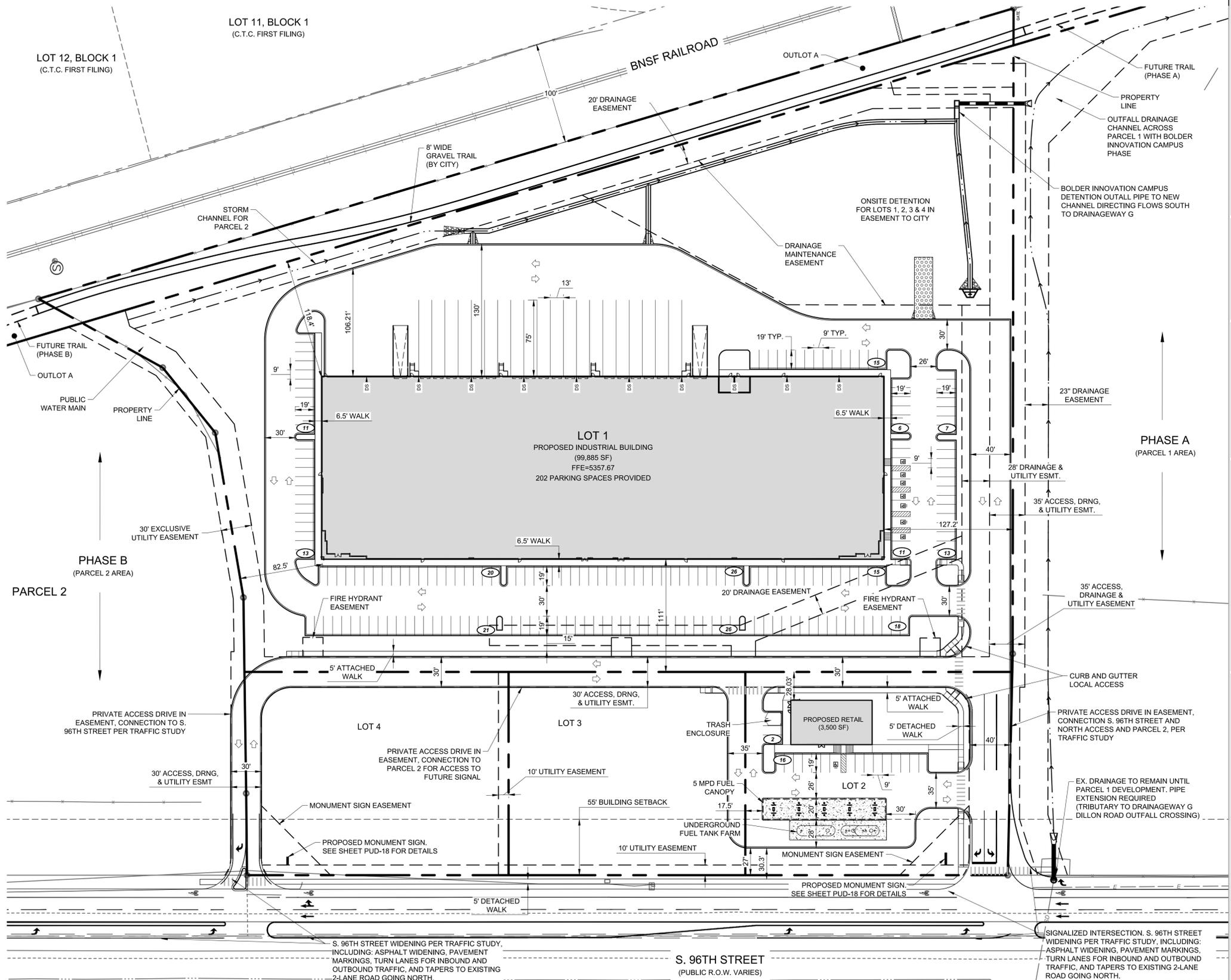


**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEME60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- PROPOSED BUILDING
- EXISTING FENCE
- EXISTING CURB AND GUTTER
- PROPOSED 6" CURB AND GUTTER
- PROPOSED EDGE OF ASPHALT
- PARKING COUNT
- DENOTES TRAFFIC FLOW PATTERNS (NO STRIPING)

ABBREVIATIONS

- U.E. = UTILITY EASEMENT
- U.D.E. = UTILITY AND DRAINAGE EASEMENT
- FL = FLOW LINE ELEVATION
- E.O.C. = EDGE OF CONCRETE ELEVATION
- HP = HIGH POINT
- LP = LOW POINT
- F.F.L. = FINISH FLOOR ELEVATION
- T.O.W. = TOP OF WALL ELEVATION
- B.O.W. = BOTTOM OF WALL ELEVATION
- T.O.B. = TOP OF BERM
- C.F. = CURB FACE
- L/S = LANDSCAPE
- T.P. = TRANSITION POINT
- G.B. = GRADE BREAK

NO.	REVISION	BY	DATE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

EES
ENTITLEMENT AND
SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7997 www.ees.us.com

**UNITED
PROPERTIES**

**FINAL PLANNED UNIT DEVELOPMENT PLANS
ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

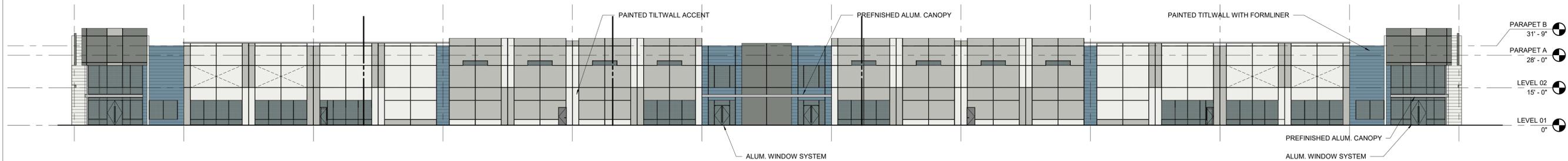
PROJECT NO:	UPR011.01
DESIGNED BY:	CRO
DRAWN BY:	CRO
DATE:	02/24/2020
PUD-2	
SHEET:	02 OF 18

© 2020, ALL RIGHTS RESERVED. P:\UNITED PROPERTIES\CO, LOUISVILLE - 96TH & DILLON\96 CADR\PUID PLANS\PUID-2 SITE PLAN.DWG

**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED I THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORAD O

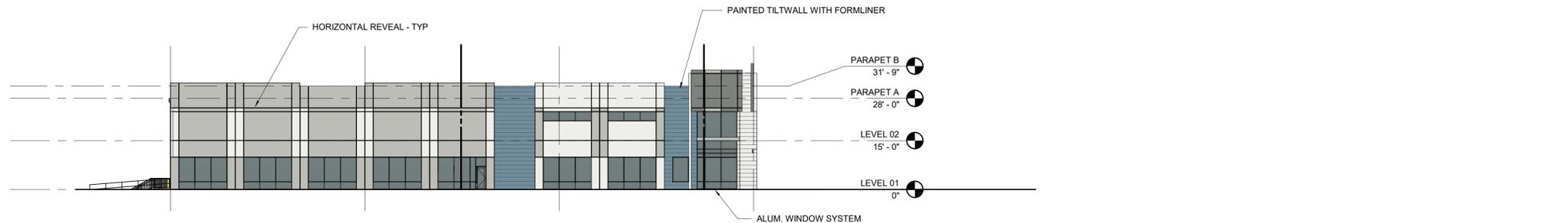


- ANODIZED ALUM - CLEAR
- FIELD PAINT - EXTRA WHITE (SW 7006)
- ACCENT PAINT 01 - ARGOS (SW 7065)
- ACCENT PAINT 02 - CITYSCAPE (SW 7067)
- ACCENT PAINT 03 - SMOKY AZURITE (SW 9148)
- FORMLINER WITH ACCENT PAINT 03 - SMOKY AZURITE (SW 9148)
- FORMLINER WITH FIELD PAINT - EXTRA WHITE (SW 7006)
- GLAZING - VISION - SOLARBAN 70XL SOLARGRAY



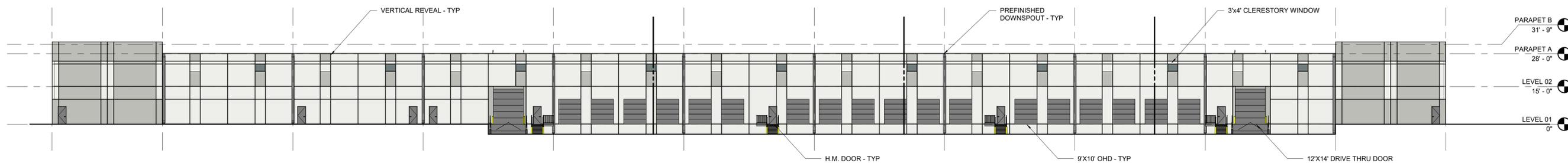
OVERALL ELEVATION WEST

SCALE: 1" = 20'-0"



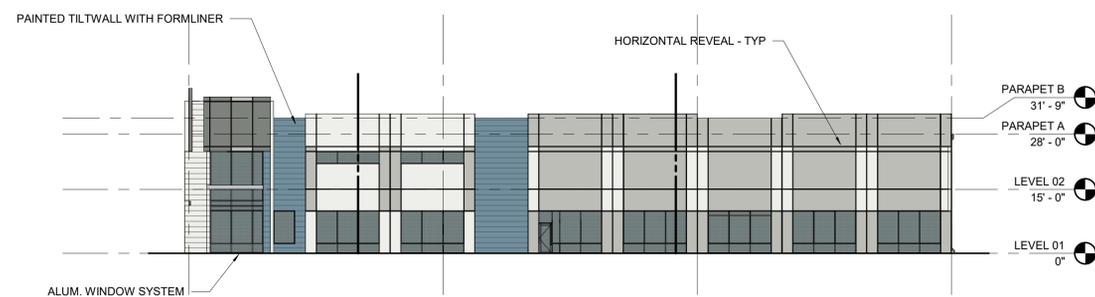
OVERALL ELEVATION NORTH

SCALE: 1" = 20'-0"



OVERALL ELEVATION EAST

SCALE: 1" = 20'-0"



OVERALL ELEVATION SOUTH

SCALE: 1" = 20'-0"

NO.	REVISION	BY	DATE

PRELIMINARY
NOT FOR
CONSTRUCTION

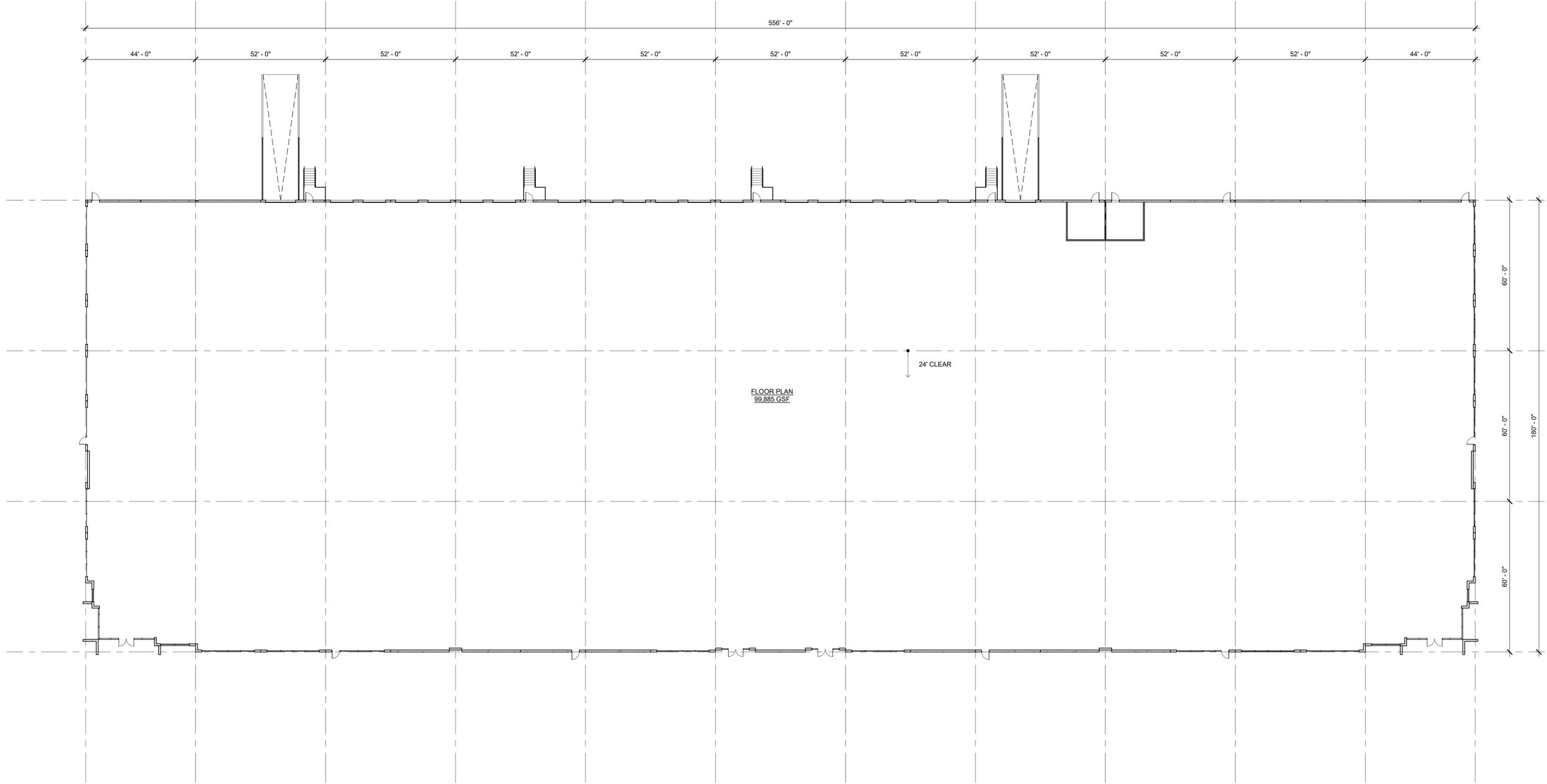
**FINAL PLANNED UNIT DEVELOPMENT PLANS
ST. LOUIS PARISH & DILLON, PHASE I
DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

PROJECT NO: UPR011.01
DESIGNED BY: CRO
DRAWN BY: CRO
DATE: 02/24/2020

**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

© 2017, ALL RIGHTS RESERVED.

I:\2019 PROJECTS - DENVER\194012 UP LOUISVILLE\CONSULTANTS\CIVIL\2020\02_05_CAD & PUD SHEET\TX\TBLK\ES-24\05-PUD.DWG



No.	REVISION	BY	DATE

PRELIMINARY
NOT FOR
CONSTRUCTION

**FINAL PLANNED UNIT DEVELOPMENT PLANS
ST. LOUIS PARISH & COMMERCIAL
PARK, 96TH & DILLON, PHASE I**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

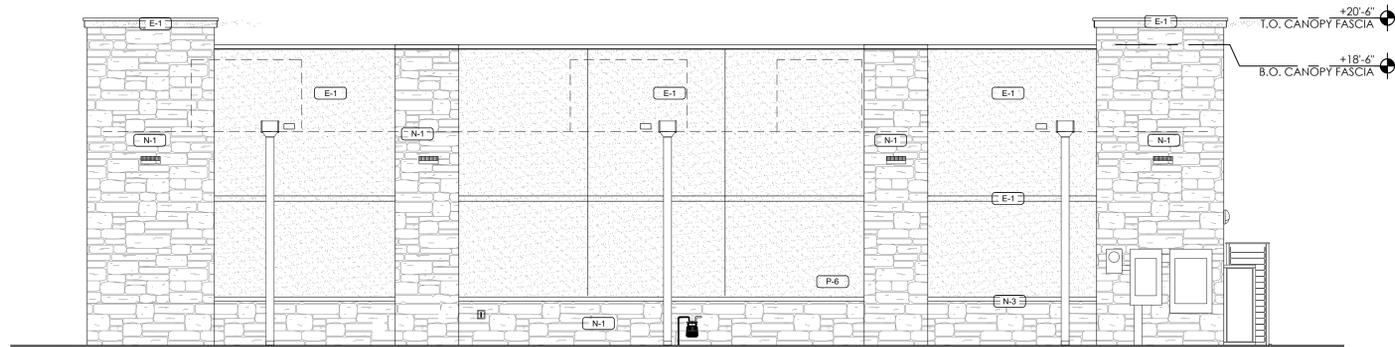
PROJECT NO: UP011.01
DESIGNED BY: CRO
DRAWN BY: CRO
DATE: 02/24/2020

05

SHEET: 00 OF 12

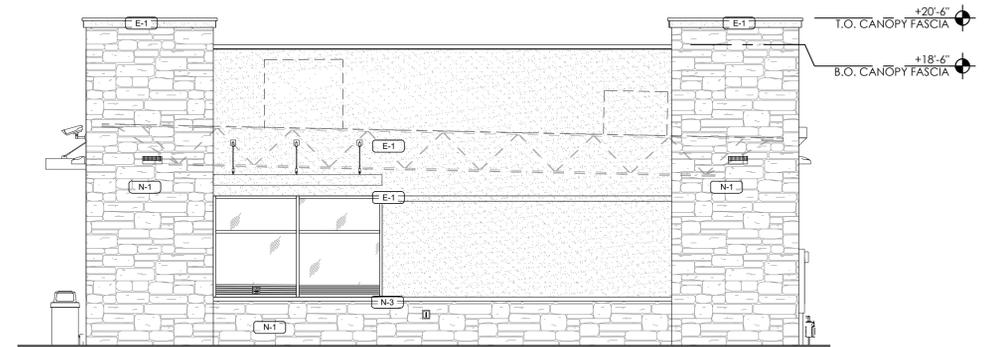
OVERALL FLOOR PLAN

**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED I THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



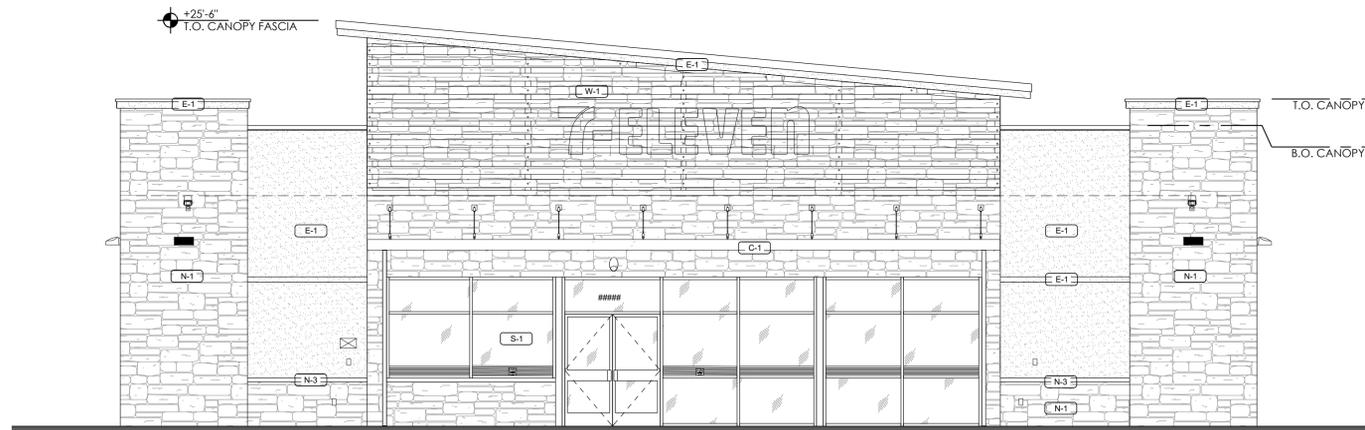
1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

N-1: STONE VENEER - 608 SF (45%)
E-1: STUCCO - 734 SF (55%)
TOTAL: 1342 SF TOTAL SURFACE AREA



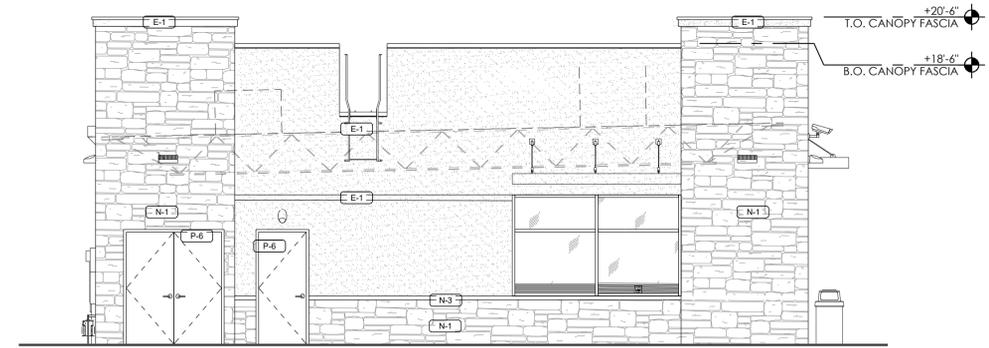
2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

N-1: STONE VENEER - 424 SF (49%)
E-1: STUCCO - 444 SF (51%)
TOTAL: 868 SF TOTAL SURFACE AREA



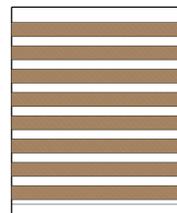
3 WEST ELEVATION
SCALE: 3/16" = 1'-0"

N-1: STONE VENEER - 845 SF (79%)
E-1: STUCCO - 228 SF (21%)
TOTAL: 1073 SF TOTAL SURFACE AREA



4 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

N-1: STONE VENEER - 404 SF (48%)
E-1: STUCCO - 444 SF (52%)
TOTAL: 848 SF TOTAL SURFACE AREA



FAUX WOOD SLATS (W-1)

CMU PAINT TO MATCH BUILDING (CMU)



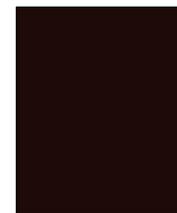
EL-DORADO STONE (N-1)

EUROPEAN LEDGE "ZINC" (N-1)



E.I.F.S. (E-1)

EL - REY STUCCO - "BUCKSKIN" (E-1)



STOREFRONT (S-1)

KAWNEER DARK BRONZE NO. 40 STOREFRONT, FRAMES



ROOFING/CAP (P-3)

20 GA. PREFINISHED METAL PARAPET CAP - DARK BRONZE
SS METAL ROOFING - DARK BRONZE TO MATCH OTHER METAL WORK



PREFINISHED ALUMINUM CANOPY (C-1)

MAPES LUMISHADE CANOPY - ALUMINUM - BAKED ENAMEL W/ REAR GUTTER CONNECTIONS; OPAQUE



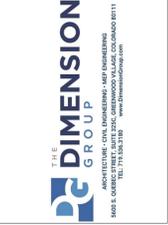
FRAMES, HM DOORS, TRASH ENCLOSURE GATE (P-6)

SHERWIN WILLIAMS- SEAL SKIN SW 7675

UNITED PROPERTIES-04-143 96TH AND DILLON LOUISVILLE CO01 PRELIMINARY FLOOR PLAN & ELEVATIONS BUILDING & CANOPY ELEVATIONS COLOR.DWG

No.	REVISION	BY	DATE

**PRELIMINARY
NOT FOR
CONSTRUCTION**



**FINAL PLANNED UNIT DEVELOPMENT PLANS
ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

PROJECT NO: UPR011.01
DESIGNED BY: CRO
DRAWN BY: CRO

DATE: 02/24/2020

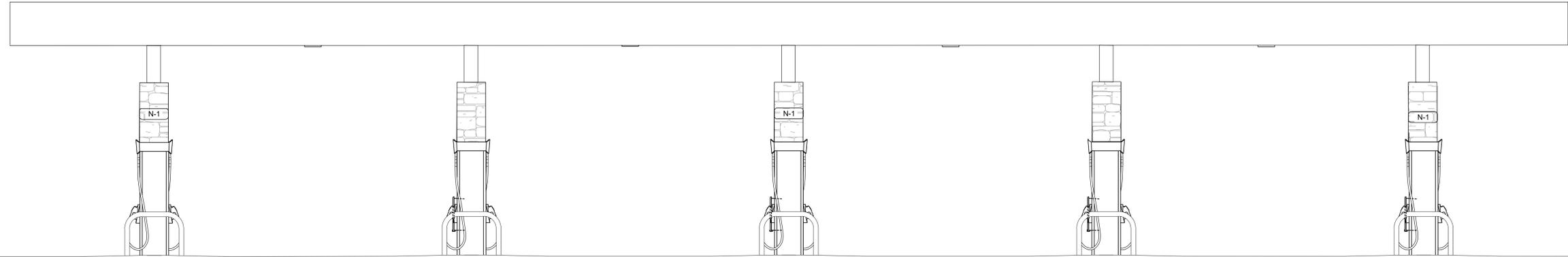
PUD-1
SHEET: 06 OF 18

EXTERIOR ELEVATIONS

**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED I THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

+17'-6"
T.O. CANOPY FASCIA

+14'-6"
B.O. CANOPY FASCIA



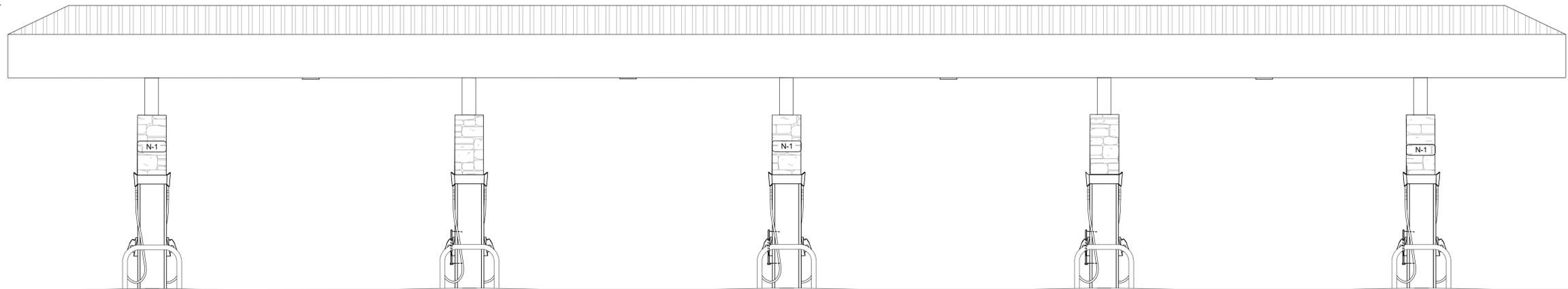
1
5 SCALE 1/4" = 1'-0"

CANOPY ELEVATION - SIDE VIEW (EAST/WEST)

+19'-6"
T.O. CANOPY FASCIA

+17'-6"
T.O. CANOPY FASCIA

+14'-6"
B.O. CANOPY FASCIA

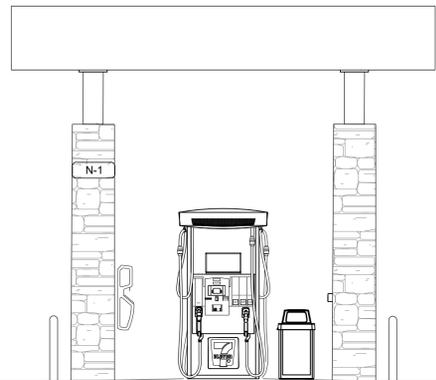


2
5 SCALE 1/4" = 1'-0"

CANOPY ELEVATION - SIDE VIEW (EAST/WEST) - OPTIONAL MANSARD ROOF

+17'-6"
T.O. CANOPY FASCIA

+14'-6"
B.O. CANOPY FASCIA



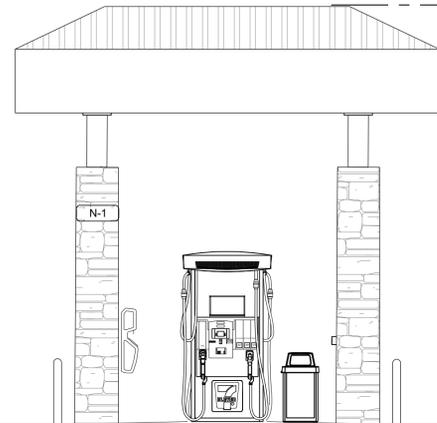
3
5 SCALE 1/4" = 1'-0"

CANOPY ELEVATION - NORTH/SOUTH

+19'-6"
T.O. CANOPY FASCIA

+17'-6"
T.O. CANOPY FASCIA

+14'-6"
B.O. CANOPY FASCIA



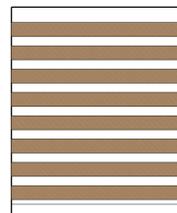
4
5 SCALE 1/4" = 1'-0"

CANOPY ELEVATION - NORTH/SOUTH - OPTIONAL MANSARD ROOF



5
5 SCALE 1/4" = 1'-0"

DUMPSTER ENCLOSURE ELEVATIONS



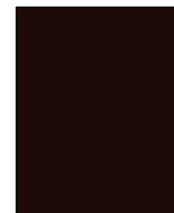
FAUX WOOD SLATS (W-1)
CMU PAINT TO MATCH BUILDING (CMU)



EL-DORADO STONE (N-1)
EUROPEAN LEDGE "ZINC" (N-1)



E.I.F.S. (E-1)
EL - REY STUCCO - "BUCKSKIN" (E-1)



STOREFRONT (S-1)
KAWNEER DARK BRONZE NO. 40 STOREFRONT, FRAMES



ROOFING/CAP (P-3)
20 GA. PREFINISHED METAL PARAPET CAP - DARK BRONZE
SS METAL ROOFING - DARK BRONZE TO MATCH OTHER METAL WORK



PREFINISHED ALUMINUM CANOPY (C-1)
MAPES LUMISHADE CANOPY - ALUMINUM - BAKED ENAMEL W/ REAR GUTTER CONNECTIONS; OPAQUE



FRAMES, HM DOORS, TRASH ENCLOSURE GATE (P-6)
SHERWIN WILLIAMS- SEAL SKIN SW 7675

No.	REVISION	BY	DATE

PRELIMINARY
NOT FOR
CONSTRUCTION



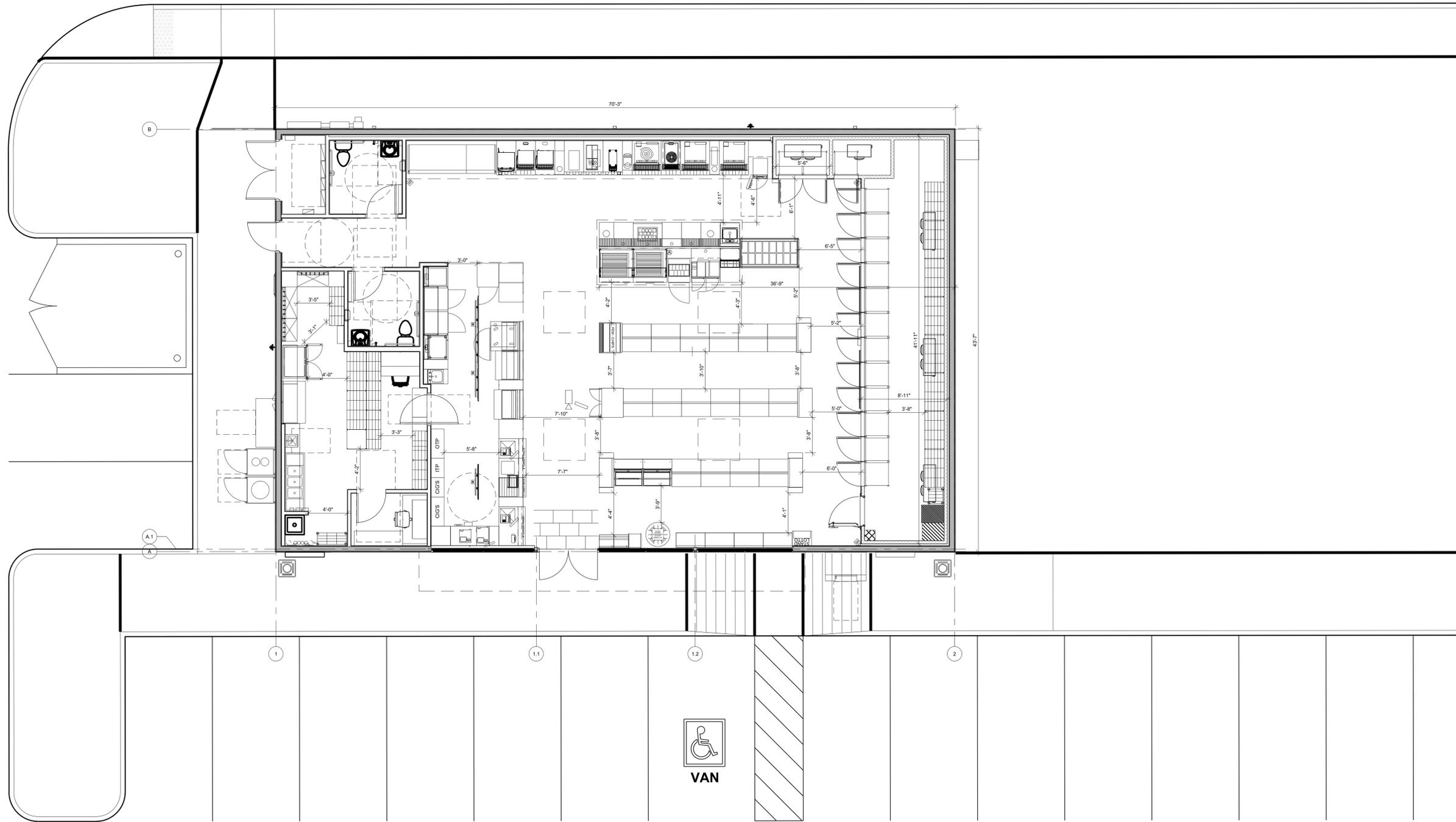
FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

EXTERIOR ELEVATIONS

PROJECT NO.:	UPR011.01
DESIGNED BY:	CRO
DRAWN BY:	CRO
DATE:	02/24/2020
PUD-1	
SHEET:	07 OF 18

UNITED PROPERTIES-C143 96TH AND DILLON LOUISVILLE CO011 PRELIMINARY FLOOR PLAN & ELEVATIONS BUILDING & CANOPY ELEVATIONS COLOR.DWG

**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED I THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



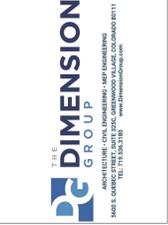
PROPOSED FLOOR PLAN
SCALE 3/16" = 1'-0"



L:\UNITED PROPERTIES\G2-143 96TH AND DILLON LOUISVILLE COO1 PRELIMINARY\FLOOR PLAN & ELEVATIONS\BUILDING & CANOPY ELEVATIONS COLOR.DWG

No.	REVISION	BY	DATE

**PRELIMINARY
NOT FOR
CONSTRUCTION**



**FINAL PLANNED UNIT DEVELOPMENT PLANS
ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

PROJECT NO: UPR011.01
DESIGNED BY: CRO
DRAWN BY: CRO
DATE: 02/24/2020

PUD-1
SHEET: 08 OF 18

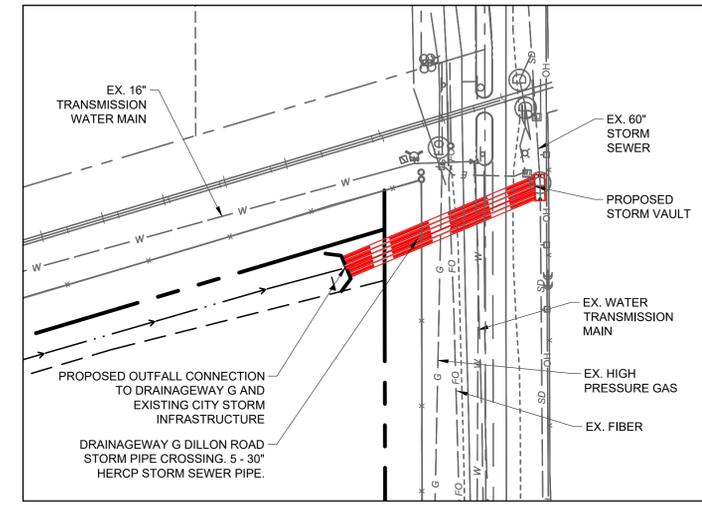
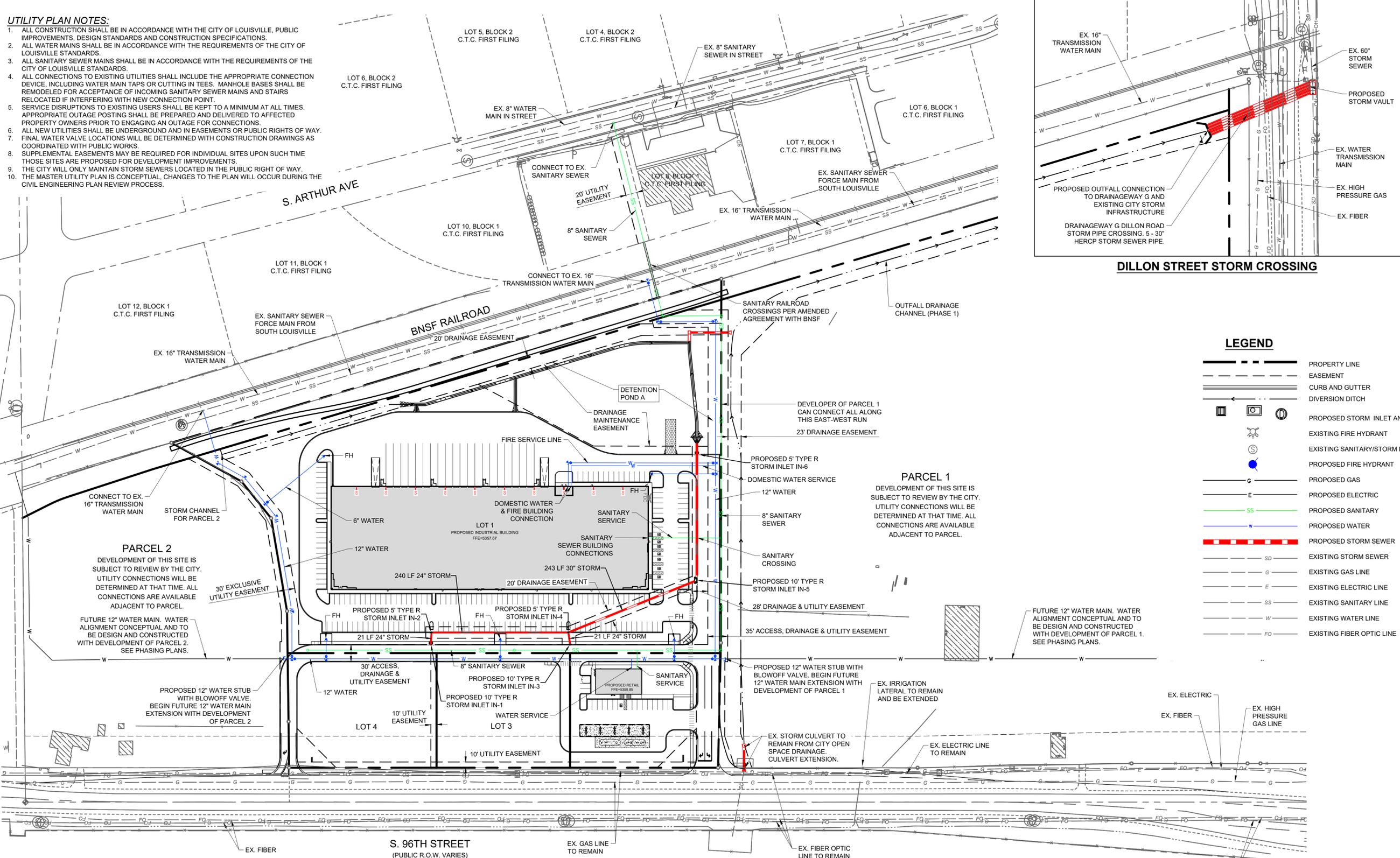
PROPOSED FLOOR PLAN

FINAL PLANNED UNIT DEVELOPMENT PLANS FOR ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

UTILITY PLAN NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LOUISVILLE, PUBLIC IMPROVEMENTS, DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. ALL WATER MAINS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LOUISVILLE STANDARDS.
3. ALL SANITARY SEWER MAINS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LOUISVILLE STANDARDS.
4. ALL CONNECTIONS TO EXISTING UTILITIES SHALL INCLUDE THE APPROPRIATE CONNECTION DEVICE, INCLUDING WATER MAIN TAPS OR CUTTING IN TEES. MANHOLE BASES SHALL BE REMODELED FOR ACCEPTANCE OF INCOMING SANITARY SEWER MAINS AND STAIRS RELOCATED IF INTERFERING WITH NEW CONNECTION POINT.
5. SERVICE DISRUPTIONS TO EXISTING USERS SHALL BE KEPT TO A MINIMUM AT ALL TIMES. APPROPRIATE OUTAGE POSTING SHALL BE PREPARED AND DELIVERED TO AFFECTED PROPERTY OWNERS PRIOR TO ENGAGING AN OUTAGE FOR CONNECTIONS.
6. ALL NEW UTILITIES SHALL BE UNDERGROUND AND IN EASEMENTS OR PUBLIC RIGHTS OF WAY.
7. FINAL WATER VALVE LOCATIONS WILL BE DETERMINED WITH CONSTRUCTION DRAWINGS AS COORDINATED WITH PUBLIC WORKS.
8. SUPPLEMENTAL EASEMENTS MAY BE REQUIRED FOR INDIVIDUAL SITES UPON SUCH TIME THOSE SITES ARE PROPOSED FOR DEVELOPMENT IMPROVEMENTS.
9. THE CITY WILL ONLY MAINTAIN STORM SEWERS LOCATED IN THE PUBLIC RIGHT OF WAY.
10. THE MASTER UTILITY PLAN IS CONCEPTUAL, CHANGES TO THE PLAN WILL OCCUR DURING THE CIVIL ENGINEERING PLAN REVIEW PROCESS.



DILLON STREET STORM CROSSING

LEGEND

- PROPERTY LINE
- EASEMENT
- CURB AND GUTTER
- DIVERSION DITCH
- PROPOSED STORM INLET AND MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY/STORM MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED GAS
- PROPOSED ELECTRIC
- PROPOSED SANITARY
- PROPOSED WATER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING SANITARY LINE
- EXISTING WATER LINE
- EXISTING FIBER OPTIC LINE

PARCEL 1
DEVELOPMENT OF THIS SITE IS SUBJECT TO REVIEW BY THE CITY. UTILITY CONNECTIONS WILL BE DETERMINED AT THAT TIME. ALL CONNECTIONS ARE AVAILABLE ADJACENT TO PARCEL.

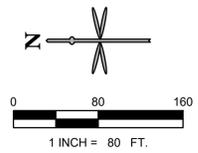
PARCEL 2
DEVELOPMENT OF THIS SITE IS SUBJECT TO REVIEW BY THE CITY. UTILITY CONNECTIONS WILL BE DETERMINED AT THAT TIME. ALL CONNECTIONS ARE AVAILABLE ADJACENT TO PARCEL.

FIRE DEMAND ANALYSIS - LOT 1:

BUILDING SQUARE FOOTAGE: 100,080 SF
CONSTRUCTION TYPE: IIB
PER UFC: 2016 IFC
MIN. REQUIRED FIRE FLOW: 6,750 GPM (TABLE B105.1)
BUILDING WILL HAVE APPROVED AUTOMATIC SPRINKLER SYSTEM PER IFC
50% REDUCTION: 3,375 GPM (USE 2,500 GPM)
NUMBER OF HYDRANTS REQUIRED: 2 (TABLE C105.1)
AVERAGE SPACING: 400'
MAX. DISTANCE FROM STREET/ROAD TO FH: 225' (OR 175' FOR DEAD END)

FIRE DEMAND ANALYSIS - LOT 2:

BUILDING SQUARE FOOTAGE: 3,500 SF
CONSTRUCTION TYPE: IIB
PER UFC: 2016 IFC
MIN. REQUIRED FIRE FLOW: 1,500 GPM (TABLE B105.1)
BUILDING WILL NOT BE SPRINKLERED
NUMBER OF HYDRANTS REQUIRED: 1 (TABLE C105.1)
AVERAGE SPACING: 400'
MAX. DISTANCE FROM STREET/ROAD TO FH: 225' (OR 175' FOR DEAD END)



© 2020, ALL RIGHTS RESERVED. PLANNED PROPERTIES CO. LOUISVILLE, KENT & DILLON RD CAD/PUD PLANS/PUD-01 UTILITY PLAN.DWG

DATE	
BY	
REVISION	
No.	

PRELIMINARY
NOT FOR
CONSTRUCTION

EES
ENTITLEMENT AND
REGULATORY
SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7997 www.ees.us.com

**UNITED
PROPERTIES**

FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

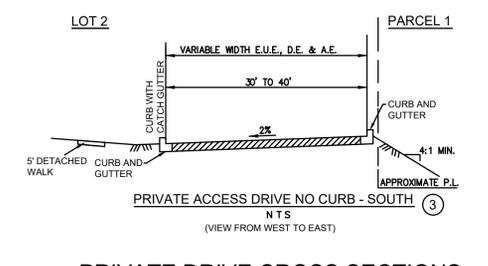
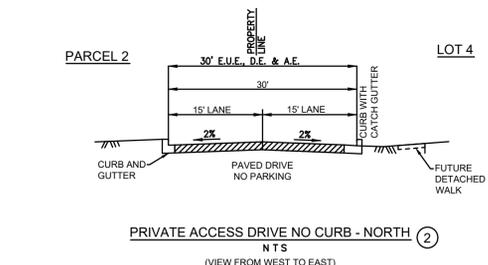
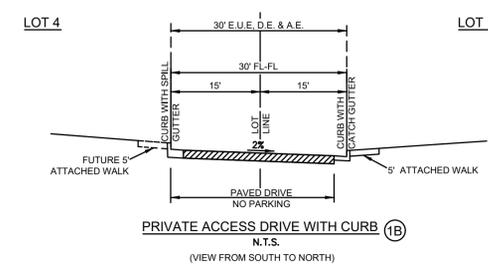
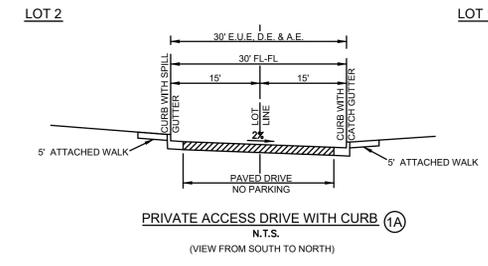
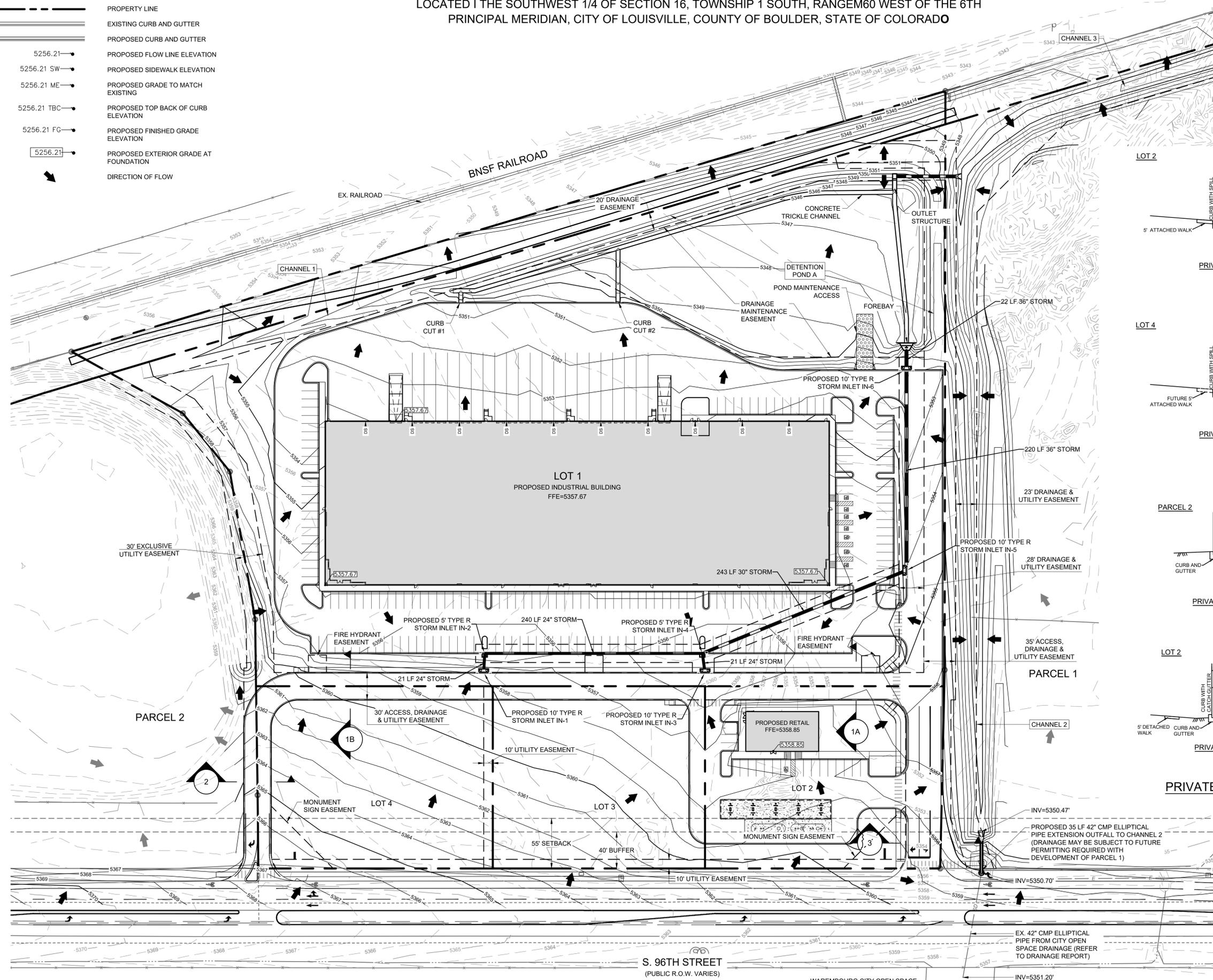
UTILITY PLAN

PROJECT NO:	UPR011.01
DESIGNED BY:	CRO
DRAWN BY:	CRO
DATE:	02/24/2020
PUD-8	
SHEET:	8 OF 18

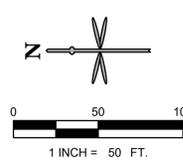
**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

LEGEND

- PROPERTY LINE
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- 5256.21 → PROPOSED FLOW LINE ELEVATION
- 5256.21 SW → PROPOSED SIDEWALK ELEVATION
- 5256.21 ME → PROPOSED GRADE TO MATCH EXISTING
- 5256.21 TBC → PROPOSED TOP BACK OF CURB ELEVATION
- 5256.21 FG → PROPOSED FINISHED GRADE ELEVATION
- 5256.21 → PROPOSED EXTERIOR GRADE AT FOUNDATION
- DIRECTION OF FLOW



PRIVATE DRIVE CROSS SECTIONS



No.	REVISION	DATE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

EES
ENTITLEMENT AND
UTILITY DESIGN
SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7997 www.ees.us.com

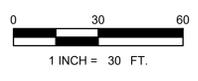
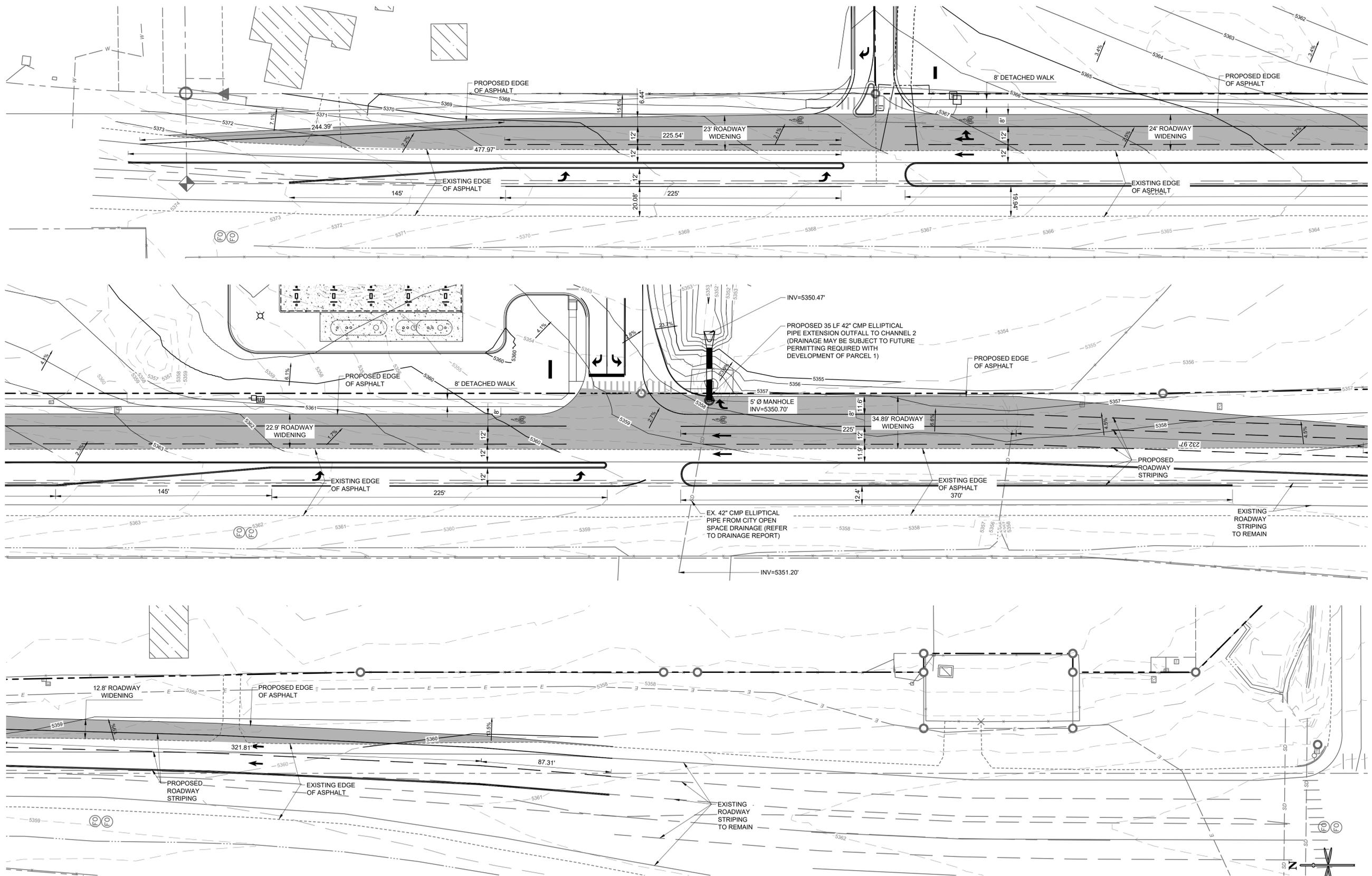
**UNITED
PROPERTIES**

FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

PROJECT NO:	UPR011.01
DESIGNED BY:	CRO
DRAWN BY:	CRO
DATE:	02/24/2020
PUD-9	
SHEET:	9 OF 18

© 2020. ALL RIGHTS RESERVED. UNITED PROPERTIES CO. LOUISVILLE - BIRTH & DILLON RD CAD/PUD PLANS/PUD-10 GRADING PLAN.DWG

**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



© 2020. ALL RIGHTS RESERVED.

PLANNED PROPERTIES CO. LOUISVILLE - BIRTH & DILLON CADPHASING PLANS PH-10 S. 96TH STREET GRADING PLAN.DWG

NO.	REVISION	BY	DATE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

EES
ENTITLEMENT AND
EASING SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7997 www.ees.us.com

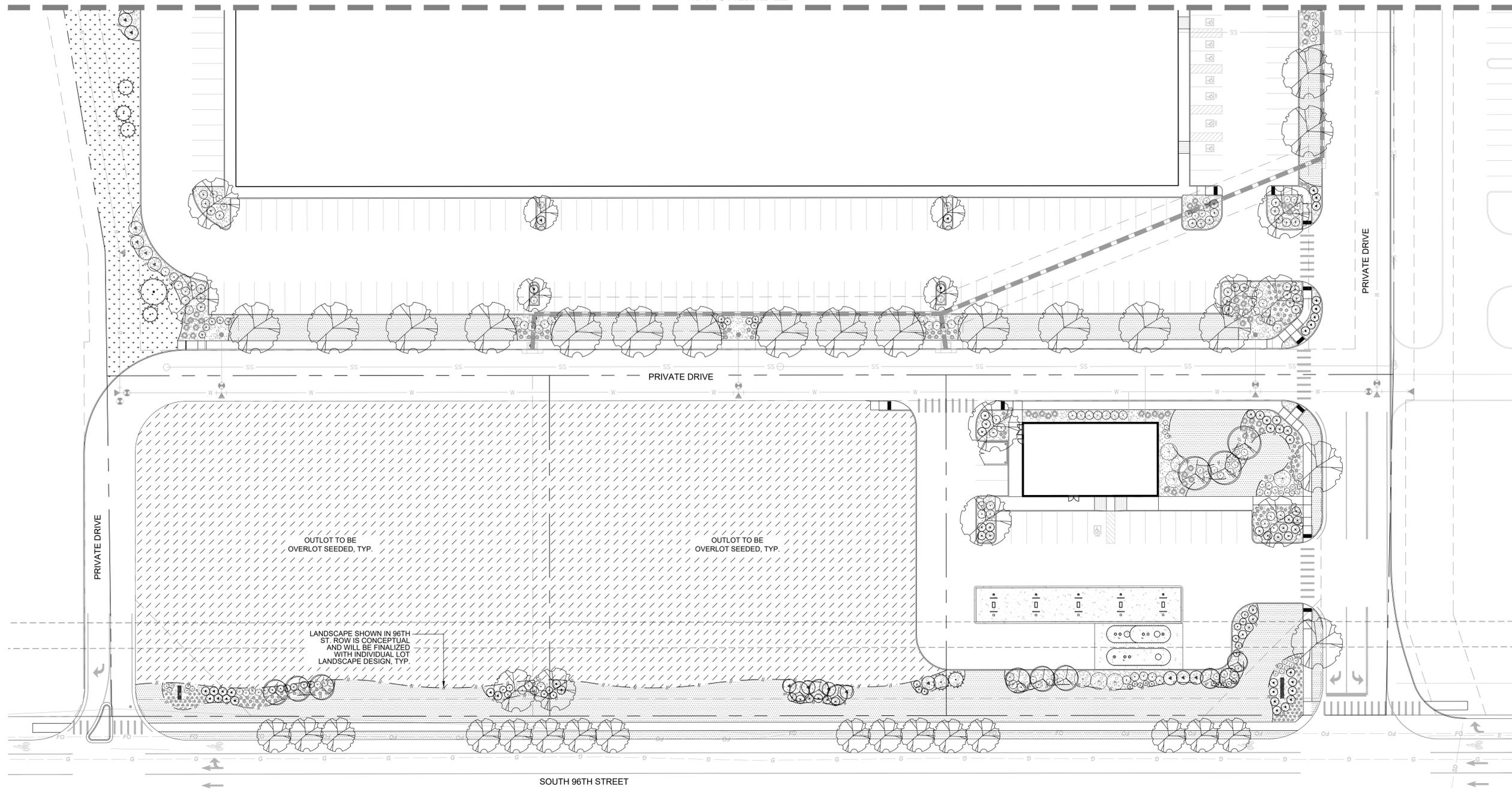
**UNITED
PROPERTIES**

FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO
S. 96TH STREET GRADING PLAN

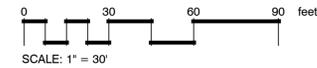
PROJECT NO:	UPR011.01
DESIGNED BY:	CRO
DRAWN BY:	CRO
DATE:	02/24/2020
PUD-10	
SHEET:	10 OF 18

**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED I THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

MATCHLINE L2



1 LANDSCAPE PLAN



LEGEND

- | | | | |
|--|------------------|--|------------------------|
| | DECIDUOUS TREE | | FESCUE BLEND TURF |
| | EVERGREEN TREE | | FOOTHILLS NATIVE SEED |
| | ORNAMENTAL TREE | | OVERLOT SEED |
| | DECIDUOUS SHRUBS | | 2-4" ROCK COBBLE MULCH |
| | EVERGREEN SHRUBS | | LANDSCAPE EDGER |
| | ORNAMENTAL GRASS | | |

LANDSCAPE DESIGN NARRATIVE:

SOUTH 96TH STREET IS THE MAJOR ROAD CONNECTION TO THE CITY OF LOUISVILLE FROM US 36. THIS MAIN ENTRY POINT HOWEVER STILL RETAINS A PASTORAL CHARACTER WITH OPENSAPCE AND FARM LAND ON EITHER SIDE OF THE STREET. THE LANDSCAPE INTENT FOR THE UNITED PROPERTIES DEVELOPMENT IS TO CREATE A VISUAL BALANCE BETWEEN THE COMMERCIAL SPACE AND THE SURROUNDING RURAL LANDSCAPE. THIS IS ACCOMPLISHED BY A LESS FORMAL APPROACH TO COMMERCIAL LANDSCAPE DESIGN IN THE RIGHT OF WAY FRONTING 96TH STREET. STREET TREES ARE PLANTED IN GROUPS, REFLECTING A MORE NATURAL GROWTH HABIT. A DROUGHT TOLERANT FESCUE BLEND TURF IS RECOMMENDED TO CONSERVE WATER RESOURCES. THE TREE AND SHRUB SPECIES HAVE BEEN CHOSEN FROM THE CITY OF LOUISVILLE RECOMMENDED LIST AND SELECTED FOR THEIR LOW WATER NEEDS AND NATIVE FOOTHILLS APPEARANCE. ADDITIONAL TREES AND SHRUBS HAVE BEEN ADDED, ABOVE AND BEYOND CITY REQUIREMENTS, THROUGHOUT THE SITE TO SCREEN HARDSCAPE AND FURTHER ENHANCE THE NATURAL FEEL OF THE OVERALL DEVELOPMENT.



DATE	
BY	
REVISION	
No.	

PRELIMINARY
NOT FOR
CONSTRUCTION

EES
ENTITLEMENT AND
LOGISTICS
SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7397 www.ees.us.com

UNITED PROPERTIES

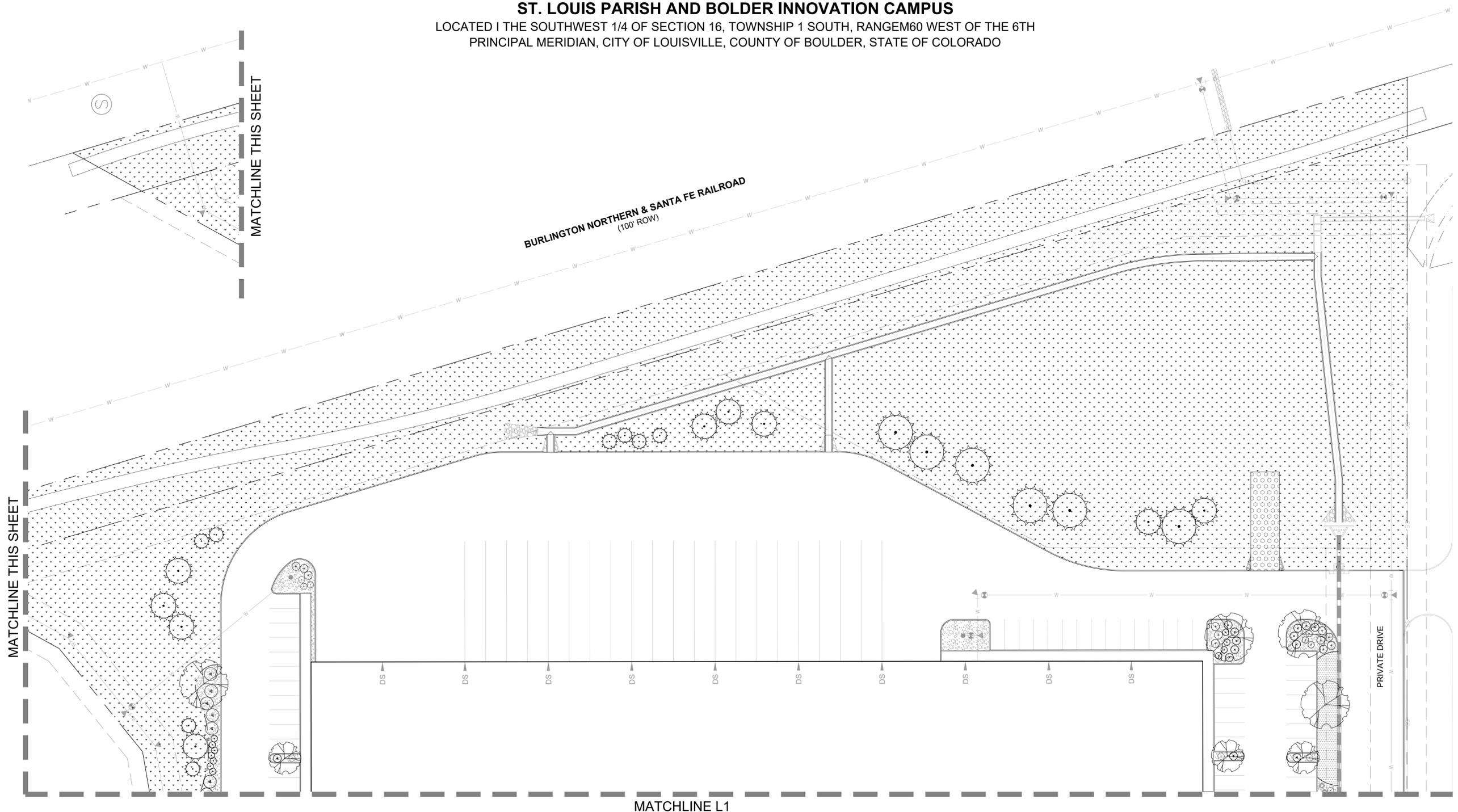
FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

PROJECT NO:	UPR011.01
DESIGNED BY:	CRO
DRAWN BY:	CRO
DATE:	02/21/2020

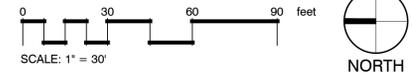
**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

© 2017, ALL RIGHTS RESERVED.

X:\DRORBOX (VALERIAN)\VALERIAN TEAM FOLDER\PROJECTS\20-01_EES_LOUISVILLE INDUSTRIAL\WORKING\2020-02-28_LANDSCAPE PRELIMINARY PLAN\20-01_L2_LANDSCAPE PLANDWG



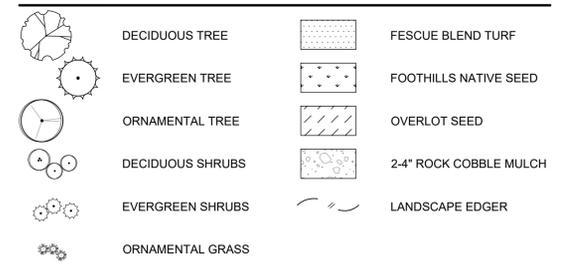
1 LANDSCAPE PLAN



LANDSCAPE REQUIREMENTS:

	REQUIREMENT	QTY. REQ.	PROPOSED
TOTAL SITE AREA			583,275 SF
BUILDING COVERAGE			103,480 SF
LANDSCAPE AREA	30% OF TOTAL	174,982 SF	179,875 SF
HARDSCAPE AREA (DRIVES/PARKING LOT)			223,640 SF
UNDEVELOPED OUTLOT AREA			76,280 SF
STREET TREES			
S. 96TH ST. FRONTAGE	DETACHED SW: 1 TREE / 40 LF ON EITHER SIDE OF SW	640 LF = 32 TREES	32 TREES
PERIMETER LANDSCAPE			
TREES	1 TREE / 40 LF	1,428 LF = 36 TREES	38 TREES
SHRUBS (96TH ST. FRONTAGE)	5 SHRUBS / 20 LF & APPROPRIATE FOR ALL OTHER BOUNDARIES	640 LF = 160 SHRUBS & APPROPRIATE FOR ALL OTHER BOUNDARIES	173 SHRUBS
PARKING LOT LANDSCAPE			
TREES	1 TREE / 8 SPACES	228 SPACES = 29 TREES	30 TREES
SHRUBS	APPROPRIATE GROUND COVER AND SCREENING		178 SHRUBS
TOTALS			
TREES		97 TREES	100 TREES
SHRUBS		160 SHRUBS & APPROPRIATE FOR ALL OTHER BOUNDARIES	351 SHRUBS

LEGEND



No.	REVISION	BY	DATE

PRELIMINARY
NOT FOR
CONSTRUCTION

EES
ENTITLEMENT AND
DESIGN
SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7997 www.ees.us.com

**UNITED
PROPERTIES**

FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

PROJECT NO: UPR011.01
DESIGNED BY: CRO
DRAWN BY: CRO
DATE: 02/21/2020

FINAL PLANNED UNIT DEVELOPMENT PLANS FOR ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
AGHP	6	ACER GRANDIDENTATUM 'HIGHLAND PARK'	HIGHLAND PARK BIGTOOTH MAPLE	B & B	2" CAL
ACPL	10	ACER PLATANOIDES	NORWAY MAPLE	B & B	2" CAL
CAPA	3	CATALPA SPECIOSA	WESTERN CATALPA	B & B	2" CAL
CEOC	2	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	B & B	2" CAL
GLTS	10	GLEDTISIA TRIACANTHOS INERMIS 'SUNBURST'	SUNBURST COMMON HONEYLOCUST	B & B	2" CAL
QUMA	8	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL
SOJA	7	SOPHORA JAPONICA	JAPANESE PAGODA TREE	B & B	2" CAL
TIAR	9	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	B & B	2" CAL
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
PIED	14	PINUS EDULIS	PINON PINE	B & B	6' HT
PINI	7	PINUS NIGRA	AUSTRIAN PINE	B & B	6' HT
PIPO	3	PINUS PONDEROSA	PONDEROSA PINE	B & B	6' HT
PIST	6	PINUS STROBIFORMIS	SOUTHWESTERN WHITE PINE	B & B	6' HT
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
CRCR	6	CRATAEGUS CRUS-GALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	B & B	2" CAL
PRVI	3	PRUNUS VIRGINIANA 'SHUBERT'	CANADA RED CHERRY	B & B	2" CAL
SYRE	6	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	2" CAL
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
AMAL	11	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	#5	
CACL	32	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST SPIREA	#5	
CHMI	14	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH'	FERNBUSH	#5	
CHNA	32	CHRYSOTHAMNUS NAUSEOSUS 'NAUSEOSUS'	RABBITBRUSH	#5	
COSI	13	CORNUS SERICEA 'ISANTI'	ISANTI DOGWOOD	#5	
CDCB	44	COTONEASTER DAMMERI 'CORAL BEAUTY'	CORAL BEAUTY COTONEASTER	#5	
FAPA	15	FALLUGIA PARADOXA	APACHE PLUME	#5	
PEAT	24	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#5	
PHMO	21	PHYSCARPUS MONOGYNUS	MOUNTAIN NINEBARK	#5	
PRAM	7	PRUNUS AMERICANA	AMERICAN PLUM	#5	
PRBW	23	PRUNUS BESSEYI 'PAWNEE BUTTES'	WESTERN SAND CHERRY	#5	
PRBE	36	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5	
RHAR	40	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5	
ROWO	10	ROSA WOODSII	WOODS' ROSE	#5	
SYME	20	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	#5	
VILE	9	VIBURNUM LENTAGO	NANNYBERRY	#5	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
CAAC	20	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1	
MISG	51	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN HAIR GRASS	#1	
PAVS	24	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#1	
PEAL	71	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY DWARF FOUNTAIN GRASS	#1	
SCSO	73	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	LITTLE BLUESTEM GRASS	#1	

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT @
	30,599 SF	FESCUE BLEND SOD	SOD	SOD
	76,280 SF	OVERLOT SEED MIX	SEED	SEED
	131,622 SF	PBSI FOOTHILLS NATIVE SEED MIX	SEED	SEED

GENERAL NOTES:

- VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BE AWARE OF ANY UNDERGROUND UTILITIES. PROTECT ALL EXISTING SITE FEATURES TO REMAIN FROM POTENTIAL DAMAGE BY SITE CONSTRUCTION OPERATIONS. AVOID ANY WORK BEYOND SCOPE OF PROJECT AREA.
- COORDINATE ALL DISCIPLINES AND SITE CONSTRUCTION THAT WILL BE NEEDED TO COMPLETE THE PROJECT IN THE TIME FRAME GIVEN AND WITHIN BUDGET. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL SIGNIFY ALL CONDITIONS ARE ACCEPTABLE AND NO ALLOWANCE WILL BE MADE FOR UNRECOGNIZED CONDITIONS AFTER START OF WORK.
- NOTIFY OWNER/LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE ARCHITECT.

CLEARING & GRADING:

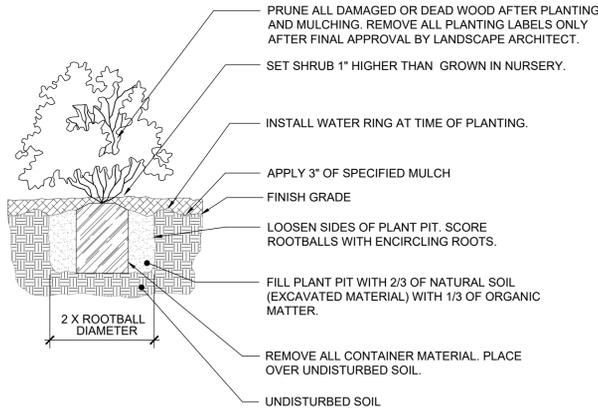
- ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL CODES AND DEVELOPMENT STANDARDS, UNIFORM BUILDING CODES, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, STANDARDS, AND POLICIES.
- A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY OTHER RELATED OR REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR (1) TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND (2) TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
- THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS:
 - ALL PLANT MATERIAL SHALL BE PROTECTED FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY, EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
 - PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
 - LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
 - PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
 - PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.
- CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER/D RIP TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION.

NOTES:

- DO NOT REMOVE OR CUT LEADER.
- PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING AND MULCHING.
- DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

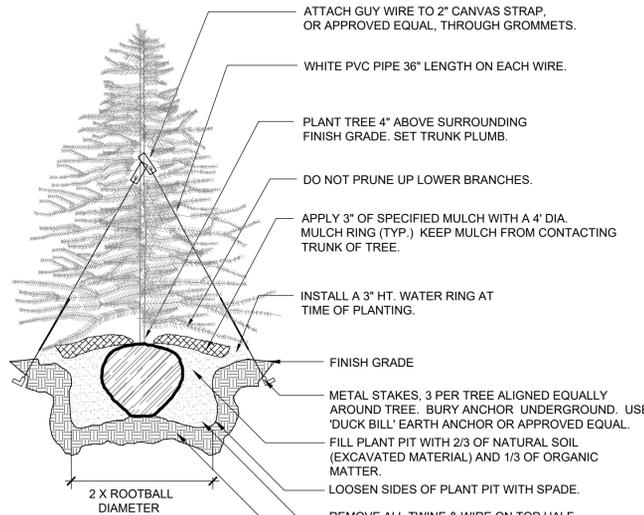


NOTE: ANY PLANT NOT IN ACCORDANCE WITH COLORADO NURSERY ACT REQUIREMENTS WILL BE REJECTED. HOLD MULCH GRADE 1" BELOW EDGE OF WALK, EDGINGS AND CURB. JUNIFER PLANTS SHALL BE PLANTED WITH TOP OF ROOTBALL AT FINISH GRADE OF MULCH LAYER.

1 SHRUB PLANTING

1" = 1'-0"

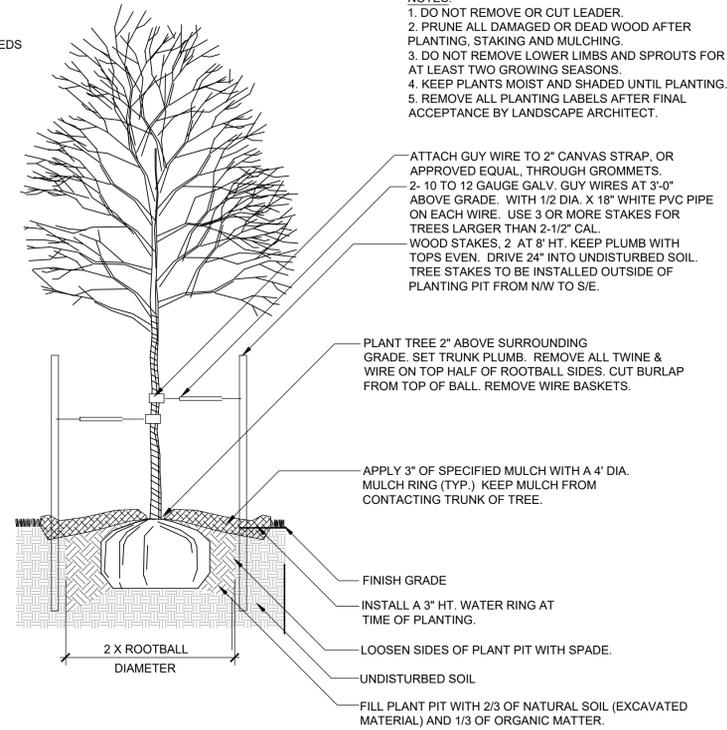
BLCC-05



2 EVERGREEN TREE PLANTING

1" = 1'-0"

BLCC-04



NOTE: ALL TREES LOCATED WITHIN SIGHT TRIANGLES OR WITHIN 100' APPROACHING. A STOP SIGN ARE TO BE LIMBED TO 2" AT ONSET OF WINTER FOR THE FIRST YEAR OF INSTALLATION. WRAP ENTIRE SURFACE OF TRUNK UP TO BRANCHES. SECURE AT TOP AND BOTTOM WITH DUCT TAPE. AT ONSET OF SPRING REMOVE ALL WRAPPING.

3 DECIDUOUS TREE PLANTING

1" = 1'-0"

BLCC-03

SOIL SPECIFICATIONS:

- ANY PLANTING AREA THAT DOES NOT MEET THE FOLLOWING SOIL PREPARATION REQUIREMENTS ARE SUBJECT TO REJECTION AT OWNER/OWNERS REPRESENTATIVES DISCRETION.
- LANDSCAPE CONTRACTOR IS REQUIRED TO NOTIFY OWNER/OWNERS REPRESENTATIVE A MINIMUM OF 24 HOURS PRIOR TO BEGINNING SOIL PREP WORK. SOIL PREP NOT INSPECTED BY OWNER/OWNERS REPRESENTATIVE IS SUBJECT TO REJECTION AT ANY TIME PRIOR TO INITIAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL SUBMIT DELIVERY (TRIP) TICKETS TO OWNER/OWNERS REPRESENTATIVE FOR ALL ORGANIC SOIL AMENDMENTS WITHIN 24 HOURS AFTER DELIVERY.
- IMPORTED TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY LOAM FROM THE 'A' HORIZON AND SHALL BE FREE OF STONES OVER .75" IN DIAMETER, REFUSE, PLANTS OR THEIR ROOTS, STICKS, NOXIOUS WEEDS, SALTS, SOIL STERILANTS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO PLANT GROWTH.
- ORGANIC SOIL AMENDMENT SHALL CONSIST OF DRY, WELL-ROTTED, PULVERIZED, AGED MINIMUM ONE YEAR ORGANIC COMPOST CLASS I TYPE SUCH AS AVAILABLE FROM A-1 COMPOST, JENSEN SALES. PULVERIZED HORSE, SHEEP OR DAIRY COW MANURE **NOT ACCEPTABLE**. SUBMIT DATED RECENT MATERIAL ANALYSIS TO OWNER/OWNERS REPRESENTATIVE TO GUARANTEE PRODUCT CONDITION AND PROOF NO LIVE WEED SEEDS AND CHEMICAL ADDITIVES ARE PRESENT.
- SOIL PREPARATION FOR AREAS TO BE SODDED SHALL INCLUDE TOPSOIL AND ORGANIC MATTER ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED EIGHT (8) INCHES INTO THE SOIL.
- PREPARED BACKFILL FOR TREE/SHRUB PLANTING SHALL BE A MIX OF 2/3 IMPORTED/ SALVAGED TOPSOIL AND 1/3 ORGANIC SOIL AMENDMENT. WHERE TREES AND SHRUBS ARE LOCATED IN LARGE BEDS PROVIDE SOIL AMENDMENT AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILL EIGHT INCHES INTO THE SOIL THROUGHOUT THE ENTIRE PLANTING BED, NOT JUST IN EXCAVATED PLANTING HOLES.

SOD

- KEEP ALL EQUIPMENT, VEHICLES AND FOOT TRAFFIC OFF ALL SODDED AREAS. ALL DAMAGED MATERIALS SHALL BE REPLACED AND ALL DAMAGED AREAS RESTORED TO ORIGINAL CONDITIONS.
- ALL SOD SHALL BE A TEXAS HYBRID SOD AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL SOD SHALL BE INSTALLED WITHIN 24 HOURS FROM THE TIME OF CUTTING ON A FIRM AND MOIST SUBGRADE. DO NOT PLANT IF SOIL IS DORMANT OR THE GROUND IS FROZEN.
- ALL SOD SHALL BE INSTALLED PARALLEL TO SLOPES TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.

MULCH

- PLANTING BEDS (AS SPECIFIED) SHALL CONTAIN 2"-4" RIVER ROCK COBBLE MULCH OVER FABRIC AT A MINIMUM DEPTH OF 3" WITH A DOUBLE SHREDDED CEDAR MULCH RING AROUND EACH TREE, SHRUB, GRASS, AND PERENNIAL. WOOD MULCH RING SHALL BE 1.5X THE CONTAINER SIZE OF THE SHRUB, GRASS OR PERENNIAL. TREE MULCH RING SHALL BE GREEN INDUSTRY STANDARD SIZE.
- GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

EDGING:

- ALL EDGING SHALL BE 1/8" X 4" GREEN PAINTED "RYERSON TYPE" METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURE'S SPECIFICATIONS OR EQUAL.

NOTES:

- DO NOT REMOVE OR CUT LEADER.
- PRUNE ALL DAMAGED OR DEAD WOOD AFTER PLANTING, STAKING AND MULCHING.
- DO NOT REMOVE LOWER LIMBS AND SPROUTS FOR AT LEAST TWO GROWING SEASONS.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- REMOVE ALL PLANTING LABELS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

DATE	BY	REVISION

EES
ENTIREMENT AND
EDGING SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7997 www.ees.us.com

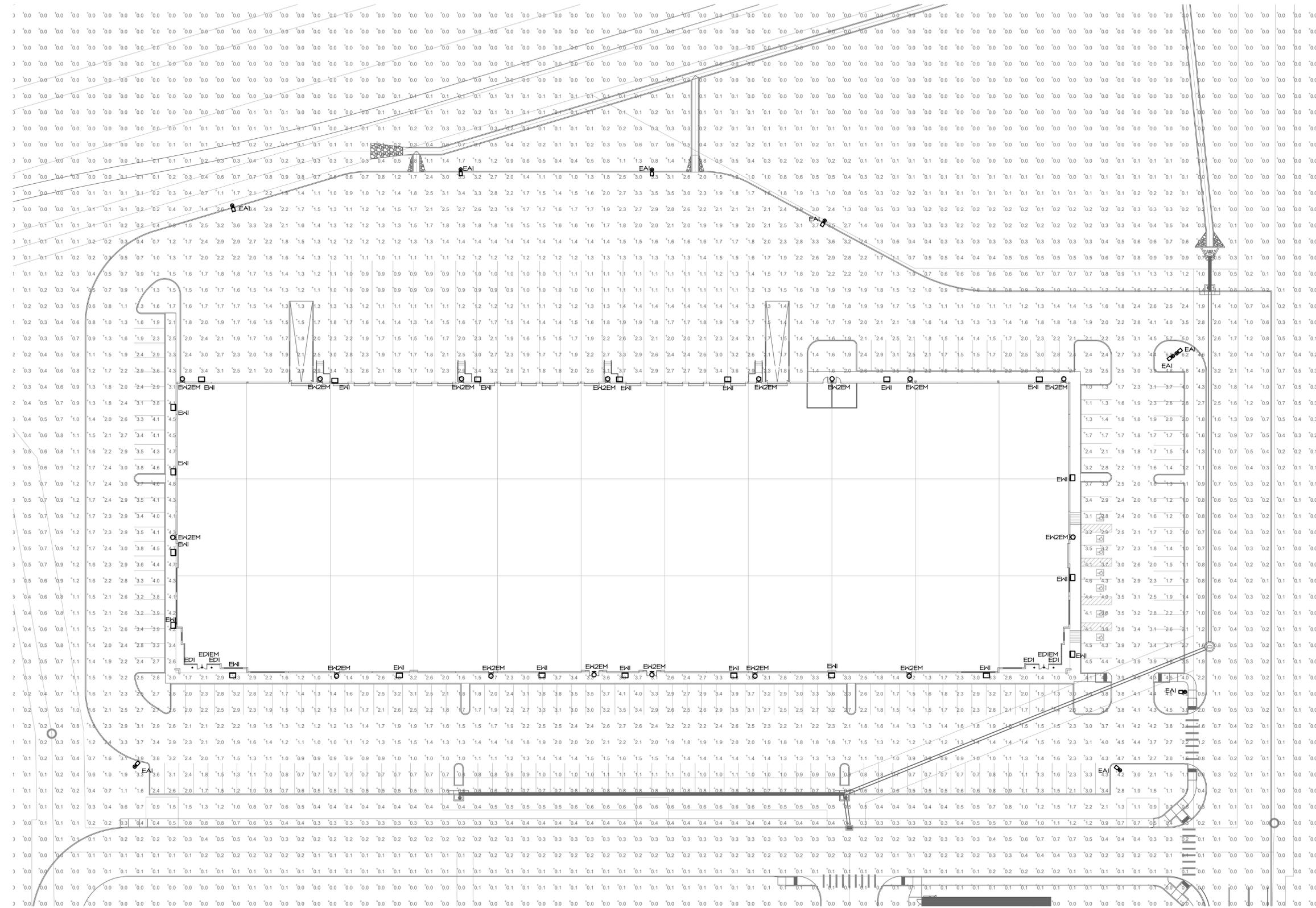
UNITED PROPERTIES

FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

PROJECT NO:	UPR011.01
DESIGNED BY:	CRO
DRAWN BY:	CRO
DATE:	02/21/2020

**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

© 2017. ALL RIGHTS RESERVED.



1 PHOTOMETRIC SITE PLAN
EPI SCALE: 1" = 30'



J:\4827.00 - 96TH AND DILLON\LEC482700 - ELECTRICAL SITE PHOTOMETRIC.DWG

NO.	REVISION	BY	DATE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

.\\up\Horizontal_Stacked_FullColor.png

FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

PROJECT NO: UPR011.01
DESIGNED BY: CRO
DRAWN BY: CRO
DATE: 02/21/2020

SHEET: **OF 12**

**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED | THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	20	CPY-FLAT-A	SINGLE	1.000	7720	60	CPY250-B-DM-F-A-UL-WH-57K-HZ
	4	CPY-FLAT-C	SINGLE	1.000	4520	31	CPY250-B-DM-F-C-UL-BZ-57K-HZ
	3	XSPLG-4ME	SINGLE	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
	2	XSPLG-4ME-2	2 @ 90°	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
	10	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BZ

Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Fc	3.03	23.3	0.0	N.A.	N.A.
Canopy	Fc	34.48	41	21	1.64	1.95
Paved Area	Fc	17.04	41.0	1.6	10.65	25.63

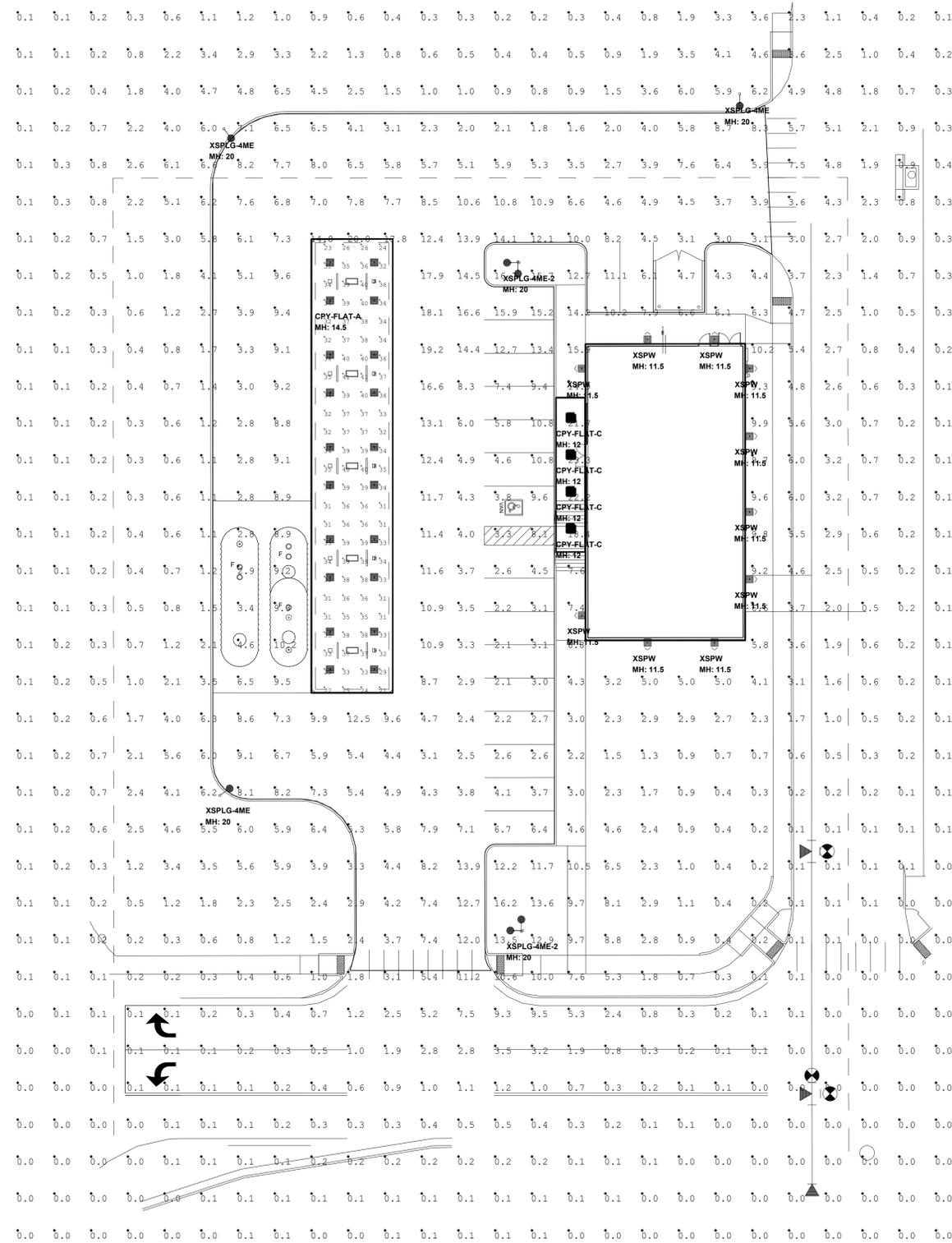
FIXTURE MOUNTING HEIGHTS AS SHOWN
POLES MOUNTED ON 3' BASE

ADDITIONAL EQUIPMENT REQUIRED:
(5) SSS-4-7-17-CW-BS-OT-N-BZ (17' X 4" X 7ga STEEL SQUARE POLE, TENON MOUNT)
(3) PD-1H4BZ SINGLE HORIZONTAL TENON
(2) PD-2H4(90)BZ 90° DOUBLE TENON

PROPOSED POLES MEET 140MPH SUSTAINED WIND LOADS

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND
CATALOGUE NUMBER PRIOR TO PLACING ORDER ***

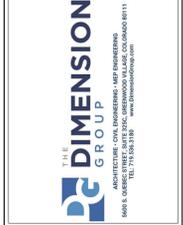
BOM: Complete Part Description	
20	CPY250-B-DM-F-A-UL-WH-57K-HZ
04	CPY250-B-DM-F-C-UL-BZ-57K-HZ
07	XSPLG-D-HT-4ME-24L-57K-UL-BZ-N
10	XSPW-B-WM-3ME-4L-57K-UL-BZ
05	SSS-4-7-17-CW-BS-OT-N-BZ
03	PD-1H4BZ
02	PD-2H4(90)BZ



PHOTOMETRIC PLAN
SCALE 1:20
TRUE NORTH
PLAN NORTH

NO.	REVISION	BY	DATE

PRELIMINARY
NOT FOR
CONSTRUCTION

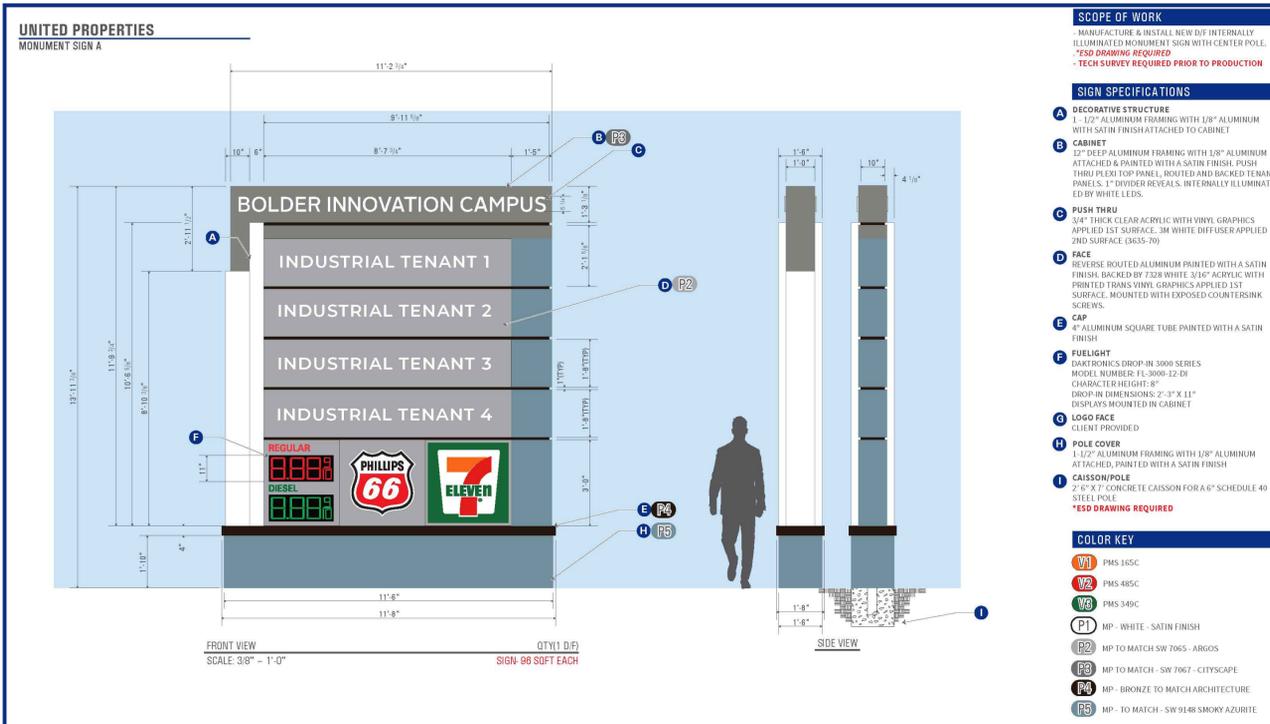


FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

L:UNITED PROPERTIES-CO-143 96TH AND DILLON LOUISVILLE CO01 PRELIMINARY FLOOR PLAN & ELEVATIONS/PHOTOMETRIC PLAN DETAILS & SPECIFICATIONS DWG

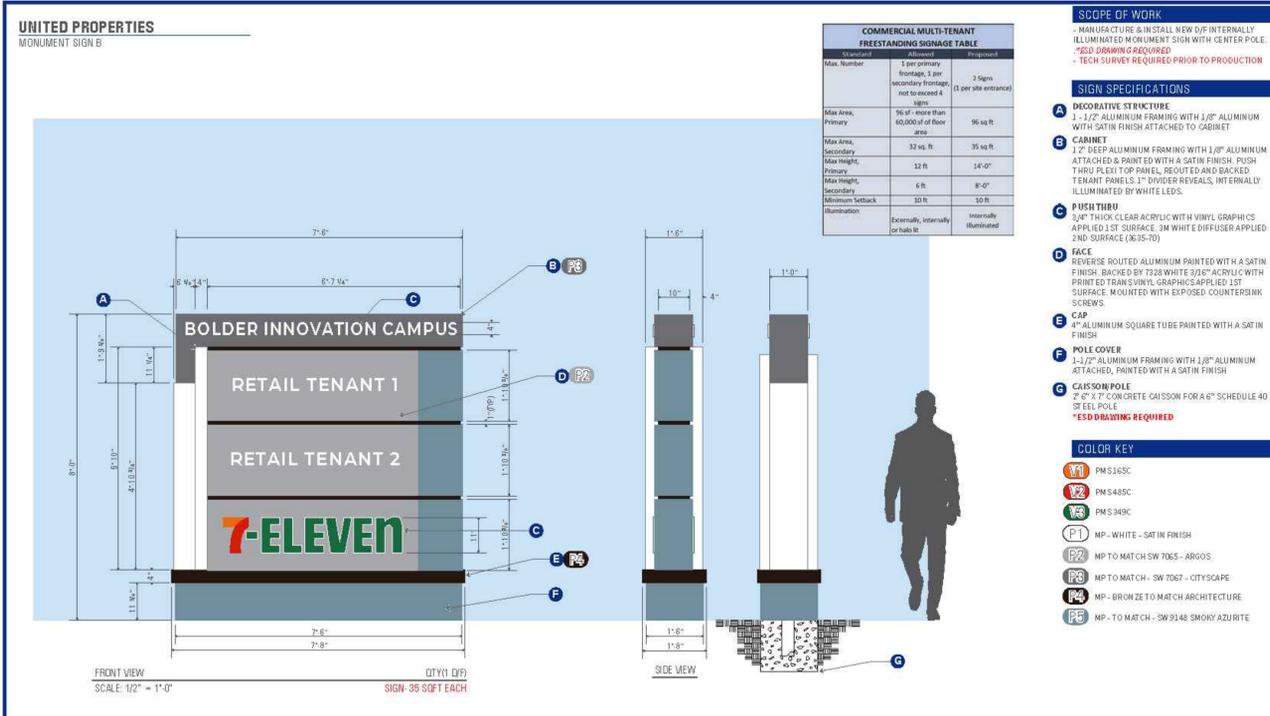
**FINAL PLANNED UNIT DEVELOPMENT PLANS FOR
ST. LOUIS PARISH AND BOLDER INNOVATION CAMPUS**
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 1 SOUTH, RANGEM60 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

© 2020. ALL RIGHTS RESERVED.



- SCOPE OF WORK**
- MANUFACTURE & INSTALL NEW D/F INTERNALLY ILLUMINATED MONUMENT SIGN WITH CENTER POLE.
*ESD DRAWING REQUIRED
*TECH SURVEY REQUIRED PRIOR TO PRODUCTION
- SIGN SPECIFICATIONS**
- A DECORATIVE STRUCTURE**
1-1/2" ALUMINUM FRAMING WITH 1/8" ALUMINUM WITH SATIN FINISH ATTACHED TO CABINET
 - B CABINET**
12" DEEP ALUMINUM FRAMING WITH 3/8" ALUMINUM ATTACHED & PAINTED WITH A SATIN FINISH. PUSH THRU PLEXI TOP PANEL, ROUTED AND BACKED TENANT PANELS. 1" DIVIDER REVEALS, INTERNALLY ILLUMINATED BY WHITE LEDS.
 - C PUSH THRU**
3/4" THICK CLEAR ACRYLIC WITH VINYL GRAPHICS APPLIED 1ST SURFACE. 3M WHITE DIFFUSER APPLIED 2ND SURFACE (3635-70)
 - D FACE**
REVERSE ROUTED ALUMINUM PAINTED WITH A SATIN FINISH. BACKED BY 7228 WHITE 3/16" ACRYLIC WITH PRINTED TRANS VINYL GRAPHICS APPLIED 1ST SURFACE. MOUNTED WITH EXPOSED COUNTERSINK SCREWS.
 - E CAP**
4" ALUMINUM SQUARE TUBE PAINTED WITH A SATIN FINISH
 - F POLE COVER**
1-1/2" ALUMINUM FRAMING WITH 1/8" ALUMINUM ATTACHED, PAINTED WITH A SATIN FINISH
 - G CAISSON/POLE**
2' 6" X 7' CONCRETE CAISSON FOR A 6" SCHEDULE 40 STEEL POLE
*ESD DRAWING REQUIRED
 - H LOGO FACE**
CLIENT PROVIDED
 - I**
- COLOR KEY**
- W1 PMS 355C
 - W2 PMS 485C
 - W3 PMS 349C
 - P1 MP - WHITE - SATIN FINISH
 - P2 MP TO MATCH - SW 7065 - ARGOS
 - P3 MP TO MATCH - SW 7067 - CITYSCAPE
 - P4 MP - BRONZE TO MATCH ARCHITECTURE
 - P5 MP - TO MATCH - SW 9148 SMOKY AZURITE

 	7245 W. 116th Pl. Broomfield, CO 80020 303.464.0644 www.bcsigns.com www.bscscustom.com	CLIENT NAME: UNITED PROPERTIES ADDRESS: S. 98th St and W. Dillon Rd CITY/STATE/ZIP: LOUISVILLE, CO 80027	DESIGNER: JOHN CURRAN DESIGNER: DEREK BARNES ISSUE DATE: 02.10.2020	<input checked="" type="checkbox"/> CONCEPT B	CLIENT APPROVAL Client Signature / Date: Landlord Signature / Date:	SHEET 2 OF 4 FILE LOCATION PATH: I:\projects\BSC Customer\98th\2020 Customer Approved Properties\98th and Dillon\Sign Design\PDFs
				<input checked="" type="checkbox"/> REVISION #2		



- SCOPE OF WORK**
- MANUFACTURE & INSTALL NEW D/F INTERNALLY ILLUMINATED MONUMENT SIGN WITH CENTER POLE.
*ESD DRAWING REQUIRED
*TECH SURVEY REQUIRED PRIOR TO PRODUCTION
- SIGN SPECIFICATIONS**
- A DECORATIVE STRUCTURE**
1-1/2" ALUMINUM FRAMING WITH 1/8" ALUMINUM WITH SATIN FINISH ATTACHED TO CABINET
 - B CABINET**
12" DEEP ALUMINUM FRAMING WITH 1/8" ALUMINUM ATTACHED & PAINTED WITH A SATIN FINISH. PUSH THRU PLEXI TOP PANEL, ROUTED AND BACKED TENANT PANELS. 1" DIVIDER REVEALS, INTERNALLY ILLUMINATED BY WHITE LEDS.
 - C PUSH THRU**
3/4" THICK CLEAR ACRYLIC WITH VINYL GRAPHICS APPLIED 1ST SURFACE. 3M WHITE DIFFUSER APPLIED 2ND SURFACE (3635-70)
 - D FACE**
REVERSE ROUTED ALUMINUM PAINTED WITH A SATIN FINISH. BACKED BY 7228 WHITE 3/16" ACRYLIC WITH PRINTED TRANS VINYL GRAPHICS APPLIED 1ST SURFACE. MOUNTED WITH EXPOSED COUNTERSINK SCREWS.
 - E CAP**
4" ALUMINUM SQUARE TUBE PAINTED WITH A SATIN FINISH
 - F POLE COVER**
1-1/2" ALUMINUM FRAMING WITH 1/8" ALUMINUM ATTACHED, PAINTED WITH A SATIN FINISH
 - G CAISSON/POLE**
2' 6" X 7' CONCRETE CAISSON FOR A 6" SCHEDULE 40 STEEL POLE
*ESD DRAWING REQUIRED
- COLOR KEY**
- W1 PMS 355C
 - W2 PMS 485C
 - W3 PMS 349C
 - P1 MP - WHITE - SATIN FINISH
 - P2 MP TO MATCH - SW 7065 - ARGOS
 - P3 MP TO MATCH - SW 7067 - CITYSCAPE
 - P4 MP - BRONZE TO MATCH ARCHITECTURE
 - P5 MP - TO MATCH - SW 9148 SMOKY AZURITE

 	7245 W. 116th Pl. Broomfield, CO 80020 303.464.0644 www.bcsigns.com www.bscscustom.com	CLIENT NAME: UNITED PROPERTIES ADDRESS: S. 98th St and W. Dillon Rd CITY/STATE/ZIP: LOUISVILLE, CO 80027	DESIGNER: JOHN CURRAN DESIGNER: DEREK BARNES ISSUE DATE: 02.10.2020	<input checked="" type="checkbox"/> CONCEPT B	CLIENT APPROVAL Client Signature / Date: Landlord Signature / Date:	SHEET 3 OF 4 FILE LOCATION PATH: I:\projects\BSC Customer\98th\2020 Customer Approved Properties\98th and Dillon\Sign Design\PDFs
				<input checked="" type="checkbox"/> REVISION #2		

No.	REVISION	BY	DATE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

EES
ENTITLEMENT AND
EVALUATION
SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7997 www.ees.us.com

**UNITED
PROPERTIES**

FINAL PLANNED UNIT DEVELOPMENT PLANS
**ST. LOUIS PARISH & COMMERCIAL PARK,
96TH & DILLON, PHASE I DEVELOPMENT**
SOUTH 96TH STREET & DILLON ROAD, CITY OF LOUISVILLE, BOULDER COUNTY, CO

COVER SHEET

PROJECT NO:	UPR011.01
DESIGNED BY:	CRO
DRAWN BY:	CRO
DATE:	02/24/2020
PUD-1	
SHEET:	01 OF 18

UNITED PROPERTIES CO. LOUISVILLE - BIRTH & DILLON 96th CAD/PUD PLANS 100-PUD COVER DWG