'

NOTE:
ALL STREET AMENITIES DEPICTED ON THE
TYPICAL SECTIONS ARE ILLUSTRATIVE ONLY.
SEE MASTER LANDSCAPE PLAN.

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STREET SECTIONS

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KESTREL FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



View from Hecla Dr. through pedestrian corridor between mixed-use building and Community Center

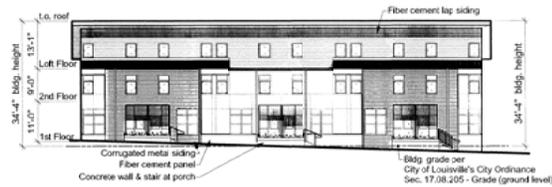


Southeast corner of Hecla Dr. and Kayix Ave.

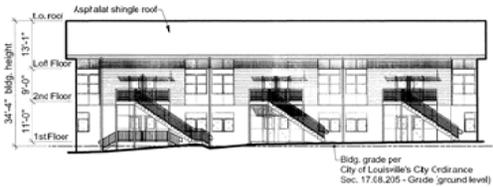


Courtyard view through pedestrian corridor between mixed-use building and Community Center.

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245 North 96th Street, Louisville, CO



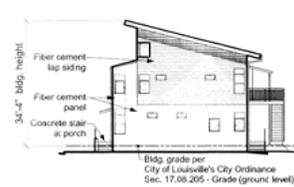
9 Live/work Bldg. - West Elevation
Scale: 1/16" = 1'



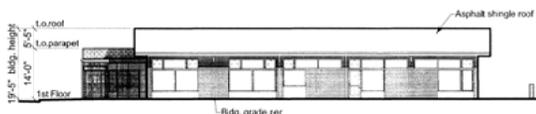
10 Live/work Bldg. - East Elevation
Scale: 1/16" = 1'



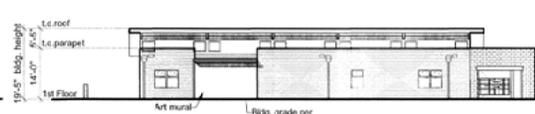
11 Live/work Bldg. - North Elevation
Scale: 1/16" = 1'



12 Live/work Bldg. - South Elevation
Scale: 1/16" = 1'



5 Community Center - West Elevation
Scale: 1/16" = 1'



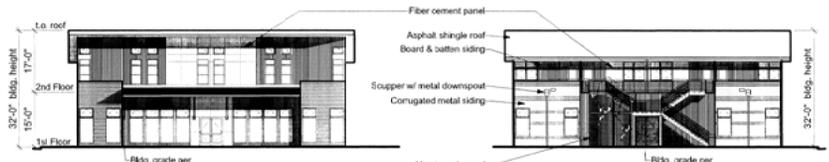
6 Community Center - East Elevation
Scale: 1/16" = 1'



7 Community Center - North Elevation
Scale: 1/16" = 1'



8 Community Center - South Elevation
Scale: 1/16" = 1'



1 Mixed-Use Bldg. - North Elevation
Scale: 1/16" = 1'



2 Mixed-Use Bldg. - South Elevation
Scale: 1/16" = 1'



3 Mixed-Use Bldg. - East Elevation
Scale: 1/16" = 1'



4 Mixed-Use Bldg. - West Elevation
Scale: 1/16" = 1'

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**COMMUNITY CENTER
LIVE-WORK & MIXED-USE
ELEVATIONS**

Drawing Number:

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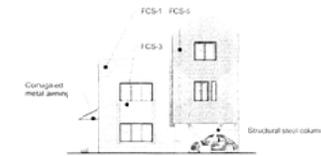
FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

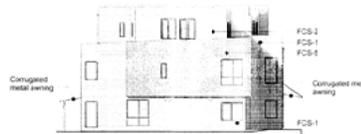


Bldg A Perspective at Hecla

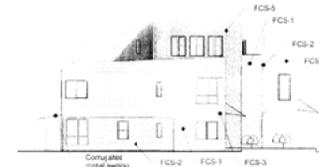
Exterior Material Schedule - PUD SUBMITTAL						
Type Mark	Description	Manufacturer	Pattern	Color	Size	Comments
FCS-1	6" FCS Lay Siding PT-1	JAMESHARDIE	Smooth			
FCS-2	6" FCS Lay Siding PT-2	JAMESHARDIE	Smooth			
FCS-3	4" FCS Lay Siding PT-1	JAMESHARDIE	Smooth			
FCS-5	Fiber Cement Shingles	Nichols	Premium Shake	Habitat		
MP-1	Metal Panel	Freestone Mfg				
PT-1	EXTERIOR PAINT	BENJAMIN MOORE		2125-26 Deep Space		
PT-2	EXTERIOR PAINT	BENJAMIN MOORE		2137-68 Gray Owl		



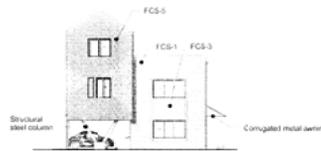
Bldg C - Left Side Elevation
1/8" = 1'-0"



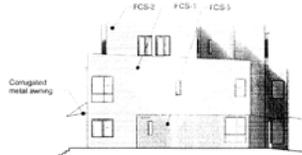
Bldg B - Left Elevation
1/8" = 1'-0"



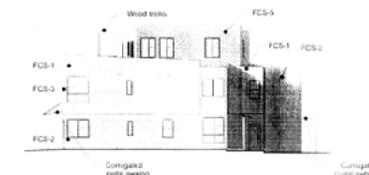
Bldg A - Left Elevation
1/8" = 1'-0"



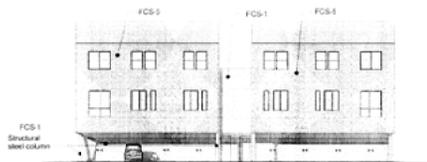
Bldg C - Right Side Elevation
1/8" = 1'-0"



Bldg B - Right Elevation
1/8" = 1'-0"



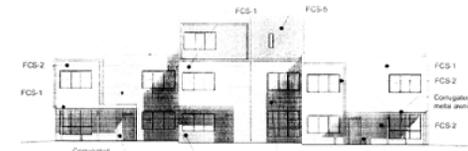
Bldg A - Right Elevation
1/8" = 1'-0"



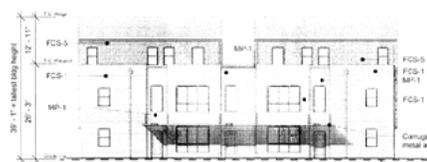
Bldg C - Back (Street) Elevation
1/8" = 1'-0"



Bldg B - Back Elevation
1/8" = 1'-0"



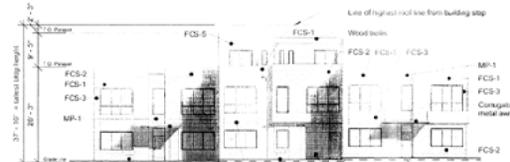
Bldg A - Back Elevation
1/8" = 1'-0"



Bldg C - Front (Courtyard) Elevation
1/8" = 1'-0"



Bldg B - Front Elevation
1/8" = 1'-0"



Bldg A - Front Elevation
1/8" = 1'-0"

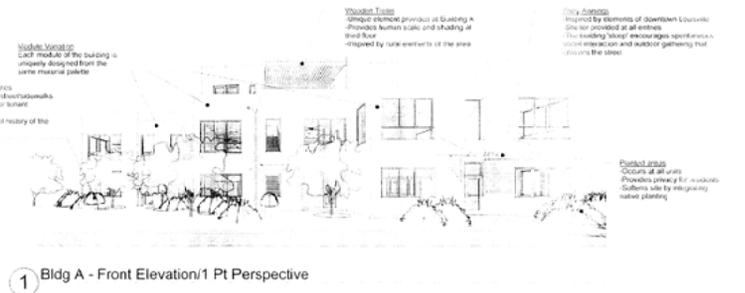
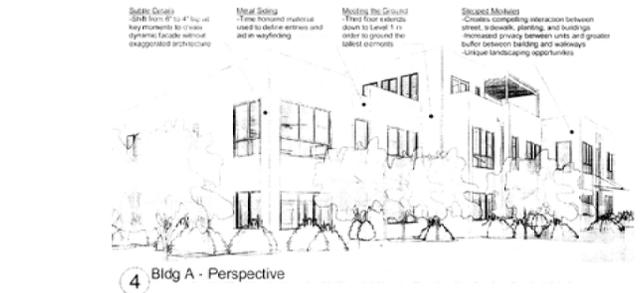
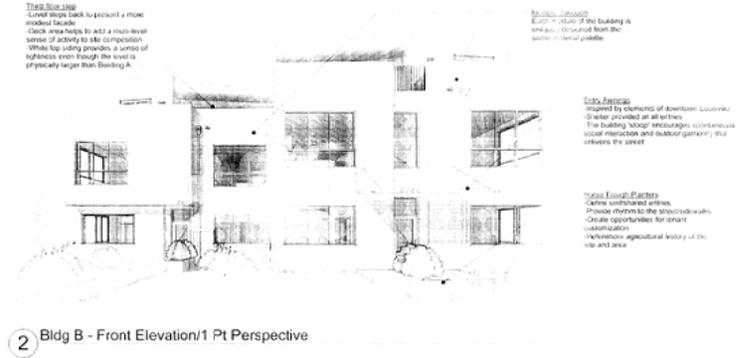
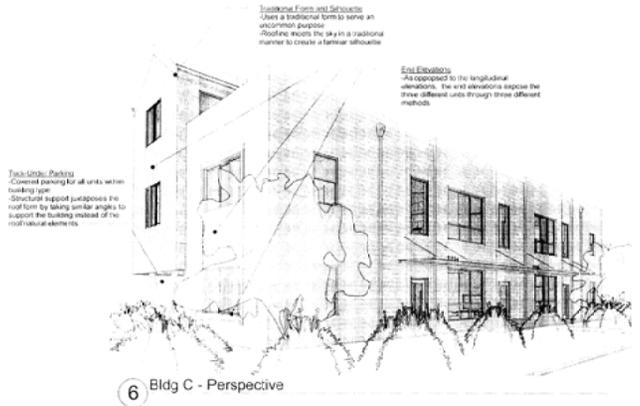
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MULTIFAMILY HOUSING BUILDING ELEVATIONS
 Drawing Number:

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KESTREL FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



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MULTIFAMILY HOUSING SUPPLEMENTARY

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FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

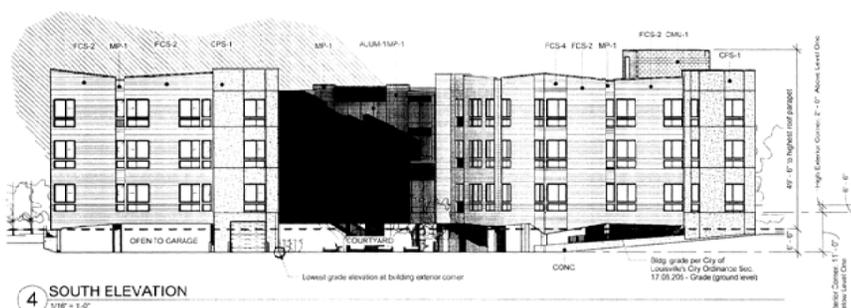
SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



PERSPECTIVE VIEW FROM NORTHEAST

Type Mark	Description	Manufacturer	Pattern	Color	Size	Comments
ALUM-1	Aluminum Sash/Frame System	Kiewit or com.	See DWG	Clear Anodized Frame	Varies w/ DWG	
CMU-1	Concrete Masonry Units	Running River	Applied Concrete	Varies w/ DWG		Ground Floor
CMU-2	Concrete Masonry Units	Running River	Applied Concrete	Varies w/ DWG		3-Cell System
CPS-1	Concret Plaster Stucco	—	—	Gray	8" Exposure Plank	1-Exposure Rating
FCS-2	Fiber Cement Siding - Lap	James Hardie or equal	See DWG	PT-2	4" Exposure Plank	Lapped Siding
FCS-4	Fiber Cement Siding - Lap	James Hardie or equal	See DWG	PT-2	4" Exposure Plank	Lapped Siding
FCS-5	Fiber Cement Siding - Shingles	Nashua	See DWG	Hazmat	180 (Standard Finish)	Shingle Lap Siding
MP-1	Flak Lock Metal Panels	Ferronite Metal	See DWG	—	—	—
PT-2	Paint	Bergeron Moore	—	11340 Grayw	—	—

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SENIOR HOUSING BUILDING ELEVATIONS

Drawing Number

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KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

Entry Awning

- Establishes the entry sequence to the building
- Creates a welcoming residential character

Stepped Modules

- Creates compelling interaction between street, sidewalk, parking, and building
- Unique exterior space-defining opportunities

Translucent Connector

- Softens the perceived mass of the building by separating the two building wings
- Provides a unique indoor-outdoor gathering space for residents

Step-Backs and Silhouettes

- Building Mass is stepped back at second and third stories
- Facade articulation and angles provide a varied building silhouette

Facade Articulation

- Facades are treated with both large and fine grain articulation strategies to provide rhythm and scale

Lots of Light

- Vertical slots are provided with large, non-sliding windows to provide daylight and break down exterior building mass

2-Storey Rhythmic Connector

- Frontcourt open at opportunity to residents
- Provides stepped-back building silhouettes

Horizontal Rhythm

- Building mass of 3 story building elements are broken up into smaller modules (approx. 24') to reduce the scale and fit in with neighborhood context

Community Gardens

- Characterized by native plantings common to the locale and
- Provides human scale and shading as well as a resident gathering space



7 ENTRY AND COURTYARD PERSPECTIVE VIEW



6 LOWER COURTYARD PERSPECTIVE VIEW



5 ROOF DECK AND COURTYARD PERSPECTIVE VIEW

Building Setback

- Building mass is setback from the property line to not impinge on or impact neighbors

Detail Details

- Material transitions occur within the building perimeter to provide visual interest without banal architectural moves

Large-Scale Massing Articulation

- The rotation of the building mass opens up the courtyard and sets for better views and natural lighting

Trees and Other Planting

- Create buffers and add organic elements to the exterior experience of the building

Horizontal Rhythm

- Building mass of 3 story building elements are broken up into smaller modules (approx. 24') to reduce the scale and fit in with neighborhood context



4 SOUTH ELEVATION / 1 PT. PERSPECTIVE VIEW



3 WEST ELEVATION / 1 PT. PERSPECTIVE VIEW

Material Palette

- Exterior materials are designed to fit with existing character of the surrounding landscape context and reflect the agricultural heritage of the area

Step-Backs

- Building Mass is stepped back at second and third stories

Translucent Connector

- Softens the perceived mass of the building by separating the two resident unit wings
- Provides a unique indoor-outdoor gathering space for residents

Horizontal Rhythm

- Building mass of 3 story building elements are broken up into smaller modules (approx. 24') to reduce the scale and fit in with neighborhood context

Facade Articulation

- Facades are treated with both large and fine grain articulation strategies to provide rhythm and scale

Entry Awning

- Establishes the entry sequence to the building
- Creates a welcoming residential character



2 NORTH ELEVATION / 1 PT. PERSPECTIVE VIEW



1 EAST ELEVATION / 1 PT. PERSPECTIVE VIEW

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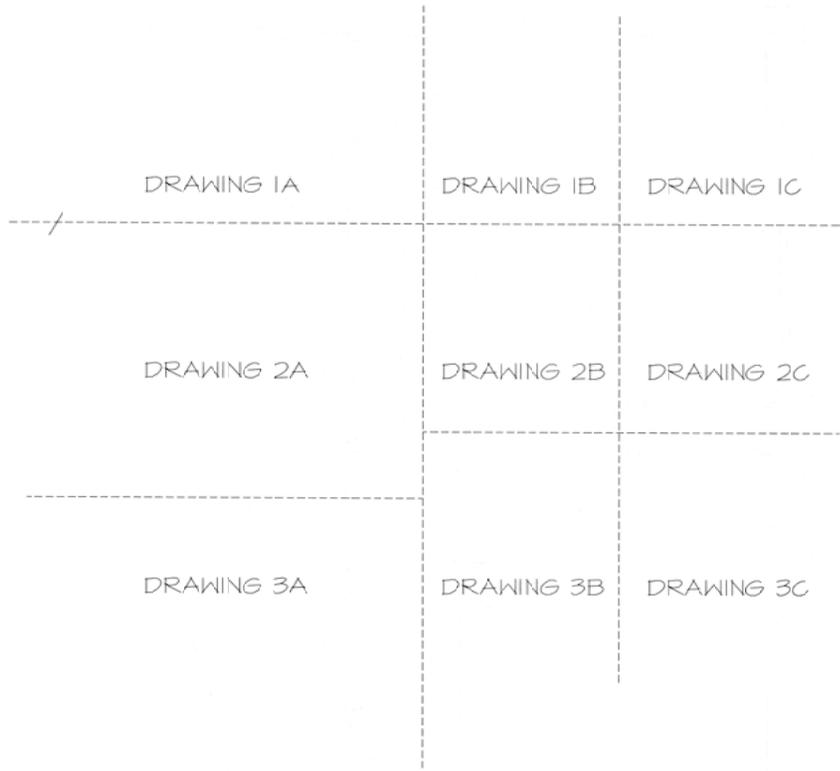
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FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



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NORTH

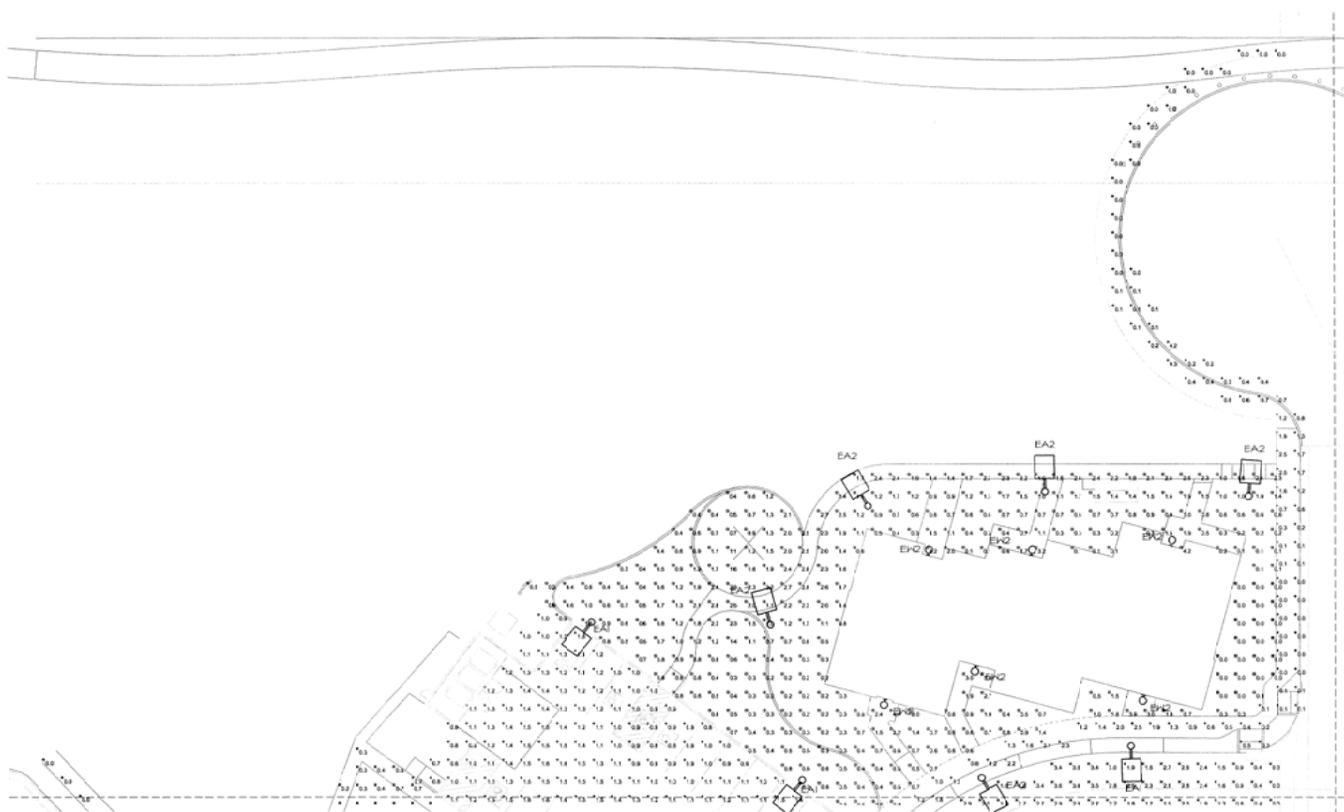
OVERALL SITE KEY PLAN
 SCALE: NTS

PHOTOMETRIC OVERALL SITE KEY PLAN

Drawing Number:

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FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



SITE 1A
PHOTOMETRIC PLAN
 SCALE 1/16" = 1'-0"

DRAWING 1A	DRAWING 1B	DRAWING 1C
DRAWING 2A	DRAWING 2B	DRAWING 2C
DRAWING 3A	DRAWING 3B	DRAWING 3C

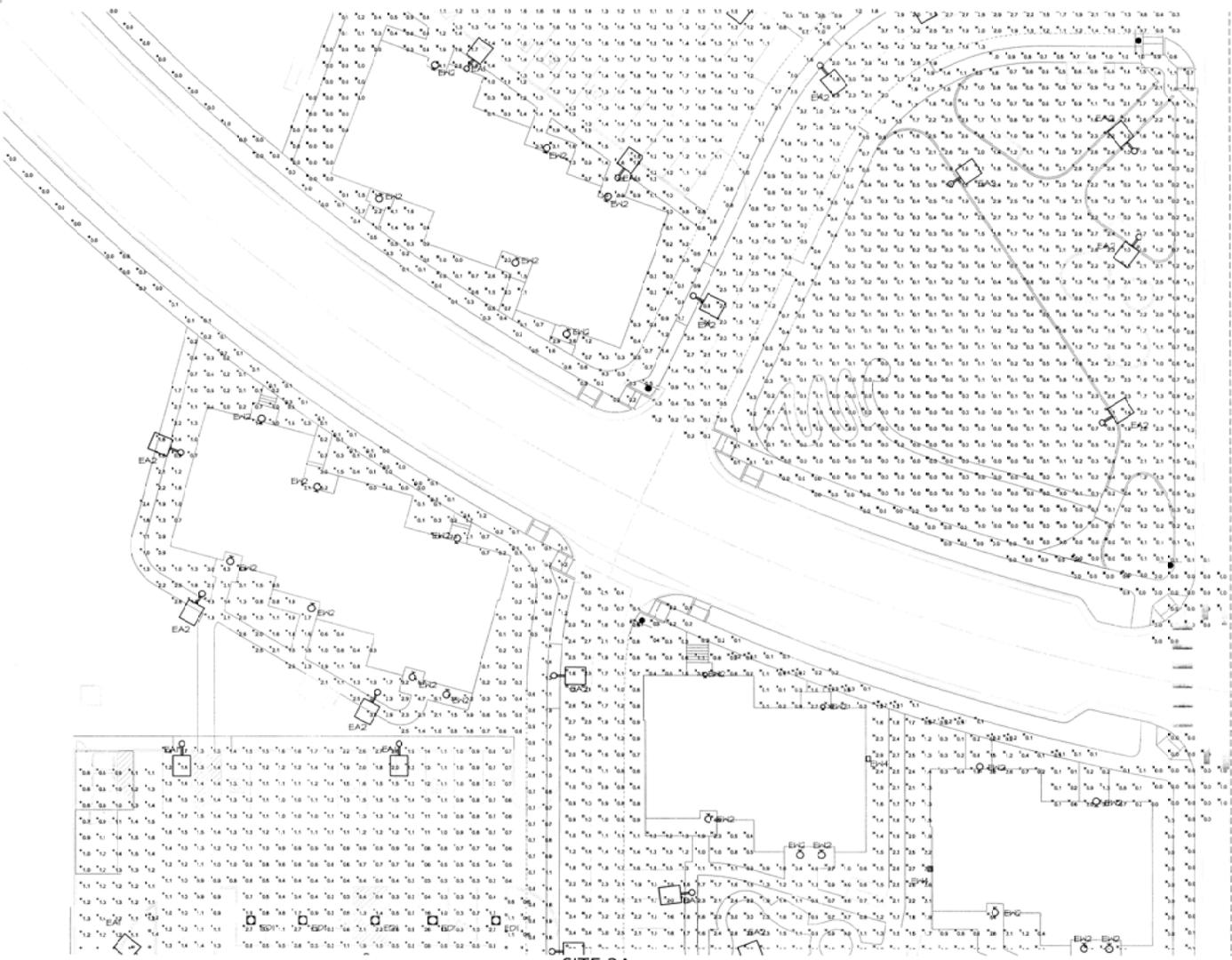
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SITE 1A
PHOTOMETRIC PLAN
 Drawing Number:

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FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



SITE 2A
PHOTOMETRIC PLAN
 SCALE: 1/16" = 1'-0"

DRAWING 1A	DRAWING 1B	DRAWING 1C
DRAWING 2A	DRAWING 2B	DRAWING 2C
DRAWING 3A	DRAWING 3B	DRAWING 3C

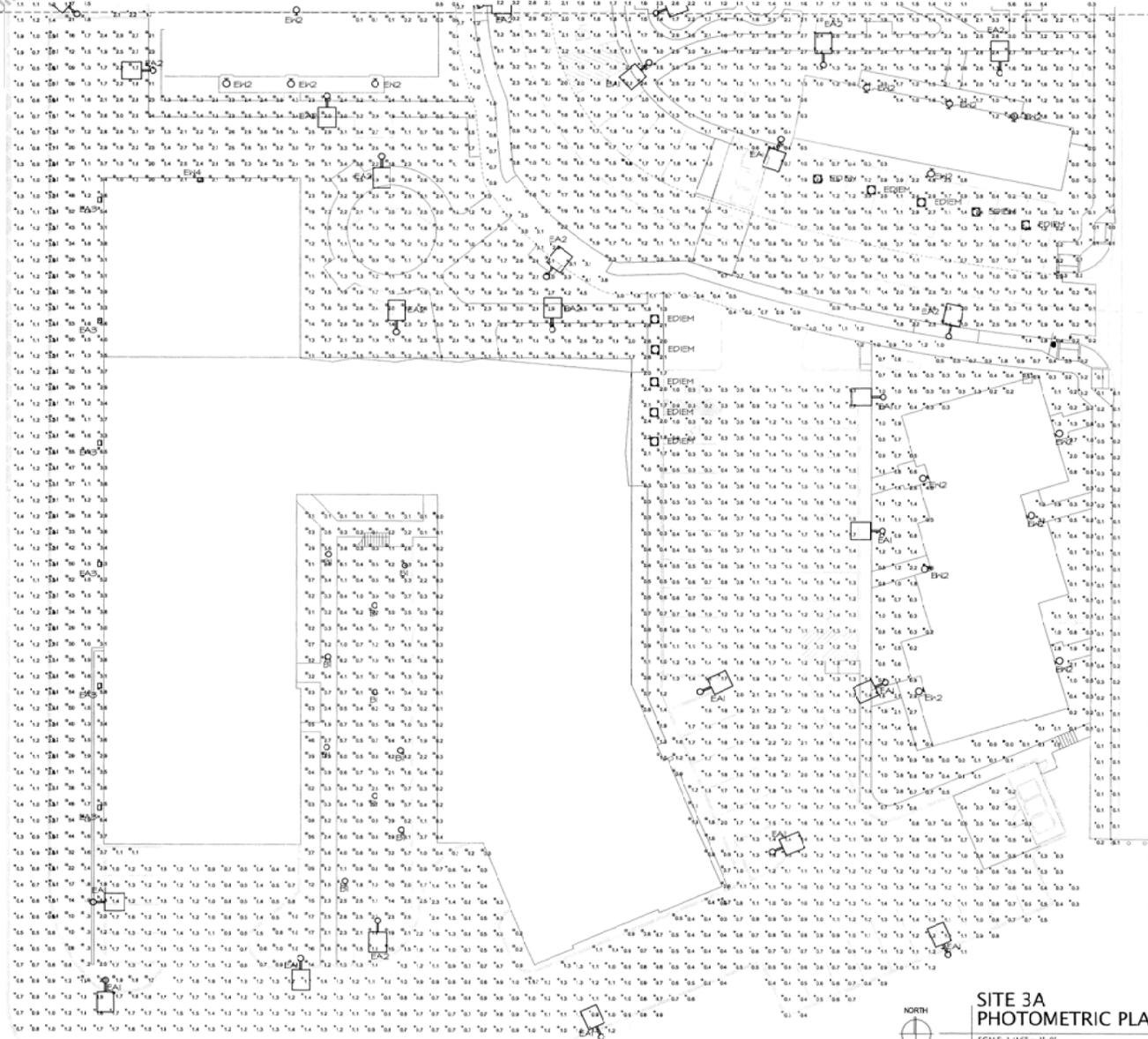
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 Architectural Engineering Design
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SITE 2A
PHOTOMETRIC PLAN
 Drawing Number:

KESTREL
FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

Unofficial Copy



DRAWING 1A	DRAWING 1B	DRAWING 1C
DRAWING 2A	DRAWING 2B	DRAWING 2C
DRAWING 3A	DRAWING 3B	DRAWING 3C

KESTREL
 Boulder County Housing Authority
 245 North 96th Street, Louisville, CO

- PROJECT TEAM:**
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 - Photometrics**
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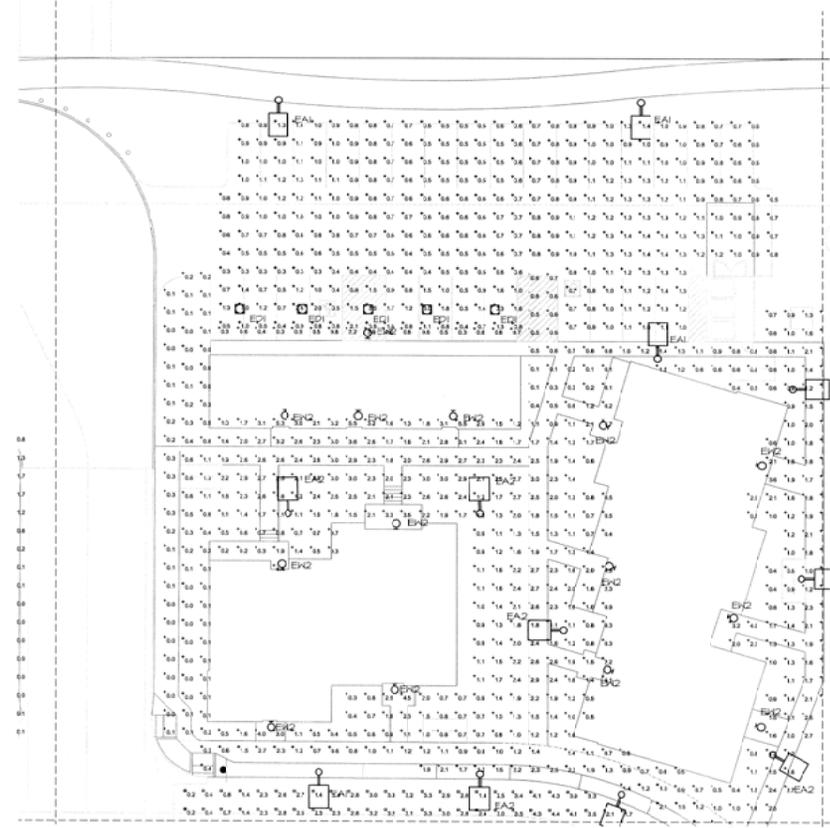
SITE 3A
PHOTOMETRIC PLAN
 SCALE 1/16" = 1'-0"

SITE 3A PHOTOMETRIC PLAN

Drawing Number:

Unofficial Copy

KESTREL
FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 89 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



SITE 1B
PHOTOMETRIC PLAN
 NORTH
 SCALE

DRAWING 1A	DRAWING 1B	DRAWING 1C
DRAWING 2A	DRAWING 2B	DRAWING 2C
DRAWING 3A	DRAWING 3B	DRAWING 3C

KESTREL
 Boulder County Housing Authority
 245 North 96th Street, Louisville, CO

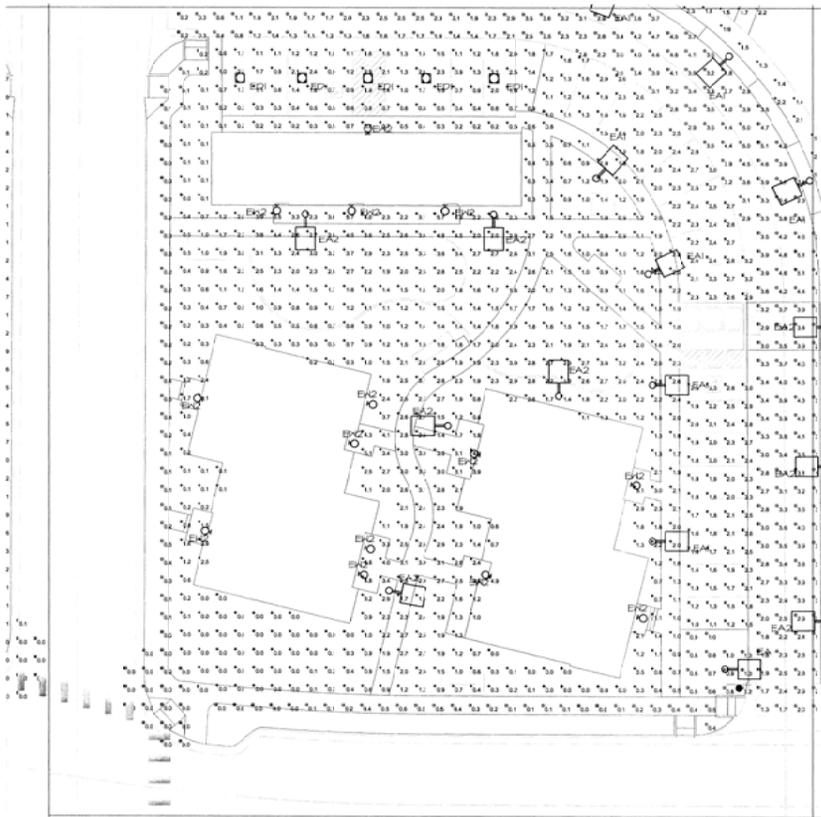
- PROJECT TEAM:**
- Owner's Representative**
 Boulder County Housing Authority
 2525 13th Street, 2nd Floor
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 (303) 441-1508
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SITE 1B
PHOTOMETRIC PLAN
 Drawing Number:

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KESTREL
FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



SITE 2B
PHOTOMETRIC PLAN
 SCALE: 1/16" = 1'-0"

DRAWING 1A	DRAWING 1B	DRAWING 1C
DRAWING 2A	DRAWING 2B	DRAWING 2C
DRAWING 3A	DRAWING 3B	DRAWING 3C

KESTREL
 Boulder County Housing Authority
 245 North 96th Street, Louisville, CO

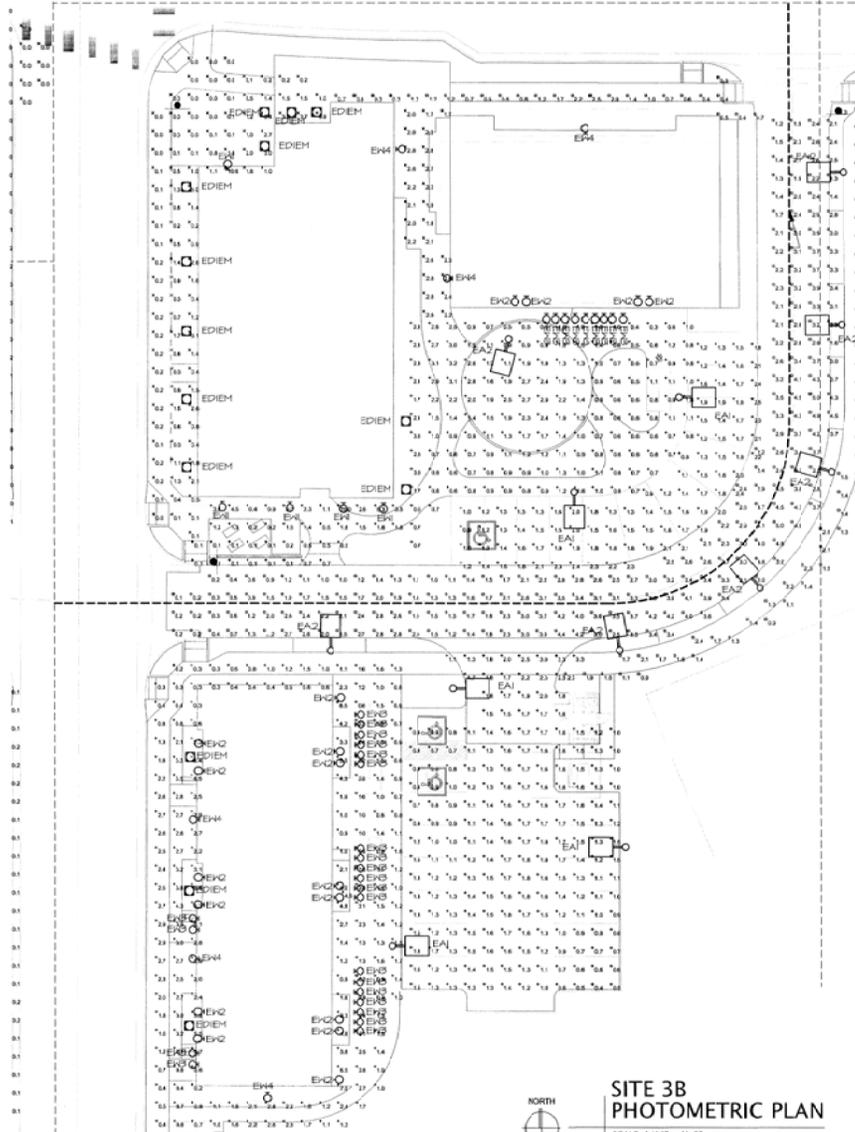
PROJECT TEAM:
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 Boulder County Housing Authority
 2525 13th Street, 2nd Floor
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 (303)441-1506
 contact: Norm Boyd
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 Beson Associates
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SITE 2B
PHOTOMETRIC PLAN

Drawing Number:

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KESTREL
FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



SITE 3B
PHOTOMETRIC PLAN
 SCALE: 1/16" = 1'-0"

DRAWING 1A	DRAWING 1B	DRAWING 1C
DRAWING 2A	DRAWING 2B	DRAWING 2C
DRAWING 3A	DRAWING 3B	DRAWING 3C

KESTREL
 Boulder County Housing Authority
 245 North 96th Street, Louisville, CO

PROJECT TEAM:
Owner's Representative
 Boulder County Housing Authority
 5225 13th Street, 2nd Floor
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 1805 Wadsworth Street, Suite 350
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 (303) 298-3314
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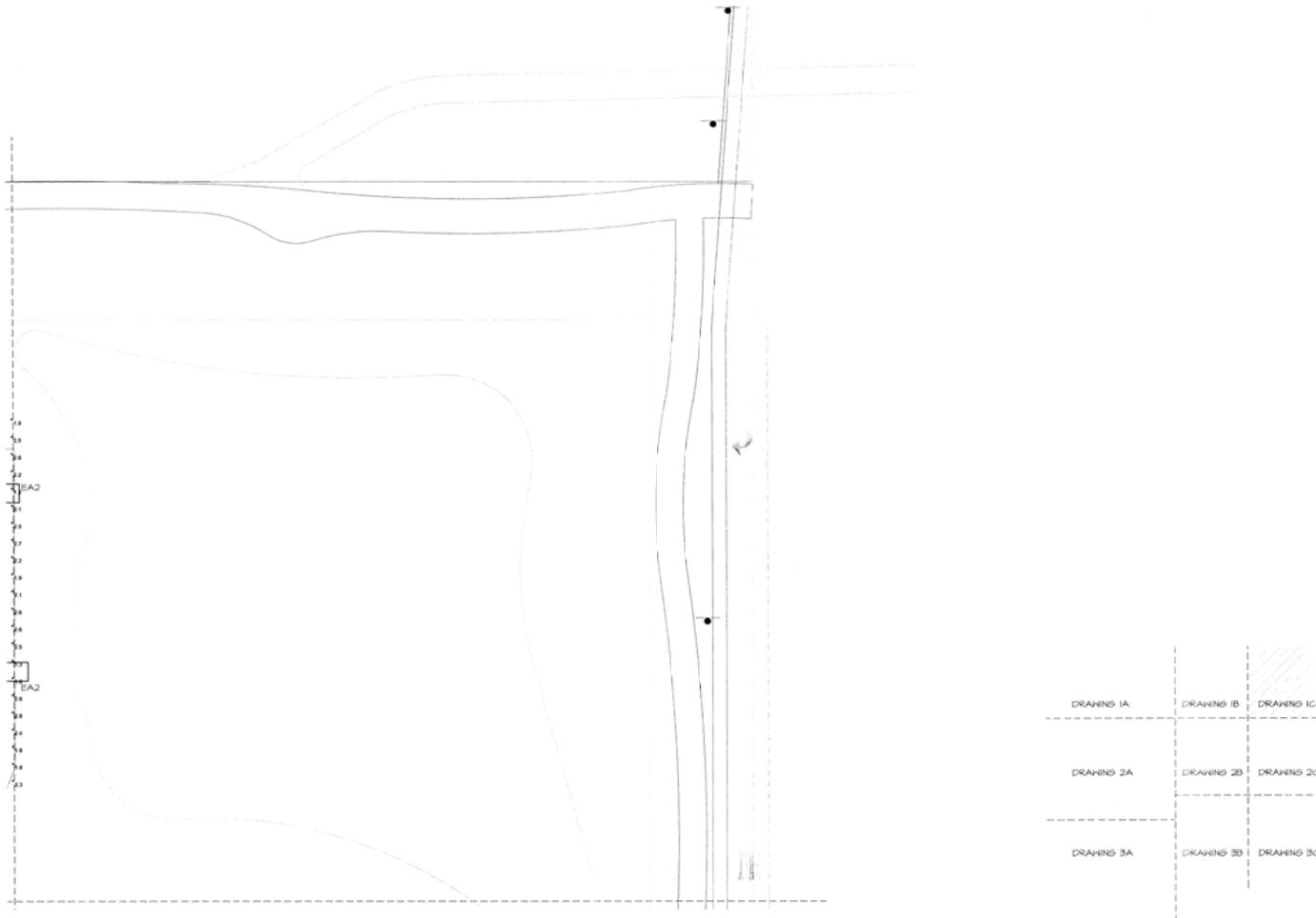
SITE 3B
PHOTOMETRIC PLAN

Drawing Number:

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KESTREL
FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



SITE 1C
PHOTOMETRIC PLAN
 SCALE: 1/16" = 1'-0"

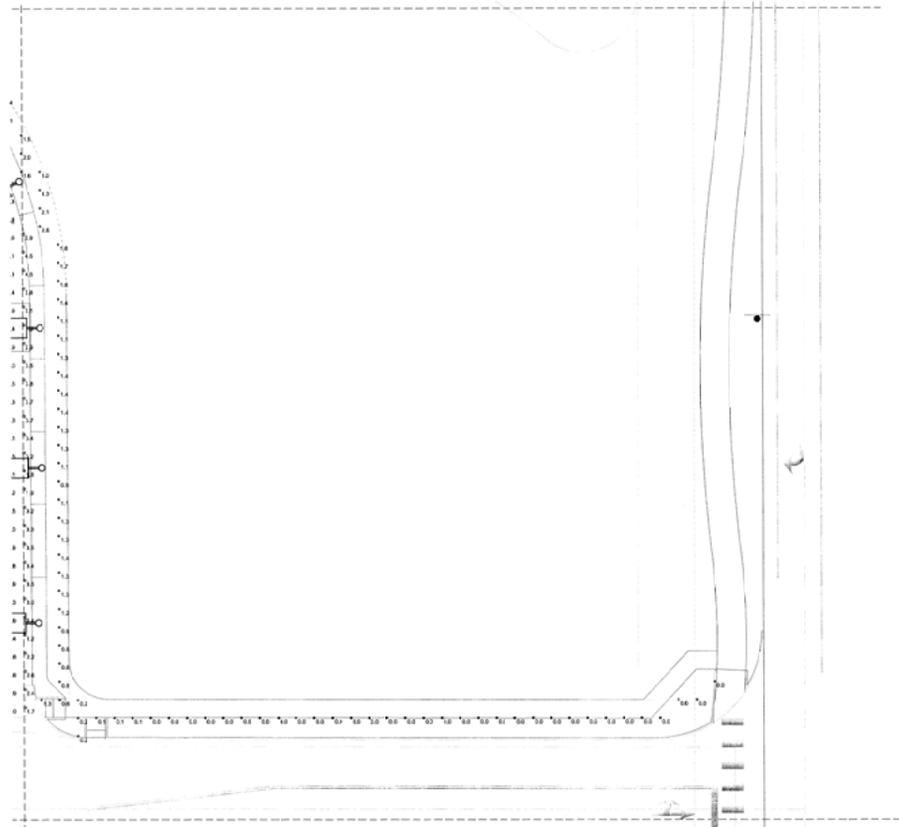
KESTREL
 Boulder County Housing Authority
 245 North 96th Street, Louisville, CO

PROJECT TEAM:
Owner's Representative
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 2525 13th Street, 2nd Floor
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 (303) 441-1556
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SITE 1C
PHOTOMETRIC PLAN
 Drawing Number

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KESTREL
FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



NORTH
 SITE 2C
 PHOTOMETRIC PLAN
 SCALE 1/16" = 1'-0"

DRAWING 1A	DRAWING 1B	DRAWING 1C
DRAWING 2A	DRAWING 2B	DRAWING 2C
DRAWING 3A	DRAWING 3B	DRAWING 3C

KESTREL
 Boulder County Housing Authority
 245 North 96th Street, Louisville, CO

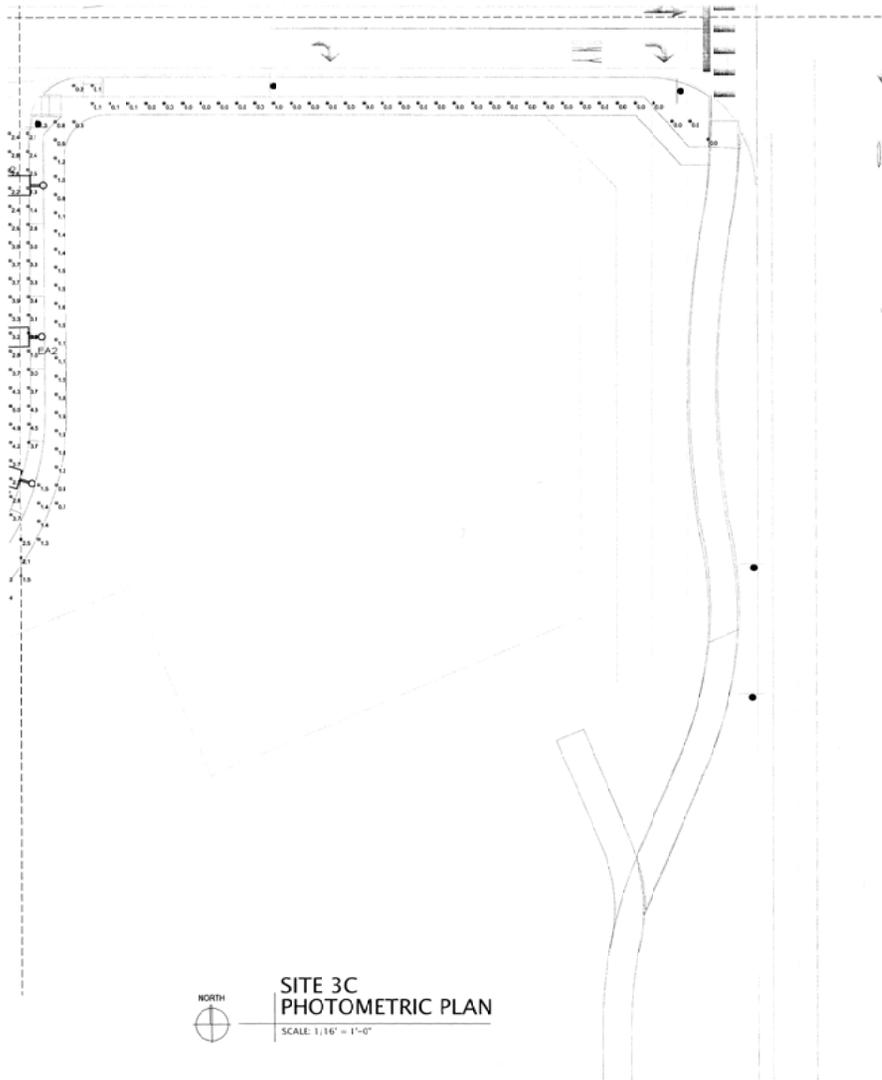
PROJECT TEAM:
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 contact: Eric Retan

**SITE 2C
 PHOTOMETRIC PLAN**

Drawing Number:

Unofficial Copy

KESTREL
FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT
 SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO



SITE 3C
PHOTOMETRIC PLAN
 SCALE: 1/16" = 1'-0"

DRAWING 1A	DRAWING 1B	DRAWING 1C
DRAWING 2A	DRAWING 2B	DRAWING 2C
DRAWING 3A	DRAWING 3B	DRAWING 3C

KESTREL
 Boulder County Housing Authority
 245 North 96th Street, Louisville, CO

- PROJECT TEAM:**
- Owner's Representative**
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SITE 3C
PHOTOMETRIC PLAN
 Drawing Number:

Unofficial Copy

KESTREL

FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

SOUTHEAST ¼ of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

EAI/EA3

BEAÇON VPER - SMALL LED

Max. Input: 1.2 A
Max. Output: 1.2 A
Max. Power: 1.2 W

BEAÇON VPER - SMALL LED

Max. Input: 1.2 A
Max. Output: 1.2 A
Max. Power: 1.2 W

BEAÇON VPER - SMALL LED

Max. Input: 1.2 A
Max. Output: 1.2 A
Max. Power: 1.2 W

KESTREL
Boulder County Housing Authority
245 North 96th Street, Louisville, CO

EA2

EDI/EM

Universe Collection Medium LED - UCM

UNIVERSITY OF COLORADO BOULDER

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
2	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
3	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
4	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
5	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
6	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
7	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
8	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
9	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
10	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00

Universe Collection Medium LED - UCM

UNIVERSITY OF COLORADO BOULDER

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
2	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
3	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
4	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
5	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
6	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
7	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
8	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
9	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
10	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00

Universe Collection Medium LED - UCM

UNIVERSITY OF COLORADO BOULDER

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
2	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
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4	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
5	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
6	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
7	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
8	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
9	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00
10	UNIVERSE COLLECTION MEDIUM LED - UCM	1	EA	100.00	100.00

Universe Collection Medium LED - UCM

UNIVERSITY OF COLORADO BOULDER

UNIVERSE COLLECTION MEDIUM LED - UCM

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LIGHTING FIXTURE CUTSHEETS

Drawing Number:

Unofficial Copy

KESTREL FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT SOUTHEAST 1/4 of SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

EW1

EW2

Goodrich Uno Porcelain LED Gasconche 10010



\$424.00

Features:

- Porcelain finish
- 100% Dimmable
- 100% Energy Efficient
- 100% Mercury Free
- 100% Lead Free
- 100% RoHS Compliant
- 100% Recycled
- 100% Recycled Packaging
- 100% Recycled Components
- 100% Recycled Materials
- 100% Recycled Parts
- 100% Recycled Supplies
- 100% Recycled Tools
- 100% Recycled Workers
- 100% Recycled Owners
- 100% Recycled Customers
- 100% Recycled Suppliers
- 100% Recycled Distributors
- 100% Recycled Retailers
- 100% Recycled Wholesalers
- 100% Recycled Manufacturers
- 100% Recycled Importers
- 100% Recycled Exporters
- 100% Recycled Shippers
- 100% Recycled Carriers
- 100% Recycled Recipients
- 100% Recycled End Users
- 100% Recycled Resellers
- 100% Recycled Refurbishers
- 100% Recycled Recyclers
- 100% Recycled Reusers
- 100% Recycled Reprocessors
- 100% Recycled Remanufacturers
- 100% Recycled Resellers
- 100% Recycled Refurbishers
- 100% Recycled Recyclers
- 100% Recycled Reusers
- 100% Recycled Reprocessors
- 100% Recycled Remanufacturers

GOODRICH

Goodrich Uno Porcelain LED Gasconche 10010

Features:

- Porcelain finish
- 100% Dimmable
- 100% Energy Efficient
- 100% Mercury Free
- 100% Lead Free
- 100% RoHS Compliant
- 100% Recycled
- 100% Recycled Packaging
- 100% Recycled Components
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- 100% Recycled End Users
- 100% Recycled Resellers
- 100% Recycled Refurbishers
- 100% Recycled Recyclers
- 100% Recycled Reusers
- 100% Recycled Reprocessors
- 100% Recycled Remanufacturers

TMSLIGHTING

Goodrich Uno Porcelain LED Gasconche 10010

Features:

- Porcelain finish
- 100% Dimmable
- 100% Energy Efficient
- 100% Mercury Free
- 100% Lead Free
- 100% RoHS Compliant
- 100% Recycled
- 100% Recycled Packaging
- 100% Recycled Components
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- 100% Recycled Recyclers
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Goodrich Uno Porcelain LED Gasconche 10010

Features:

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- 100% Recycled Recipients
- 100% Recycled End Users
- 100% Recycled Resellers
- 100% Recycled Refurbishers
- 100% Recycled Recyclers
- 100% Recycled Reusers
- 100% Recycled Reprocessors
- 100% Recycled Remanufacturers

EW3

EW4

BI

Goodrich Uno Porcelain LED Gasconche 10010

Features:

- Porcelain finish
- 100% Dimmable
- 100% Energy Efficient
- 100% Mercury Free
- 100% Lead Free
- 100% RoHS Compliant
- 100% Recycled
- 100% Recycled Packaging
- 100% Recycled Components
- 100% Recycled Materials
- 100% Recycled Parts
- 100% Recycled Supplies
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- 100% Recycled Suppliers
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- 100% Recycled Recipients
- 100% Recycled End Users
- 100% Recycled Resellers
- 100% Recycled Refurbishers
- 100% Recycled Recyclers
- 100% Recycled Reusers
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Goodrich Uno Porcelain LED Gasconche 10010

Features:

- Porcelain finish
- 100% Dimmable
- 100% Energy Efficient
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Goodrich Uno Porcelain LED Gasconche 10010

Features:

- Porcelain finish
- 100% Dimmable
- 100% Energy Efficient
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- 100% Recycled
- 100% Recycled Packaging
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- 100% Recycled Shippers
- 100% Recycled Carriers
- 100% Recycled Recipients
- 100% Recycled End Users
- 100% Recycled Resellers
- 100% Recycled Refurbishers
- 100% Recycled Recyclers
- 100% Recycled Reusers
- 100% Recycled Reprocessors
- 100% Recycled Remanufacturers

Goodrich Uno Porcelain LED Gasconche 10010

Features:

- Porcelain finish
- 100% Dimmable
- 100% Energy Efficient
- 100% Mercury Free
- 100% Lead Free
- 100% RoHS Compliant
- 100% Recycled
- 100% Recycled Packaging
- 100% Recycled Components
- 100% Recycled Materials
- 100% Recycled Parts
- 100% Recycled Supplies
- 100% Recycled Tools
- 100% Recycled Workers
- 100% Recycled Owners
- 100% Recycled Customers
- 100% Recycled Suppliers
- 100% Recycled Distributors
- 100% Recycled Retailers
- 100% Recycled Wholesalers
- 100% Recycled Manufacturers
- 100% Recycled Importers
- 100% Recycled Exporters
- 100% Recycled Shippers
- 100% Recycled Carriers
- 100% Recycled Recipients
- 100% Recycled End Users
- 100% Recycled Resellers
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- 100% Recycled Recyclers
- 100% Recycled Reusers
- 100% Recycled Reprocessors
- 100% Recycled Remanufacturers

KESTREL
Boulder County Housing Authority
245 North 96th Street, Louisville, CO

PROJECT TEAM:

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Architectural Engineering Design
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1500 Platte Street, Suite 350
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contact: Eric Reitan

LIGHTING FIXTURE CUTSHEETS

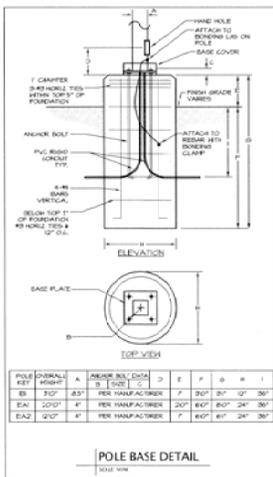
Drawing Number:

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KESTREL FINAL DEVELOPMENT PLAN / PLANNED UNIT DEVELOPMENT

SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6th P.M. COUNTY OF BOULDER, STATE OF COLORADO

Boulder County, CO 03499060 29 of 29



GENERAL NOTES

1. ALL SITE LIGHTING TO BE CONTROLLED BY PHOTOCELL, TIME CLOCK.
2. ILLUMINANCE VALUES SHOWN AT GRADE WITH INITIAL LIGHT LOSS FACTORS OF 0.8.
3. ILLUMINANCE VALUES ARE BASED SOLELY ON LIGHTING SHOWN EXPLICITLY OR DRAWINGS.

EXTENSOR LIGHTING FIXTURE SCHEDULE	MANUFACTURER	CATALOG NUMBER	VOLUME	LOFT	WATT	FINISHING	IMMERSION	SCHE
1A BROW CENTER BUILDING	BEACON	PHS-4-100-30-40-80V	300	11	30	30	30"	2
1B POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1C POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1D POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1E POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1F POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1G POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1H POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1I POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1J POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1K POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1L POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1M POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1N POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1O POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1P POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1Q POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1R POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1S POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1T POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1U POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1V POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1W POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1X POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1Y POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1
1Z POLYCARBONATE PARKING LOT	BEACON	UPGRADE-300-300-300-300	300	11	30	30	30"	1

Statistics	Symbol	Adj.	Min.	Max.	Max/Min
PAVING LOT A-B	+	1.6%	2.5%	3.8%	3.1%
BUILDING C-PARKWAY	+	2.6%	8.5%	3.2%	42.5%
COURTYARD BLDG	+	1.3%	10.6%	3.1%	1660:1
COURTYARD GARAGE	+	1.3%	10.6%	3.0%	NA
COURTYARD NORTHWEST SECTION NW	+	1.5%	5.5%	3.0%	NA
COURTYARD NORTHWEST SECTION SW	+	1.5%	5.7%	3.0%	NA
COURTYARD NORTHWEST SECTION NE	+	1.6%	5.8%	3.0%	NA
COURTYARD NORTHWEST SECTION SE	+	0.8%	3.8%	3.0%	NA
COURTYARD NORTHWEST SECTION SW	X	0.4%	4.1%	3.0%	NA
COURTYARD NORTHWEST SECTION NE	X	1.5%	5.6%	3.0%	NA
COURTYARD NORTHWEST SECTION SW	+	1.3%	6.4%	3.0%	NA
COURTYARD NORTHWEST SECTION SW	+	0.6%	4.6%	3.0%	NA
COURTYARD NORTHWEST SECTION SW	+	2.2%	6.5%	3.0%	NA
ENTRANCE BUILDING NORTH/EAST	+	4.5%	4.5%	4.5%	1.6%
ENTRANCE BUILDING NORTH/WEST	+	8.2%	8.2%	8.2%	1.6%
ENTRANCE BUILDING SOUTH	+	6.7%	6.7%	6.7%	1.6%
ENTRANCE GARAGE	+	6.7%	6.7%	6.7%	1.6%
NORTH/PARKING LOT	+	0.5%	2.5%	0.3%	10:1
NORTH/PARKWAY	+	0.5%	2.5%	0.3%	8:1
NORTHWEST PARKING ROWWAY	+	2.6%	5.1%	0.2%	25:1
NORTHWEST STREET PARKING	X	2.1%	3.2%	1.6%	3:1
NORTHWEST PARKING ROWWAY	X	1.6%	4.6%	0.2%	22:1
NORTHWEST PARKING LOT	+	1.3%	1.6%	0.4%	3:1
OVERALL	+	0.6%	4.4%	0.6%	NA
PARKING Contained Area	+	1.3%	3.5%	0.3%	11:1
PARKING LOT C	+	1.4%	3.3%	0.4%	8:1
ROWWAY Contained Area	+	2.2%	5.1%	0.1%	15:1
SECONK/BETWEEN A & B	X	2.3%	2.9%	1.7%	3:1
SECONK/NORTHWEST SECTION NE	+	0.6%	2.7%	0.6%	NA
SECONK/NORTHWEST SECTION SE	+	0.6%	2.5%	0.6%	NA
SECONK/NORTHWEST SECTION SW	+	0.3%	1.3%	0.6%	NA
SECONK/NORTHWEST SECTION SW	+	0.6%	2.5%	0.6%	NA
SECONK/NORTHWEST SECTION SE	X	0.4%	1.9%	0.6%	NA
SECONK/NORTHWEST SECTION SE	X	0.2%	1.2%	0.6%	NA
SECONK/NORTHWEST SECTION SW	+	0.6%	4.1%	0.6%	NA
SECONK/SE	+	0.6%	10.6%	0.6%	NA
SOUTHWEST PARKING LOT	+	1.1%	2.3%	0.2%	11:1
SOUTHWEST PARKING ROWWAY	+	2.6%	5.6%	0.1%	30:1
SOUTHWEST STREET PARKING	+	1.5%	3.7%	0.1%	37:1
SOUTHWEST STREET PARKING	+	1.5%	3.5%	0.3%	11:1
STAIRS Contained Area	+	4.3%	9.4%	2.1%	4:1
STAIRWAY BUILDING A LOWER	+	4.3%	6.2%	2.3%	2:1
STAIRWAY BUILDING A UPPER	+	4.6%	7.1%	2.1%	3:1
STAIRWAY BUILDING C NORTH	+	5.1%	6.1%	2.8%	2:1
WEST PARKING LOT	+	1.5%	2.3%	0.2%	13:1
WEST PLAZA AND SECONK	X	0.6%	10.6%	0.6%	NA
WEST STREET PARKING	+	1.6%	2.2%	1.4%	1:1

KESTREL
Boulder County Housing Authority
245 North 96th Street, Louisville, CO

PROJECT TEAM

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Photographer
Architectural Engineering Design Group, Inc.
1600 Evans Street, Suite 150, Denver, CO 80202
Contact: Eric Rietan

LIGHTING SCHEDULES

Drawing Number

Takoda

General Development Plan - 5th Amendment

Southeast ¼ of Section 5, Township 1 South, Range 69 West of the 6th P.M.

Property Ownership

Boulder County Housing Authority
2525 13th Street, Suite 204
Boulder, CO 80304

Legal Description

That portion of the Southeast ¼ of Section 5, Township 1 South, Range 69 West of the 6th P.M., County of Boulder, State of Colorado, described as follows:

Beginning at the Southeast corner of said Section 5; thence North 00°07'00" East along the East line of said Section 5, a distance of 772.18 feet to the true point of beginning; thence continuing North 00°07'00" East along the East line of said Section 5, a distance of 562.90 feet to the approximate centerline of that easement and right of way for electric transmission lines as granted by Sam Milano to Public Service Company of Colorado by instrument recorded February 16, 1942 in Book 713 at Page 130; thence North 89°50'40" West, along the approximate centerline of the said right of way described in Book 713 at Page 130, a distance of 783.09 feet; thence South 00°07'00" West, a distance of 946.77 feet to the North line of that tract of land which is excepted in the description of "Tract 1" in the Deed from Estia D. Parr and Glenzie Parr to Davidson Investments, Inc., a Colorado corporation, recorded January 22, 1962 in Book 1215 at Page 503; thence along the North line of the said tract of land excepted in the description of "Tract 1" in the said Deed in Book 1216 at Page 503 by the following four calls and distances:

Thence North 55°09'00" East, a distance of 5.29 feet;
Thence North 89°50'00" East, a distance of 247.65 feet;
Thence North 67°30'00" East, a distance of 316.33 feet;
Thence North 66°49'00" East, a distance of 262.00 feet to the true point of beginning.

Also known as Tract 2671, less A & B, Section 5, Township 1 South, Range 69 West of the 6th P.M.

Project Description

Property Area: 13.434 Acres

- Access:
- West Hecla Drive through Steel Ranch South
 - Highway 42 left or right onto West Hecla Drive
 - Paschal Drive via Kayla Avenue through Summit View property and Davidson Highline property
 - South Boulder Road via Kayla Avenue through Christopher Plaza B Property

Land Use Summary

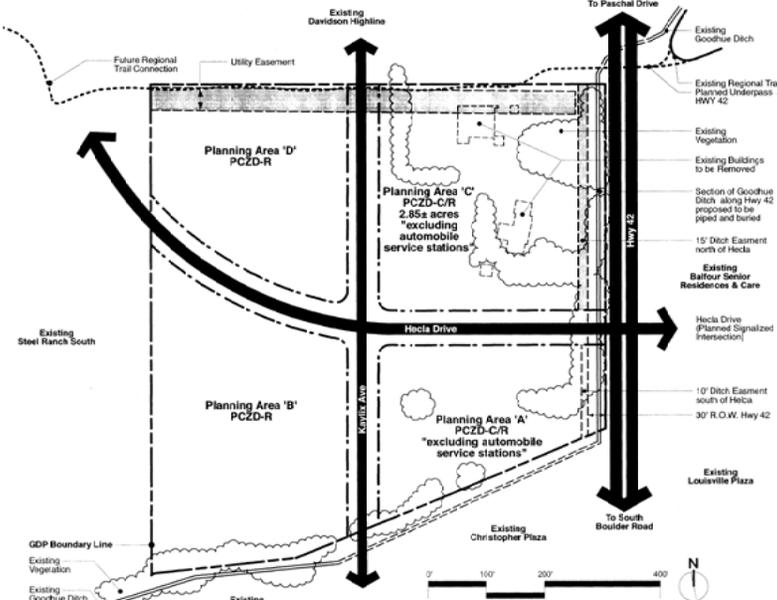
Gross Property Area:	13.434 Acres
Highway 42 ROW Dedication:	0.41± Acres
Collector St ROW Dedication:	1.11± Acres
Local Street ROW Dedication:	0.82± Acres
Ditch Easement:	0.19± Acres
Other Utility Easements:	0.63± Acres
Planning Area 'A':	1.82± Acres
Planning Area 'B':	3.44± Acres
Planning Area 'C':	2.85± Acres
Planning Area 'D':	2.13± Acres

Development Summary

Planning Area 'A': PCZD-C/R "excluding automobile service stations"	Planning Area 'B': PCZD-R	Planning Area 'C': PCZD-C/R "excluding automobile service stations"	Planning Area 'D': PCZD-R
Allowed Uses: per section LMC 17.72.080 & 17.72.090	Allowed Uses: per section LMC 17.72.080 & 17.72.090	Allowed Uses: per section LMC 17.72.080 & 17.72.090	Allowed Uses: per section LMC 17.72.080 & 17.72.090
Maximum F.A.R.:	1.0	1.0	1.0
Maximum Floor Area Allowed (1.82 Acres):	37,897± sq ft	124,146± sq ft	26,571± sq ft
Commercial Floor Area (0.87 Acres):	28 units*	56 Dwelling Units	25 Dwelling Units / Acre
Dwelling Units (included in F.A.R.):	15.4 Dwelling Units / Acre	32 Dwelling Units	15 Dwelling Units / Acre
Maximum Residential Density for 1.82 Acres:	115 Dwelling Units	33.4 Dwelling Units / Acre	231 Dwelling Units
Notes:			
* It is intended that a portion of this Planning Area will be higher density artists live-work type housing.			
** The combined square footage of commercial and residential will be less than half the amount allowed when calculating the entire area using FAR of 1.0.			

Public Land Dedication

Gross Area	13.434 Acres
PCZD-R Area + PCZD-C/R (Residential Area Only)	11.925 Acres
PCZD-C/R Area (Commercial Area Only)	1.478 Acres
PCZD-R + PCZD-C/R (Residential Area Only)	11.925 Acres
Gross Area:	11.925 Acres
Minimum Area Required:	15%
Dedicated Land Required:	1.8± Acres
Total Dedicated Land Required (PCZD-R)	1.8± Acres
PCZD-C/R (Commercial Area Only)	1.478 Acres
Gross Area:	1.478 Acres
Minimum Area Required:	12%
Dedicated Land Required:	0.18 Acres
Total Dedicated Land Required (PCZD-C)	0.18 Acres
TOTAL DEDICATED PUBLIC LAND REQUIRED	1.98 Acres



Vicinity Map



Notes

- Survey by Scott, Cox & Associates, dated December 12, 2014.
- The property is not located in the flood plain per FEMA map number 08013C06823 panel 852 of 815 revised December 18, 2012.
- Timing and phasing of this development will be dependent on tax credit funding and other funding sources.
- Proposed vehicular connections from internal collector and local streets may be refined.
- No less than eighty percent (80%) of the total cost of all residential units on the property shall be developed as affordable units at or below sixty percent (60%) of the area median income ("AMI"), and at least sixty (60) of the affordable units shall be age restricted for occupancy by persons fifty-five (55) years of age, or older, as provided in the Annexation Agreement.
- Use Group #12 in Section 17.72.090(b) (Automobile service stations) is prohibited in Planning Areas A & C.
- The Owner shall pay for 50% of the cost of a traffic signal installation at the intersection of West Hecla Drive and Highway 42 per the Annexation Agreement.

Bulk & Dimension Standards

	Planning Area 'A'	Planning Area 'B'	Planning Area 'C'	Planning Area 'D'
Min. Lot Area	7,000 sq ft	7,000 sq ft	7,000 sq ft	7,000 sq ft
Min. Lot Width	60'	60'	60'	60'
Max. Lot Coverage	40%	40%	40%	40%
Building Setbacks				
Min. Front Yard Setback (Principle Uses)	See ROW Setbacks	See ROW Setbacks	See ROW Setbacks	See ROW Setbacks
Min. Side Yard Setback (Principle Uses)	2'	3'	3'	3'
Min. Side Yard Setback (Accessory Uses)	3'	3'	3'	3'
Min. Rear Yard Setback (Principle Uses)	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'
Min. Rear Yard Setback (Accessory Uses)	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'	Parking: 5' Building: 10'
Setback from Highway 42	Parking: 40' min from PL (10' from ROW Easement) Building: 40' min from PL (10' from ROW Easement)	N/A	Parking: 40' min from PL (10' from ROW Easement) Building: 40' min from PL (10' from ROW Easement)	N/A
Setback from Collector Street ROW	Parking: 10' Building: 5' typical, 2' for 33% of facade up to 12' max. width **	Parking: 10' Building: 5' typical, 2' for 33% of facade up to 12' max. width **	Parking: 10' Building: 5' typical, 2' for 33% of facade up to 12' max. width **	Parking: 10' Building: 5' typical, 2' for 33% of facade up to 12' max. width **
Setback from Local Street ROW	Parking: 10' Building: 5'	Parking: 10' Building: 5'	Parking: 10' Building: 5'	Parking: 10' Building: 5'
Setback from Parks and Open Space	0'	0'	0'	0'
Min. Building Separation	6'	6'	6'	6'
Max. Building Height				
Principle Uses	2-3 stories **	2-3 stories / 50' max. height ***	2-3 stories **	2-3 stories **
Accessory Uses	30'	30'	30'	30'

* The 50' max building height accommodates the specific instance in Planning Area B where a two to three story residential building, with basement level garage parking access is proposed in a location where the height is compatible with building height precedents on the adjacent property.
 ** The 33% portion of the multi-family building facade with 2' setback shall be angled and have a maximum width of 12' to maintain pedestrian mass and scale along the street front.
 *** Stoop, steps, covered porch, awning, or sunshading elements are permitted within the 5' setback.
 *Third floors of multifamily buildings shall also back a minimum of 5' for a minimum of 50% of any given frontage.
 *Floor forms shall have a mix of pitched, sloped, or flat roof types that vary in orientation for a dynamic skyline.
 *Boulder County Housing Authority shall work with the Goodhue Ditch Company to finalize the necessary easement and setback agreements.

City Council

APPROVED THIS 15th DAY OF December, 2015, BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, CO. ORDINANCE NO. 1710, SERIES 2015

Mayor
CITY CLERK

APPROVED THIS 15th DAY OF November, 2015, BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, CO. RESOLUTION NO. 36 SERIES 2015

City Clerk
RECORDER

Ownership Signature Block

BY SIGNING THIS GDP, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH BY THIS POPUP, WITHNESS OUR HANDS AND SEALS THIS 21st DAY OF January, 2016.

Director Jones
Boulder County Housing Authority
ELSC, per C.S.

245 North 96th Street
Boulder County Housing Authority
245 North 96th Street, Louisville, CO

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(303) 449-1141
contact: Nicole Delange

General Development Plan

Drawing Number:

A0.0

Memorandum

Date: May 12, 2016
To: Planning Commission
From: Planning Division
Subject: Case No. 16-001-ZN Business Center at CTC GDP Amendment

Attached is the draft resolution recommending denial of the Business Center at CTC application as requested by Planning Commission during the April 14, 2016 meeting.

The resolution enumerates the reasons Planning Commission denied the application, as staff heard them at the meeting. Staff requests that Planning Commission make any necessary changes so the resolution accurately reflects the Commission's reasons for denial, and pass the resolution.

Attachment – Draft Resolution

**RESOLUTION NO. 09
SERIES 2016**

A RESOLUTION DENYING AN AMENDMENT TO LOTS 11 & 12, BLOCK 1 OF THE BUSINESS CENTER AT CTC GENERAL DEVELOPMENT PLAN TO ALLOW FOR A WEDDING EVENT CENTER ON LOT 12

WHEREAS, there has been submitted to the Louisville Planning Commission an application for approval of an amendment to Lots 11 & 12, Block 1 of the Business Center at CTC General Development Plan to allow for a Wedding Event Center on Lot 12; and

WHEREAS, the subject property is zoned Commercial Community (CC); and

WHEREAS, the Planning Commission held a properly noticed public hearing on April 14, 2015, where evidence and testimony were entered into the record, including without limitation the application and supporting materials, the Louisville Planning Commission Staff Report dated April 14, 2016 and all attachments included with such staff report, the City Comprehensive Plan, the City zoning ordinance set forth in title 17 of the Louisville Municipal Code, and additional written statements and other documents, as well as testimony from the staff and applicant; and

WHEREAS, the Planning Commission by this Resolution desires to set forth its findings, conclusions and ruling with respect to the application.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

Section 1. The foregoing recitals are incorporated herein.

Section 2. Based on the testimony of the witnesses and the documents and other evidence made a part of the record of the hearing before the Planning Commission, the Planning Commission finds as follows:

a. The application is for an application for approval of an amendment to Lots 11 & 12, Block 1 of the Business Center at CTC General Development Plan to allow for a Wedding Event Center on Lot 12. The property is owned by EJ Louisville Land LLC. The applicant is Mark Danielson.

b. The property that is the subject of the application is zoned Planned Community Zone District – Industrial (P-I) and is within the Business Center at CTC General Development Plan.

c. The project proposed by the application shall be consistent with the 2013 Comprehensive Plan and the City of Louisville Zoning Map.

e. The decision criteria that apply to the applicant's proposed General Development Plan Amendment are set forth in Chapter 17.72 of the Louisville Municipal Code, and primarily in Section 17.72.060 of that Chapter.

f. Section 17.72060 allows amendments to a General Development Plan “when such amendments will not effect an increase in the permitted gross density of dwelling units or result in a change in character of the overall development plan”.

Section 3. Based on the foregoing findings and the evidence and testimony presented at the hearing, the Planning Commission hereby concludes that the application should be denied for the following reasons:

a. The project proposed by the application would result in a change in the character of the overall development. In particular, the Planning Commission concludes that the proposed GDP amendment is not compatible with the adjacent uses and would alter how the surrounding area operates.

Section 4. In accordance with the above findings and conclusions, and based upon the evidence and testimony presented at the hearing, the Planning Commission of the City of Louisville hereby denies the application for an amendment to Lots 11 & 12, Block 1 of the Business Center at CTC General Development Plan to allow for a Wedding Event Center on Lot 12.

PASSED AND ADOPTED this 12th day of May, 2016.

By: _____
Chris Pritchard, Chairman
Planning Commission

Attest: _____
Ann O’Connell, Secretary
Planning Commission