

# Planning Commission

December 12, 2019  
City Hall, Council Chambers  
749 Main Street  
6:30 PM

For agenda item detail see the Staff Report and other supporting documents included in the complete meeting packet.

**Public Comment will be limited to three (3) minutes per speaker.**

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of Minutes
  - a. November 14, 2019 Minutes
5. Public Comment on Items Not on the Agenda
6. New Business – Public Hearing Items
  - a. **The Business Center at CTC Replat J Final Plat and Final PUD:** A request for approval of a Final Plat to consolidate two lots into one, and approval of a Final Planned Unit Development to allow construction of a 84,000 sf flex industrial structure and associated site improvements at 1875 Taylor Ave. (Resolution 18, Series 2019)
    - Applicant: RVP Architecture
    - Case Manager: Harry Brennan, Planner II
  - b. **824 South Street Special Review Use:** A request for approval of a Special Review Use to allow Use Group #8: Hotels or motels including restaurants and other incidental commercial uses inside the principal building. (Resolution 20, Series 2019)
    - Applicant: Hartronft Associates, p.c.
    - Case Manager: Lisa Ritchie, Senior Planner
  - c. **Coal Creek Corporate Center 1 PUD Amendment Extension:** A request for a three-year extension of the approval of the Coal Creek Corporate Center 1 PUD Amendment A (Resolution 21, Series 2019)
    - Applicant: Davis Partnership Architects
    - Case Manager: Lisa Ritchie, Senior Planner



**Planning Commission  
Meeting Minutes  
November 14<sup>th</sup>, 2019  
City Hall, Council Chambers  
749 Main Street  
6:30 PM**

**Call to Order** – Chair Brauneis called the meeting to order at 6:31 PM.

**Roll Call** was taken and the following members were present:

Commission Members Present: Steve Brauneis, Chair  
Tom Rice, Vice Chair  
Keaton Howe  
Jeff Moline  
Dietrich Hoefner  
Debra Williams

Commission Members Absent: None.

Staff Members Present: Rob Zuccaro, Dir. of Planning & Building  
Amelia Brackett Hogstad, Planning Clerk

**APPROVAL OF AGENDA**

Howe moved and Williams seconded a motion to approve the November 14<sup>th</sup>, 2019 agenda. Motion passed unanimously by voice vote.

**APPROVAL OF MINUTES**

Moline moved and Howe seconded a motion to approve the October 10<sup>th</sup>, 2019 minutes. Motion passed unanimously by voice vote.

**PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA**

None.

**NEW BUSINESS – PUBLIC HEARING ITEMS**

**Centennial Valley General Development Plan Amendment; Lots 2 and 3, Parcel O, Filing 7:** A request for an amendment to the Centennial Valley General Development Plan concerning allowed uses and densities at 550 S. McCaslin Blvd. and 919 W. Dillon Rd. (Resolution 19, Series 2019)

- Applicant: Seminole Land Holding, Inc., Centennial Valley Properties I, LLC
- Case Manager: Rob Zuccaro, Director of Planning and Building Safety

All required public notice was met.

Zuccaro presented the background for the amendment. The properties consist of two lots within one parcel of the Centennial Valley GDP from 1983, which originally included commercial, retail and residential uses. Zuccaro noted that there have been long-term

vacancies in the area. In June, staff presented a study to the Commission that showed the market changes brought on by e-commerce and competing developments, which indicated that there was limited retail development potential. That zoning proposal had requested open space, commercial, and residential. Zuccaro explained that Ascent Church had Lot 2 under contract, which meant that it might not be necessary to go ahead with the plan that staff presented in June. The current proposal supports additional uses and allows for pad sites for entertainment, offices, and the like, which required an increase in FAR. Zuccaro noted that any of those developments would have to come through a PUD process.

Zuccaro described the main elements of the GDP Amendment:

- Add Indoor Commercial Amusement/Entertainment to Allowed Uses
- Increase Maximum FAR from .2 to .3

Zuccaro described the fiscal analysis comparing full retail of existing buildings, which had not been the situation for 10 years and was unlikely to occur again, and the redevelopment scenario. He described the assumptions in that scenario. The analysis showed that with the full retail, there would be a net positive of \$24 million and with the redevelopment scenario it would be a net positive of \$5 million.

Zuccaro presented the fiscal analysis, which used full retail of existing buildings for comparison to the redevelopment scenario. He noted that full retail in the existing buildings had not been the situation for 10 years and was unlikely to occur again. Zuccaro also described the traffic study. Staff recommended a condition that future applicants provide a traffic study update or certification with any future PUDs and that proposed development continues to comply with Fehr and Peers study from March 2019.

Staff recommends approval of Resolution 19, Series 2019.

Brauneis asked for conflicts of interest. Seeing none, he asked for questions of staff.

Rice asked about the indoor commercial amusement/entertainment use category.

Zuccaro replied that there was a definition for commercial amusement, which he would look up. He noted that the commercial amusement use was in effect in other areas of the city.

Moline asked what use the church would fall under, if it could be called an institutional use, and how the Comprehensive Plan addressed institutional use.

Zuccaro replied that churches were specifically called out under allowed uses. He added that the City wanted to supplement the list of commercial uses.

Howe asked how staff landed on the FAR recommendation.

Zuccaro replied that the FAR limited the amount of development on the property and the design guidelines addressed height restrictions. A restaurant would likely be between

2,000 and 3,000 square feet and a drug store would be about 15,000 square feet, both of which were likely types of developments.

Howe asked if FAR limited height.

Zuccaro replied that the FAR did not limit height at all. If they came in with a lot of restaurants, there would be more parking demand for that, so they might be able to negotiate parking and height based on use. They could go up to 35 feet with two stories or a very shallow three stories. Zuccaro noted that staff was also working on the design guidelines.

Hoefner asked how the FAR went from .5 to .2 in the past.

Zuccaro replied that he did not know, but there had been limitations based on highway capacity and FAR probably played into an overall development cap. Once US 36 turned into more lanes, the City could lift the cap.

Hoefner asked if we should be considering going back to .5.

Zuccaro replied that .3 was the right place to be, given the nature of development in the area, and that even .3 could be hard to reach.

Brauneis asked about the three scenarios presented in June and the corresponding net fiscal impacts. He noted that the goal was to preserve the tax base, which this was not accomplishing.

Zuccaro replied that additional FAR would allow for additional development within the periphery of the lots, which could help revitalize the area and bring investment, possibly bringing in sales tax. The baseline against which the impact was being measured was the current state of re-tenanting and vacancy. Zuccaro described it as a net gain.

Brauneis asked about the previous fiscal model from June.

Zuccaro replied that it was the same economic model, but with different factors. For example, the proposed scenario included the 60,000 square-foot non-profit among its existing buildings, which the previous iteration had not accounted for. The EPS fiscal analysis also included all development on all lots in Parcel O and not just Lots 1 and 2. He explained that the model was a snapshot in time based on a lot of assumptions and the impact over 10 years could vary widely. He restated the goal of the amendment, to include more uses in the area that would help redevelop the area.

Brauneis wondered about the shelf life of these retail models. The increased FAR might provide a short-term boost, but he asked what the long-term impact would be.

Zuccaro replied that the proposal in June had tried to take a longer view, but the new proposal took into account what the property owners intend to develop. Brauneis noted that the previous model delivered a lot more with small town values and the tax generation potential.

Howe asked if the GDP amendment redevelopment assumed that all the square footage was filled.

Zuccaro confirmed, but noted that those were assumptions in the model. Because this was a GDP and not a PUD, the City did not know what the property owners planned to do. He explained that this scenario maximized the square footage.

Jeff Sheets with Koelbel and Company, 5291 East Yale Avenue in Denver, shared that the amendment was additive to what was already in place. The proposal was basically the same as in June, minus the residential component. He noted that .3 was not a dense development. The current FAR was at about .25 to .3 in Centennial Valley. The additional FAR would allow them more flexibility in development and to put a couple pad uses, which would be tax-generating. He added that the PUD process would also ensure that the Commission would review any future developments.

Brauneis asked if he would be amenable to reviewing and re-creating the traffic study.

Sheets replied that they were happy to look at the traffic study again with the new .3 FAR.

Moline asked if these changes would make finding tenants easier.

Sheets replied that it was still hard. An 86,000 square-foot box was difficult to fill especially with the depth of the building since it was hard to carve up into different pieces. He noted that the residential component would have made development easier, but it had not been received well by Louisville and so they had taken it out.

Moline asked if the applicant was planning to retain the development or sell the property.

Sheets said that his company never says never, but their plan was to redevelopment and re-tenant it. He noted that it was hard and expensive to knock down a building of that size.

Hoefner asked if .3 was right.

Sheets replied that he did not think .5 would be happen in Louisville and he did not think it was necessary.

Rice asked for examples in the entertainment use.

Sheets gave some examples, including trampoline parks, which were usually 30-35,000 square feet, and indoor skiing. He stated that there were no deals done, but Kohl's was gone.

Jim Candy, pastor at Ascent Church, 516 Country Lane in Boulder, stated that the church wanted to be a positive for the City. They did not want to take up space and take away money from the City to fund schools and the like. Their plan was to make use of

the parts of the building that commercial businesses would not want to use. They were familiar with what the citizens of Louisville were asking for – restaurants, public gathering spaces – and this was exactly what they were looking for in the planning process right now. They wanted to support the small-town value and wanted to bring tax dollars in for the City. He noted that they were in talks with a developer and the GDP Amendment gave them extra tools to make these things happen.

Brauneis asked about outlots.

Candy replied that they would look at outlots but would need to consider parking as they combined different elements.

Zuccaro shared the definition of commercial amusement from the Code:

“Commercial amusement means an enterprise whose main purpose is to provide the general public with an amusing or entertaining activity, where tickets are sold or fees collected at the activity. Commercial amusements include miniature golf courses, arcades, ferris wheels, children’s rides, roller coasters, skating rinks, ice rinks, bowling alleys, pool parlors, and similar activities.”

Zuccaro noted that entertainment was not defined. Entertainment was a more common term now for the same concept as commercial amusement.

Brauneis asked for public comment. Seeing none, he asked for closing statements. Seeing none, he requested commissioner comments.

Rice stated that he did not see any downsides. If it gave the property owners more tools to fill the space, that was a good thing. In regards to the fiscal impact studies, the sad truth was that today the impact was a net zero. He was glad to see that the residential component had been removed.

Williams agreed with Commissioner Rice. More uses gave more opportunities to find something to fill the space. She wanted to maximize the area and to come a little closer to the fiscal impact of the past. She also found that it met the Comprehensive Plan.

Brauneis noted that the Small Area Plan wanted to move away from the superblock layouts like this development and he did not know if this amendment would do that.

Williams responded that she did not think this presented enough information to apply the Small Area Plan.

Hoefner noted that this was a step toward more flexibility and a greater diversity in uses. He suggested that the applicants should come back to the Commission if the parking requirements became an issue.

Moline shared Chair Brauneis’s concern that this plan would not further the goals of the Small Area Plan. He was in support of the resolution, because it seemed like a reasonable step to take to try to preserve the infrastructure that was there now and try

to make that work. He noted the sustainability perspective of reusing the existing buildings, as well.

Howe noted that the revenue from the area would otherwise be lost and that there was value to re-gentrification and to creating of positive energy in this gateway to Louisville. He thought that the tenants would benefit the small-town feel of Louisville and had a genuine interest in the community.

Brauneis stated that he would be in support of the proposal, but he was concerned that the sales tax revenue from entertainment use would be limited. He worried that with increased FAR, the City would be freezing this area into what might otherwise be higher-performing in terms of tax generation. The proposal worked well from the owner perspective, but not necessarily from the tax perspective.

Rice made a motion to approve Resolution 19, Series 2019, to include the condition as recommended by staff. Williams seconded. Motion approved unanimously by roll call vote.

**The Business Center at CTC Replat J Final Plat and Final PUD:** A request for approval of a Final Plat to consolidate two lots into one, and approval of a Final Planned United Development to allow construction of a structure and associated site improvements at 1875 Taylor Ave. (Resolution 18, Series 2019) **REQUEST TO CONTINUE TO DECEMBER 12, 2019**

- Applicant: RVP Architecture
- Case Manager: Harry Brennan, Planner II

Moline made a motion to continue to December 12<sup>th</sup>. General second. Approved unanimously by voice vote.

Rice asked what was going on with the application.

Zuccaro replied that staff and the applicants were working on building design since the application was subject to the CCDSG in the industrial park, which was a higher standard.

#### **COMMISSIONER COMMENTS**

None.

#### **STAFF COMMENTS**

None.

#### **ITEMS TENTATIVELY SCHEDULED FOR DECEMBER 12<sup>TH</sup>, 2019**

- 824 South Street SRU Amendment
- Coal Creek Business Park PUD Extension

**Adjourn:** Howe moved to adjourn. Williams seconded. Adjourned at 7:29 PM.

**ITEM:** PUPL-0229-2019, PUD-0230-2019

**PLANNER:** Harry Brennan, Planner II

**APPLICANT:** Bob Van Pelt, RVP Architecture

**EXISTING ZONING:** PCZD-I

**LOCATION:** 1875 and 1923 Taylor Avenue

**TOTAL SITE AREA:** 6.91 Acres

**REQUEST:** Approval of Resolution 18, Series 2019 recommending approval of request for a Final Plat to consolidate lots and a Final Planned Unit Development for Lots 18 & 19, Block 1 of The Business Center at CTC.

**VICINITY MAP:**



**SUMMARY:**

The owner, CTC FCM-II, LLC, represented by RVP Architecture, requests approval of a Final Plat and a Final Planned Unit Development (PUD) at 1875 and 1923 Taylor Avenue to allow construction of a 84,000 sf industrial flex building and associated site improvements.

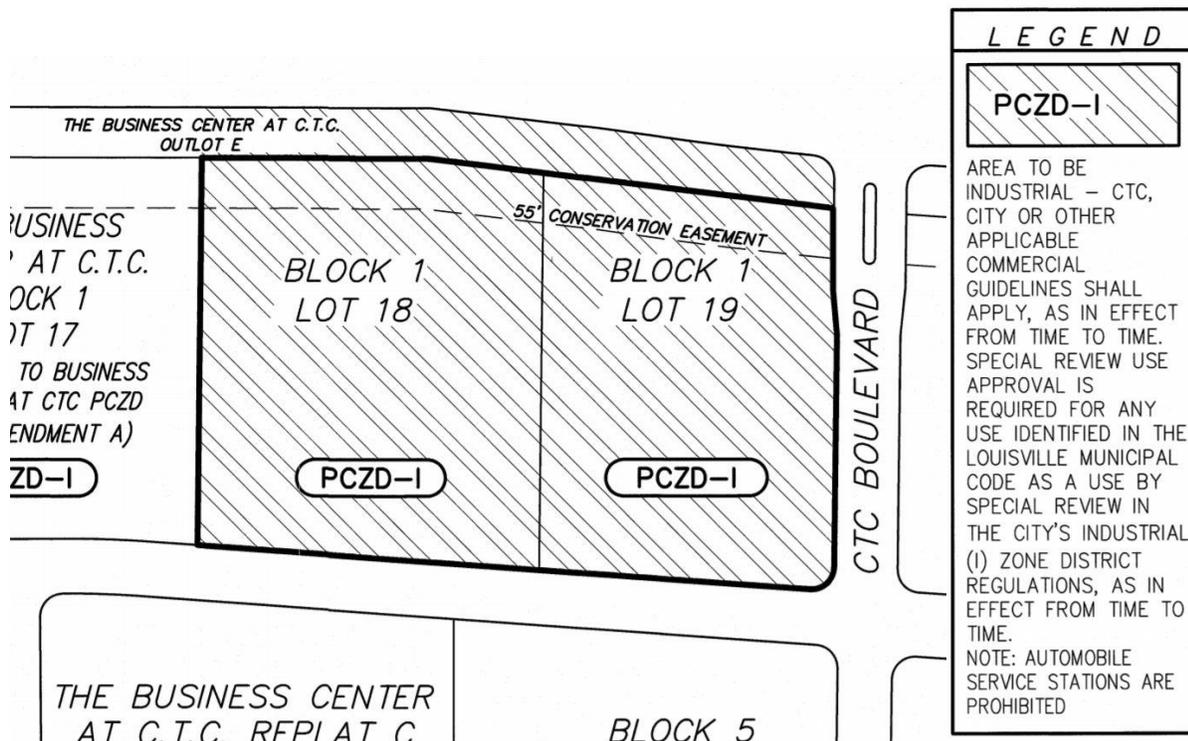
**BACKGROUND:**

The City approved The Business Center at CTC plat in 1998. The City has approved a number of replats since the original approval; however, none have included Lots 18 and 19. The City also approved The Business Center at CTC General Development Plan (GDP) in 1998, which established the zoning standards for the properties, including the designation of Lot 18 for industrial land uses and Lot 19 for commercial land uses, and established use of the Commercial Development Design Standards and Guidelines (CDDSG) for both Lots 18 and 19.

In 2019, the City approved The Business Center at CTC GDP Amendment F, which changed the allowed land uses for Lot 19 from commercial to industrial and re-confirmed that both Lots 18 and 19 are subject to the CDDSG.

The GDP's in effect for the properties along the northern edge of the CTC adjacent to Highway 42 require development subject to the CDDSG, with the exception of the property to the east at Lot 1, Block 3 (FedEx), which is subject to a hybrid concept between the CDDSG and the Industrial Development Design Standards and Guidelines (IDDSG). The combined effect of the adopted GDP's for the northern edge of the CTC is a requirement for a higher level of design for buildings along Highway 42.

Figure 1: The Business Center at CTC GDP Amendment F

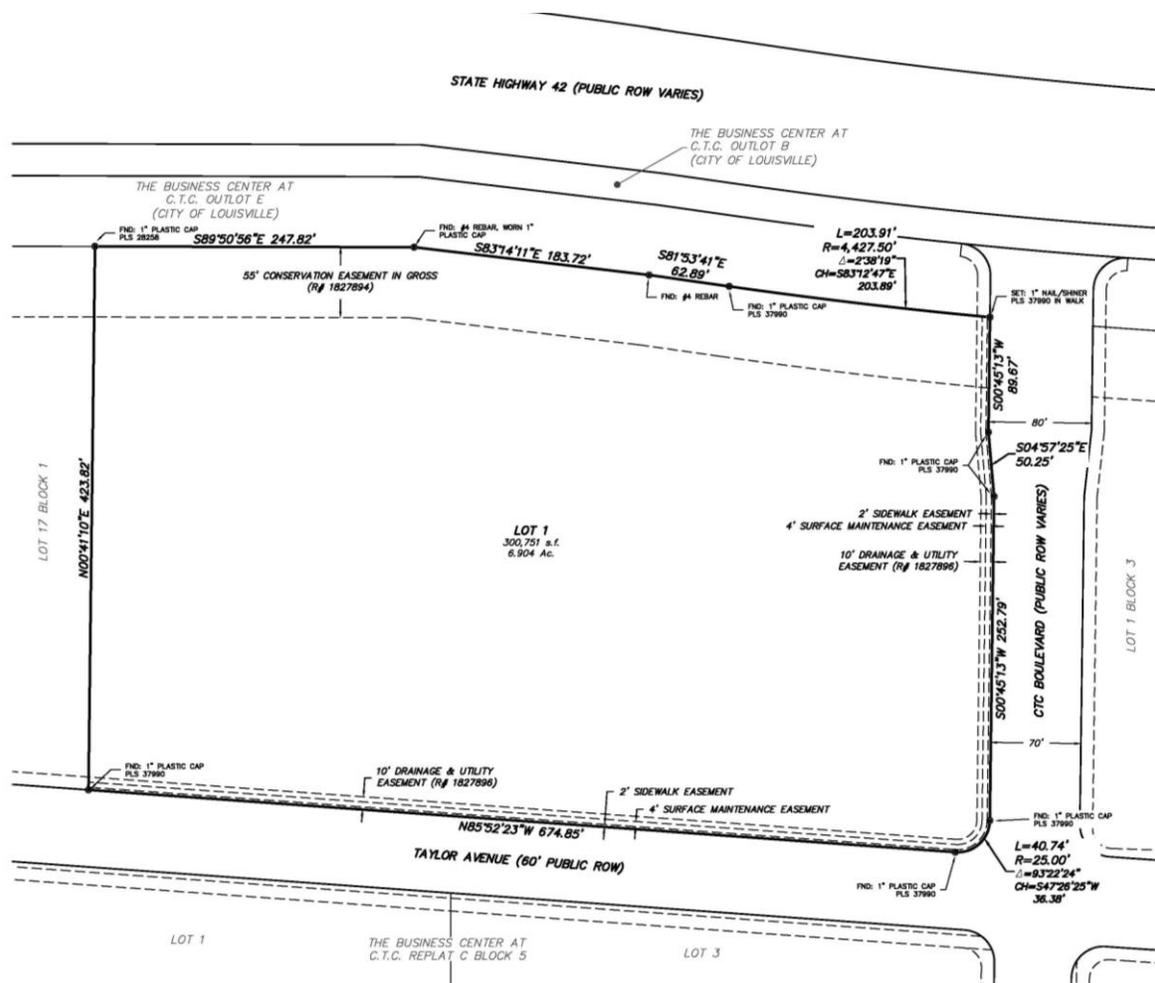


# PROPOSAL:

## Final Plat

The proposed final plat, The Business Center at CTC Replat J, consolidates Lots 18 & 19 into one. The plat maintains the existing 55' conservation easement along the northern edge of the property, which is in addition to a 55' outlot (Outlot E) established by the original plat, providing a 110' buffer between the development and the street right of way. Existing development agreements for the property require that the subdivider or building owner construct the landscaping in that buffer and the building owner or owner's association maintain the landscaping. The plat also notes existing and proposed utility, sidewalk and maintenance easements.

Figure 2: The Business Center at CTC Replat J



## Final PUD

### **Overview**

The proposal includes construction of an 84,000 sf industrial flex building and associated site improvements. As noted above, the GDP requires development on this property in conformance with the CDDSG.

This property has three street frontages. The lot is bordered on the north by Highway 42, the east by CTC Boulevard, and the south by Taylor Avenue. The property to the west is Pearl Izumi, and developed with office/R&D uses. The applicant proposes a one-story rectangular structure on the lot, with three ingress/egress locations – two from Taylor Avenue and one from CTC Boulevard. The building itself is centered on the property, spanning what is currently Lot 18 and Lot 19. Parking and paved areas are distributed around the building, with planting and landscaping around the edges of the property.

The building orients its façade with the main pedestrian entrances and architectural interest on the north side to Highway 42. Its rear side with loading access and service areas orient south towards Taylor Avenue. The applicant proposed this orientation to respond to the intent of CDDSG-level design along Highway 42, and also to optimize views for potential building occupants.

Currently, the applicant has not identified an end user or tenant for the building. The large rectangular floorplate of the building is intended to be flexible to accommodate potential industrial or office uses.

### **Site Planning**

There is an existing sidewalk along Taylor Avenue and CTC Boulevard, and the site plan includes two pedestrian walkways into the site – one on each of the aforementioned streets. Throughout the site, there are sidewalks providing pedestrian access from parking areas to the building entrances. The applicant proposes bicycle parking at the building entrances on the north side of the building, as well as two break/seating areas with deck and trellis structures at the southeast and southwest corners of the building. Two additional break areas are located on west and north sides of the building.

The site plan accommodates drainage with a detention area at the southeast corner of the property. The grading plan also provides a flat area within Outlot E that can accommodate a planned trail connection traversing the northern portion of the property along Highway 42. This matches the bench provided to the east on the FedEx property. The plans include a trail connection leading from the building to a landscaped seating area on the northern edge of the property, which then can connect to the future trail when it is constructed at a later date.

The landscaping plan includes street trees along Taylor Avenue and CTC Boulevard, and shrub and tree planting along the edges of the property. The landscaping along Taylor Avenue includes a double row of trees along the street frontage that serve as

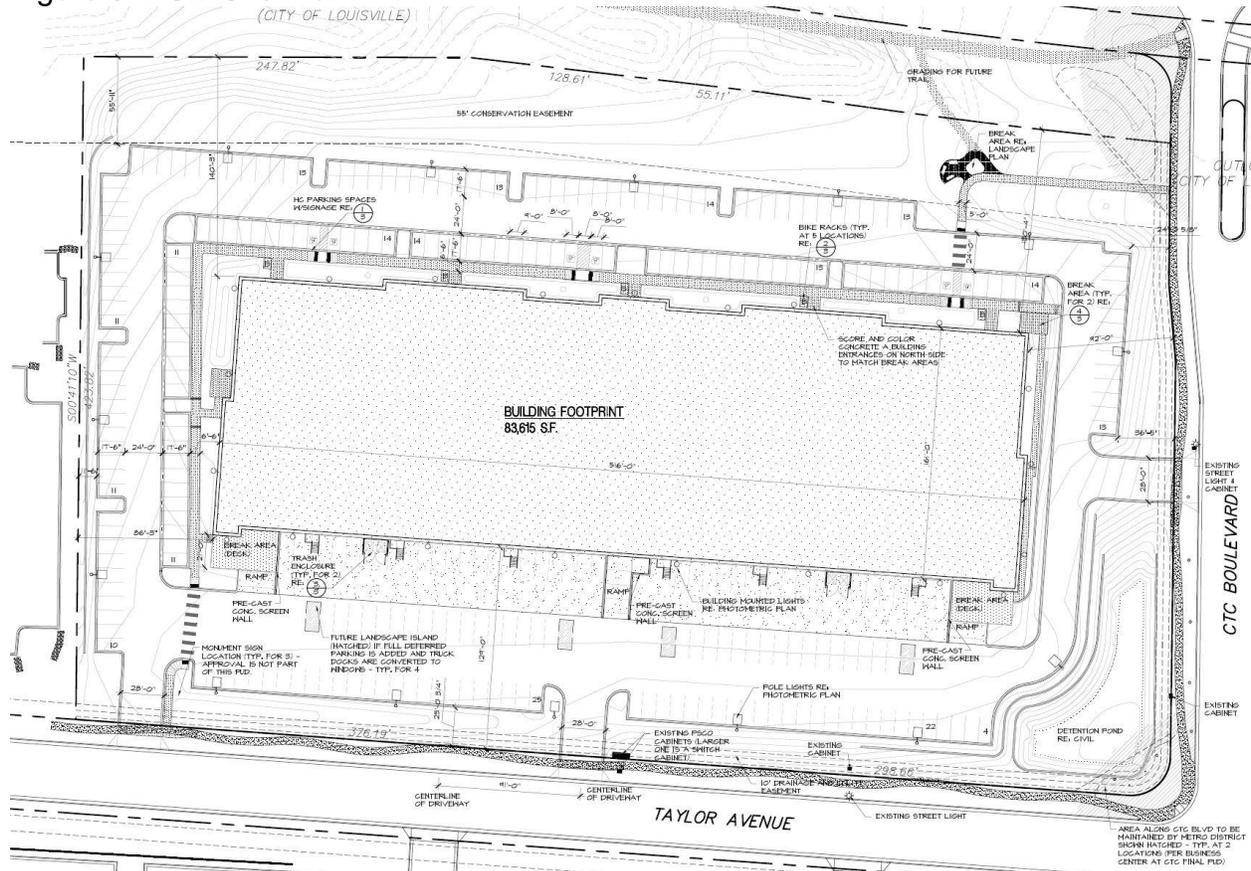
screening for the loading docks facing Taylor Avenue. The plan calls for planting to highlight vehicular entrances to the property as well as the corner of CTC Boulevard and Taylor Avenue. Plantings frame building entrances and break-up parking lot rows. The landscaping plan provides native seeding, a trail connection, and a seating area in the conservation easement area and Outlot E along Highway 42. The conservation easement and Outlot E act as a large 110' landscaping buffer between development and the public right-of-way.

The development provides 175 initial parking spaces, at a ratio of 2 spaces/1000 sf, with the ability to add spaces in lieu of truck access for up to 297 spaces total (3.5 spaces/1000 sf). The proposal distributes parking around all sides of the building, with potential deferred parking on the south side of the building in the truck loading area. The CDDSG requires a parking ratio of 1 space/1000 sf for warehouse uses, and 4 spaces/1000 sf for office uses. Because there is no known tenant at this point, the site plan provides parking at a quantity above the requirement for warehouse, but below the requirement for office. If the building was a mix of both office and warehouse uses, it could be no more than 71,000 sf of office, assuming all of the deferred parking was built to create 297 spaces. Staff will evaluate parking needs of particular uses at the time of tenant finish building permit review, to determine when the deferred parking is necessary.

The building and parking areas meet all setback requirements in the CDDSG. However, the applicant requests a waiver for relief from the required building setback of 25' along the western property line to allow solar carports over parking spaces, resulting in a setback of roughly 11'-6" where carports are added. The parking lot on this western edge meets the minimum setback of 10'-0". The plans do not indicate specific locations for these carports, but note that they could be added to the north and west sides of the parking lot. A waiver is only needed for carports on the west side of the parking lot, where they would encroach on the 25' required side setback.

Emergency access meets the requirements.

Figure 3: PUD Site Plan



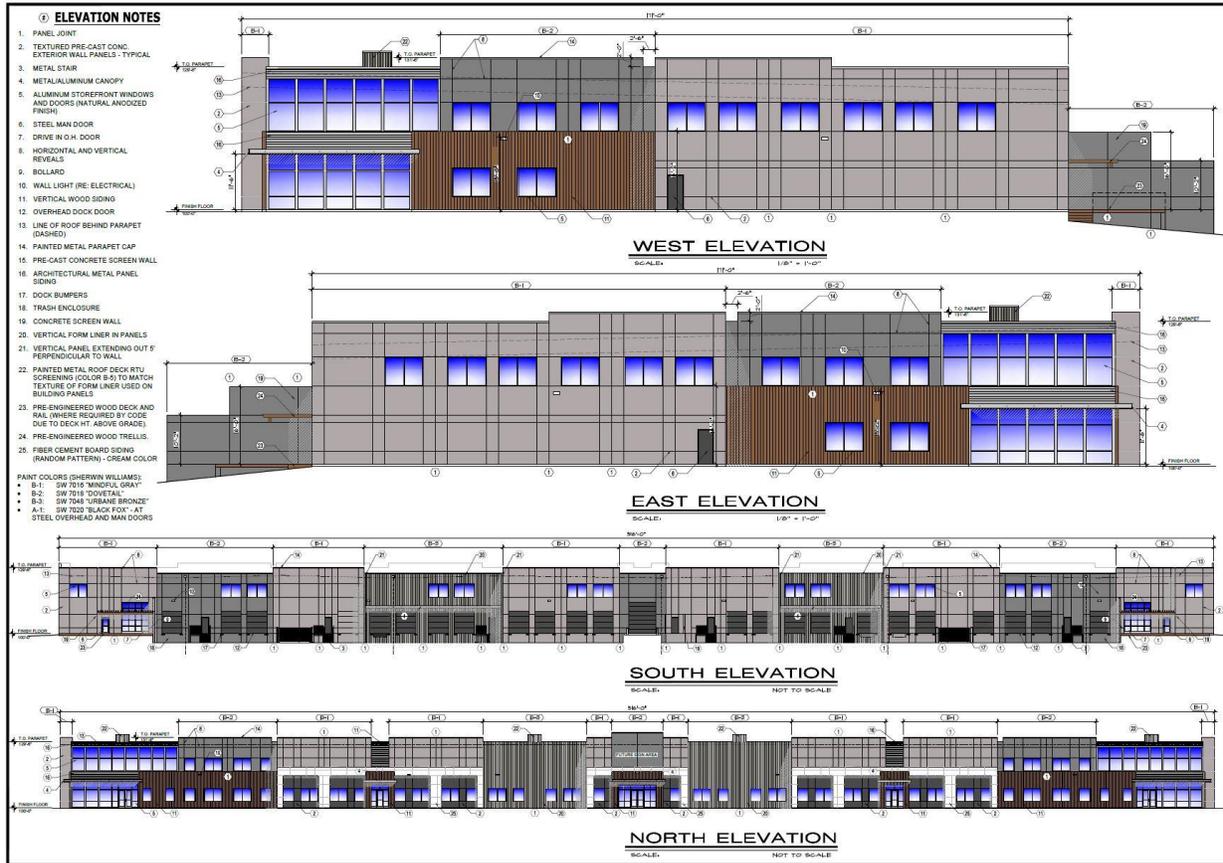
### Architectural Design

The applicant proposes construction mainly consisting of tilt up concrete panels, with interior steel columns and bar joists. The rectangular building footprint is roughly 515' by 160'. The north elevation of the building has the primary pedestrian entries, more transparency, and more articulation. The south elevation of the building provides loading/truck access, service areas, and less transparency. The east and west elevations have a moderate degree of transparency and articulation.

Projections on the north elevation, southeast corner, and southwest corner break up the overall mass of the building. The building roof is flat, but the roofline varies with changes in parapet height. Windows and entries are clustered at the corners of the building and on the north elevation. Entry and window framing, reveal lines, and changes in material and color provide further articulation on the exterior of the building.

The building also includes canopies, concrete screen walls, vertical panels, and two wood trellises to highlight building entries and create visual interest. Building materials and architectural treatments include the use of concrete form-liners, wood siding, architectural metal panels, and fiber cement board siding.

Figure 4: PUD Elevations



## **ANALYSIS:**

### Final Plat

The Final Plat is subject to the following standards in Section 16.12.075 of the Louisville Municipal Code.

1. *Whether the plat conforms to all of the requirements of this title;*
  - The application for The Business Center at CTC Replat J conforms in all respects to the requirements of Title 16 of the Louisville Municipal Code.
2. *Whether approval of the plat will be consistent with the city's comprehensive plan, applicable zoning requirements, and other applicable federal, state and city laws;*
  - Staff finds this application is consistent with one of the city's comprehensive plan policies for the CTC, which is to "maintain a high quality employment center that responds to the needs of businesses."
3. *Whether the proposed subdivision will promote the purposes set forth in section 16.04.020 of this Code and comply with the standards set forth in chapter 16.16 of this Code and this title.*
  - The Final Plat promotes the purposes set forth in the LMC, including the assurance that public services are available, that character and economic stability of the city is protected, that there is safe and efficient circulation of traffic, pedestrians and bikeways, and provides appropriate regulation of the use of land in the city.

### Planned Unit Development

The PUD is subject to the CDDSG and Section 17.28.120 of the Louisville Municipal Code.

#### *CDDSG: 1. Site Planning*

This application complies with the standards in this section, including all minimum setbacks and building and site orientation standards, with noted waiver for the minimum side building setback to allow carports. The proposal includes two new pedestrian connections from Taylor Avenue and CTC Boulevard, as well as a future trail connection to the north. It also includes employee and visitor gathering areas. Utilities/loading docks face Taylor Avenue, which is allowed by the CDDSG, provided that they are adequately screened. Staff finds that the utilities/loading docks are successfully screened by landscaping along the street. The proposal meets the site standards for site grading and drainage in the CDDSG.

#### *CDDSG: 2. Vehicular Circulation and Parking*

Access is accommodated through two drive aisle connections to Taylor Avenue and one to CTC Boulevard. The drive aisles can accommodate access for fire and service needs on the property. The parking lot meets design requirements, and distributes spaces throughout the site. Where parking spaces abut sidewalks, additional sidewalk width is

provided to accommodate vehicular overhangs. The proposal includes designs for deferred parking with landscaped islands, if more spaces are needed.

#### *CDDSG: 3. Pedestrian and Bicycle Circulation*

The applicant proposes pedestrian connections and bicycle parking consistent with the standards of the CDDSG. The application includes bicycle parking that is distributed among the main pedestrian entrances and two new pedestrian sidewalks with access from Taylor Avenue and CTC Boulevard. The parking lot design locates parking spaces adjacent to sidewalks in some areas, however the sidewalks in these areas are at least 6'-6" wide so that there is adequate width for car overhang. The layout of the parking lot minimizes pedestrian crossings to avoid pedestrian/vehicle conflicts.

#### *CDDSG: 4. Architectural Design*

The plan show entries and service areas in appropriate locations. Building height is in character with the CTC, and it does not exceed 33'. The building incorporates architectural features to reduce the apparent massing of the building including material changes, roofline variation, projections and recesses, framing of windows and doors, and canopies. The orientation of the building maximizes architectural interest from Highway 42, with pedestrian entries highlighted by three-dimensional projections and material changes. Service entrances are located on the rear of the building, and are integrated into the overall design of the wall elevation. The plans included additional landscaping above the CDDSG minimums to meeting the screening requirements for the loading areas. The proposal also includes the potential use of solar carports, which promote sustainability goals.

#### *CDDSG: 5. Landscape Design*

The application complies with standards in the CDDSG for perimeter landscaping adjacent to abutting property, parking lot landscaping, and loading and service area screening. The conservation easement and Outlot E contain landscaping, as required by the GDP and final plat.

#### *CDDSG: 6. Screen Walls and Fences*

The application includes retaining walls related to detention basin. These walls are terraced to reduce their height, and include landscaping to soften their appearance. An additional retaining wall is locating along the western side of the property, which also includes landscaping in front of, and on top of the wall.

#### *CDDSG: 8. Exterior Site Lighting*

This application complies with the CDDSG for the lighting design. The application includes wall mounted and pole mounted full cut-off LED light fixtures that will reduce light glare and safely light the property.

#### *Waiver Compliance with 17.28.110*

Section 17.28.110 of the Louisville Municipal Code sets forth the PUD waiver process and criteria. The application includes the following waiver requests:

- CDDSG 1.2.B. requirement for a 25'-0" building setback. The application includes a request to allow carports to be constructed in a portion of the western parking area roughly 11'-6" from the property line.

The plans include additional landscaping interest and buffering through shrubs in this area, as well as a retaining wall, to mitigate the impact of the waiver request. Staff finds there is no negative impact to the spirit and intent of the development plan criteria, and that the waiver is warranted by the design and amenities incorporated into the development plan.

*Compliance with 17.28.120*

Section 17.28.120 of the Louisville Municipal Code lists 28 criteria for PUDs that must be satisfied or found not applicable in order to approve a PUD. Analysis and staff's recommended finding of each criterion is provided in the attached appendix.

**STAFF RECOMMENDATION:**

Staff recommends approval of Resolution 18, Series 2019 recommending approval of a Final Plat and a Final Planned Unit Development.

**ATTACHMENTS:**

1. Resolution No.18, Series 2019
2. Application Materials
3. The Business Center at CTC GDP Amendment F
4. Final Plat
5. Final Planned Unit Development

**APPENDIX: PUD Criteria Analysis – The Business Center at CTC Replat J PUD**

Criteria 17.28.120 (A)	Finding	Narrative
1. An appropriate relationship to the surrounding area.	Compliant	The use is appropriate for the area and permitted in the PCZD-I zone district. The site and building design are compatible with other surrounding properties.
2. Circulation in terms of the internal street circulation system, designed for the type of traffic generated, safety, separation from living areas, convenience, access, and noise and exhaust control. Proper circulation in parking areas in terms of safety, convenience, separation and screening.	Compliant	The application provides for adequate and safe internal circulation. The City's engineering division and Fire District have reviewed the parking circulation and driveway locations and have no objections to the proposal.
3. Consideration and provision for low and moderate-income housing	Not applicable	The property is zoned PCZD-I. Residential uses are not allowed.
4. Functional open space in terms of optimum preservation of natural features, including trees and drainage areas, recreation, views, density relief and convenience of function	Compliant	The PUD complies with landscape requirements in the CDDSG.
5. Variety in terms of housing types, densities, facilities and open space	Not applicable	The property is zoned PCZD-I. Residential uses are not allowed.
6. Privacy in terms of the needs of individuals, families and neighbors	Compliant	The PUD complies with site planning provisions in the CDDSG, assuring appropriate privacy of neighboring properties.
7. Pedestrian and bicycle traffic in terms of safety, separation, convenience, access points of destination and attractiveness	Compliant	The PUD complies with pedestrian and bicycle requirements in the CDDSG, ensuring adequate pedestrian and bicycle access. There are direct sidewalk connections provided between the building and adjacent public street.
8. Building types in terms of appropriateness to density, site relationship and bulk	Compliant, with waiver	The PUD complies with the site planning provisions and architectural standards in the CDDSG, and is compatible with surrounding development and appropriate for the CTC. The PUD requires a waiver for carports that

		would encroach in the 25' required side setback.
9. Building design in terms of orientation, spacing, materials, color, texture, storage, signs and lighting	Compliant	The PUD complies with the site planning and architectural design requirements in the CDDSG. The design incorporates sufficient articulation, material and building mass variation, as well as successful site organization.
10. Landscaping of total site in terms of purpose, such as screening, ornamental types used, and materials used, if any; and maintenance, suitability and effect on the neighborhood	Compliant	The PUD complies with landscape requirements in the CDDSG ensuring adequate screening and compatible landscaping for the CTC.
11. Compliance with all applicable development design standards and guidelines and all applicable regulations pertaining to matters of state interest, as specified in <u>chapter 17.32</u>	Compliant	The PUD complies with all applicable development standards and guidelines.
12. None of the standards for annexation specified in <u>chapter 16.32</u> have been violated	Not applicable	The property was annexed in 1976.
13. Services including utilities, fire and police protection, and other such services are available or can be made available to adequately serve the development specified in the final development plan	Compliant.	The Public Works Department and Louisville Fire District reviewed the PUD and meets their requirements, with the noted conditions.

Criteria 17.28.120 (B)	Finding	Narrative
1. Development shall be in accordance with the adopted elements of the comprehensive development plan of the city, and in accordance with any adopted development design standards and guidelines.	Compliant	The PUD complies with the adopted elements of the comprehensive plan, and the adopted development design standards and guidelines.
2. No structures in a planned unit development shall encroach upon the floodplain. Existing bodies of water and existing stream courses shall not be channelized or altered in a planned unit development plan.	Compliant	The property is not located in a floodplain, nor are there any existing bodies of water in the area.

<p>3. No occupied structure shall be located on ground showing severe subsidence potential without adequate design and study approved specifically by the city.</p>	<p>Compliant</p>	<p>There is no known subsidence on the property.</p>
<p>4. The proposal should utilize and preserve existing vegetation, land forms, waterways, and historical or archeological sites in the best manner possible. Steep slopes and important natural drainage systems shall not be disrupted. How the proposal meets this provision, including an inventory of how existing vegetation is included in the proposal, shall be set forth on the landscape plan submitted to the city.</p>	<p>Compliant</p>	<p>The PUD is appropriate for the context of the existing conditions of the property. The site is relatively flat and is within a developed industrial park and not adjacent to any preservation areas.</p>
<p>5. Visual relief and variety of visual sitings shall be located within a development in the overall site plan. Such relief shall be accomplished by building placements, shortened or interrupted street vistas, visual access to open space and other methods of design.</p>	<p>Compliant</p>	<p>The PUD complies with site planning requirements in the CDDSG, ensuring proper building placement and access to open space.</p>
<p>6. Open space within the project shall be located in such a manner as to facilitate pedestrian use and to create an area that is usable and accessible to residents of surrounding developments.</p>	<p>Compliant</p>	<p>The PUD complies with requirements in the CDDSG.</p>
<p>7. Street design should minimize through traffic passing residential units. Suggested standards with respect to paving widths, housing setbacks and landscaping are set forth in public works standards of the city and applicable development design standards and guidelines. The system of streets, including parking lots, shall aid the order and aesthetic quality of the development.</p>	<p>Compliant</p>	<p>The PUD complies with requirements in the CDDSG, ensuring properly designed landscaping adjacent to public streets.</p>

<p>8. There shall exist an internal pedestrian circulation system separate from the vehicular system such that allows access to adjacent parcels as well as to parks, open space or recreation facilities within the development. Pedestrian links to trail systems of the city shall be provided.</p>	<p>Compliant</p>	<p>The PUD complies with bicycle and pedestrian requirements in the CDDSG, ensuring adequate pedestrian and bicycle access.</p>
<p>9. The project and development should attempt to incorporate features which reduce the demand for water usage.</p>	<p>Compliant</p>	<p>The PUD proposes appropriate use of water.</p>
<p>10. Landscape plans shall attempt to reduce heating and cooling demands of buildings through the selection and placement of landscape materials, paving, vegetation, earth forms, walls, fences, or other materials.</p>	<p>Compliant</p>	<p>The PUD complies with landscape requirements in the CDDSG, providing for shading of parking and pedestrian areas.</p>
<p>11. Proposed developments shall be buffered from collector and arterial streets. Such buffering may be accomplished by earthen berms, landscaping, leafing patterns, and other materials. Entrance islands defining traffic patterns along with landscaping shall be incorporated into entrances to developments.</p>	<p>Compliant</p>	<p>The PUD complies with the requirements of the CDDSG and includes adequate landscaping and buffering from adjacent streets, and includes a landscaped area on the northern edge of the property.</p>
<p>12. There shall be encouraged the siting of lot arrangement, building orientation and roof orientation in developments so as to obtain the maximum use of solar energy for heating.</p>	<p>Compliant</p>	<p>The PUD provides unshaded roof structures so that solar energy may be utilized in the future.</p>
<p>13. The overall PUD shall provide a variety of housing types.</p>	<p>Not applicable</p>	<p>Housing is not proposed.</p>
<p>14. Neighborhoods within a PUD shall provide a range of housing size.</p>	<p>Not applicable</p>	<p>Housing is not proposed.</p>
<p>15. Architectural design of buildings shall be compatible in design with the contours of the site, compatible with surrounding designs and neighborhoods, shall</p>	<p>Compliant</p>	<p>The PUD proposes architecture that is compatible in design with the contours of the site, with surrounding designs and neighborhoods, and intent of the</p>

promote harmonious transitions and scale in character in areas of different planned uses, and shall contribute to a mix of styles within the city.		GDP to have higher architectural standards along Highway 42.
--	--	--

**RESOLUTION NO. 18  
SERIES 2019**

**A RESOLUTION RECOMMENDING APPROVAL OF A REQUEST FOR A FINAL  
PLAT TO CONSOLIDATE LOTS, AND A FINAL PLANNED UNIT DEVELOPMENT  
FOR LOT 18 AND LOT 19, BLOCK 1, THE BUSINESS CENTER AT CTC, LOCATED  
AT 1875 AND 1923 TAYLOR AVENUE**

**WHEREAS**, there has been submitted to the Louisville Planning Commission an application for a Final Plat to consolidate lots, and a Final Planned Unit Development to allow construction of a 84,000 sf building and associated site improvements.

**WHEREAS**, City staff has reviewed the information submitted and found that the application complies with the Louisville subdivision and zoning regulations and other applicable sections of the Louisville Municipal Code; and

**WHEREAS**, the Planning Commission has considered the application at a duly noticed public hearing on December 12, 2019, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission staff report dated December 12, 2019 ; and

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a request for a Final Plat to consolidate lots, and a Final Planned Unit Development to allow construction of an 84,000 sf building and associated site improvements.

**PASSED AND ADOPTED** this 12<sup>th</sup> day of December, 2019.

By: \_\_\_\_\_  
Steve Brauneis, Chairperson  
Planning Commission

Attest: \_\_\_\_\_  
Debra Williams, Secretary  
Planning Commission



July 2, 2019

City of Louisville Planning Department  
749 Main Street  
Louisville, CO 80027

**Letter of Request – Final PUD, Lots 18 & 19, The Business Center at CTC  
(1875 Taylor Avenue)**

CTC FCM-II, LLC is seeking PUD approval for a new building on the above referenced lots in the Business Center at CTC. Concurrent with the PUD a replat will be processed to combine the two lots into one single one. This LLC was formed to purchase the land and get PUD approval for a flex building with the intent to build it once they have a tenant or tenants identified. They feel the market remains strong for large users in the distribution, manufacturing and high-tech industries. The property recently went through a GDP amendment to allow for industrial uses. Like the lots along Highway 42 to the west, these two are subject to the City of Louisville Commercial Development Design Standards and Guidelines (CDDSG).

Final PUD approval is being sought for a single story 83,441 square foot building. It is bordered on the north by Highway 42, the east by CTC Boulevard, and the south by Taylor Avenue. 175 parking spaces will be provided initially (a ratio of 2 spaces per 1,000 s.f.), with the ability to add spaces in lieu of truck access for up to 297 spaces total (3.5 spaces/1,000 s.f.). 3 ingress/egress locations are being proposed; two off of Taylor and one off of CTC.

The building is oriented with the pedestrian entrance and potential office side facing Highway 42, and the truck docks facing Taylor. This orientation was discussed with the planning staff, as the challenge with this site is that it has three street frontages. It was felt that facing the front of the building to Highway 42 was preferable from a visual standpoint and to optimize the views of the occupants. It also works well with the natural grades sloping northwest to southeast and allows for the truck docks to be on the south/sunny side of the building. The building will be 32 feet tall at its highest point. Construction is to be primarily tilt up concrete panels with interior steel columns and bar joists. The building will have an automatic fire sprinkler system throughout.

Major areas of conformance with the architectural requirements of the CDDSG are as follows:

- Walls along north west and east sides are broken up by building offsets to diminish the building mass.
- Variations in color and texture are used to reduce scale and mass.
- Variations in roof height are used on all facades of the building.
- Windows are patterned and replicated in a consistent and balanced way.
- Awnings and canopies are being utilized.
- Roof lines do not run in planes of more than 50 feet.
- Roof parapets are being used to screen roof top equipment. In addition, all roof top

- equipment will be set back a minimum of 25 feet from the edge of the building.
- Roof forms relate to adjacent buildings and the CTC in general.
  - Building materials and colors will be compatible with nearby structures.
  - Exterior wall materials will be muted. There will be areas of metal architectural panels and stucco which will complement the scored concrete panels.
  - The northwest and northeast corners have extensive storefront glazing to add additional variation to the other materials as well as create building entrances that are identifiable, relate to the human scale, and contrast with the surrounding wall planes.
  - Dumpster areas and utilities will be screened with the same materials as used elsewhere on the building.

Landscaping will play a major role in the screening of the truck area along Taylor. There will be a 25' buffer as required by the CDDSG. The building itself is set back 129' from the Taylor Avenue property line. Screen walls will shield the truck docks from the west and east side, which will greatly eliminate truck visibility from CTC Boulevard. The detention pond is on the southeast corner of the site, so there will also be a landscape buffer between CTC Boulevard and the building. Two employee break areas are provided, on the west and east sides of the building. just west of this entry. The site layout meets the setback and bulk requirements of the CDDSG adopted by the City, with the exception that the northeast corner of the parking lot has a 24-foot setback off of CTC for the first approximate 2 feet of the row of 13 parking spaces. By the end of the row, the setback is at 36 feet. As outlined above, we also believe the site and building design meets the other design criteria set forth in that document.

If you have any questions, please feel free to contact me.

Sincerely,



Robert Van Pelt  
Architect

**LAND USE APPLICATION**

**CASE NO.** \_\_\_\_\_

**APPLICANT INFORMATION**

Firm: RVP Architecture, P.C.  
 Contact: Robert Van Relt  
 Address: 3223 Arapahoe Ave #220  
Boulder, CO 80303  
 Mailing Address: Same  
 Telephone: 303.443.5355  
 Fax: -  
 Email: bobervparchitecture.com

**OWNER INFORMATION**

Firm: CTC FCM-II, LLC  
 Contact: Andrew Freeman  
 Address: 1375 Walnut St, Ste 10  
Boulder, CO 80303  
 Mailing Address: Same  
 Telephone: 720-699-0575  
 Fax: -  
 Email: andrew@wwreynolds.com

**REPRESENTATIVE INFORMATION**

Firm: Same as applicant  
 Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

**PROPERTY INFORMATION**

Common Address: 1875 & 1923 Taylor  
 Legal Description: Lot 18-19 Blk \_\_\_\_\_  
 Subdivision Bus. Center & CTC  
 Area: 300,564 Sq. Ft. ±

**TYPE (S) OF APPLICATION**

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: \_\_\_\_\_
- CMRS Facility: \_\_\_\_\_
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

**PROJECT INFORMATION**

Summary: New 83,441 SF. one-story  
Flex Industrial building. Lots  
1819 are being combined  
into one lot along w/ PUD.  
No tenant or tenant's have  
been identified at this point

Current zoning: PUD-I Proposed zoning: PUD-I

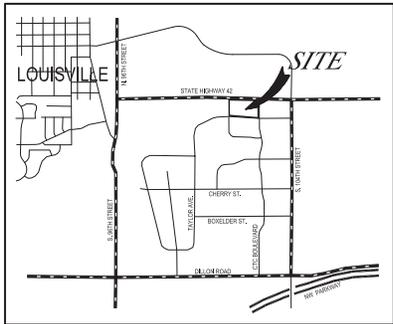
**SIGNATURES & DATE**

Applicant: \_\_\_\_\_  
 Print: Robert Van Relt  
 Owner: \_\_\_\_\_  
 Print: Andrew Freeman  
 Representative: \_\_\_\_\_  
 Print: Robert Van Relt

**CITY STAFF USE ONLY**

- Fee paid: \_\_\_\_\_
- Check number: \_\_\_\_\_
- Date Received: \_\_\_\_\_





VICINITY MAP (NTS)

# THE BUSINESS CENTER AT C.T.C. REPLAT J

A REPLAT OF LOTS 18 & 19, BLOCK 1 OF THE BUSINESS CENTER AT C.T.C.  
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 16,  
 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO  
 6.90 ACRES - 1 LOT

**LEGAL DESCRIPTION:**

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED BEING THE OWNERS OF LOTS 18 AND 19, BLOCK 1 OF "THE BUSINESS CENTER AT C.T.C.", LOCATED IN THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF LOUISVILLE COUNTY OF BOULDER, STATE OF COLORADO.

HAS LAID OUT, SURVEYED AND PLATTED SAID LAND AS PER DRAWING HEREON CONTAINED UNDER THE NAME AND STYLE OF "THE BUSINESS CENTER AT C.T.C. REPLAT J" A SUBDIVISION OF A PART OF THE CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

EXECUTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

C.T.C. FORM-8, LLC

BY: \_\_\_\_\_

AS: \_\_\_\_\_

**ACKNOWLEDGMENT:**

STATE OF COLORADO )  
 ) SS  
 COUNTY OF \_\_\_\_\_ )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_ AS \_\_\_\_\_ OF C.T.C. FORM-8, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

FLAGSTAFF HOLDINGS - 224, LLC

BY: \_\_\_\_\_

AS: \_\_\_\_\_

**ACKNOWLEDGMENT:**

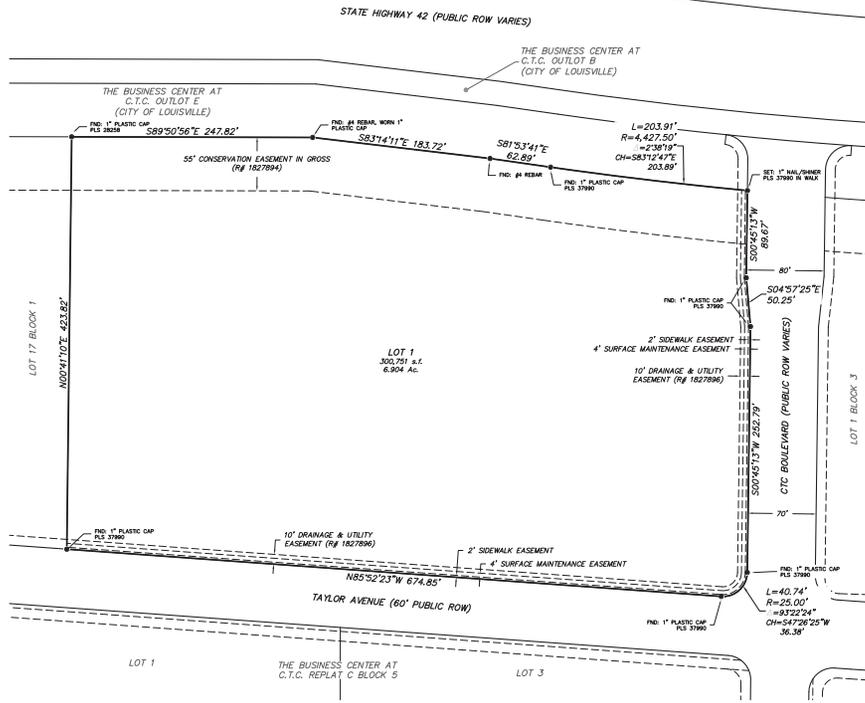
STATE OF COLORADO )  
 ) SS  
 COUNTY OF \_\_\_\_\_ )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_ AS \_\_\_\_\_ OF FLAGSTAFF HOLDINGS - 224, LLC.

WITNESS MY HAND AND OFFICIAL SEAL.

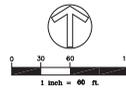
MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC



**NOTES:**

1. NOTICE, ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. BEARINGS BASED ON THE WESTERLY RIGHT OF WAY LINE OF 104TH STREET, ASSUMED TO BEAR S00°46'08"W (TO MATCH FILING NO. 2 PLAT).
3. THIS PROPERTY IS LOCATED IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) PER FIRM MAP NUMBER 08030000J WITH A REVISION DATE OF 12/16/2012.
4. PER "THE BUSINESS CENTER AT C.T.C." FINAL PLAT, OUTLOT E AND CONSERVATION EASEMENT SHOWN HEREON SHALL BE LANDSCAPED BY THE SUBDIVIDER OR BUILDING OWNER AT THE TIME THE ADJACENT LOTS ARE CONSTRUCTED AND TO BE MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION OR BUILDING OWNER.
5. ALL LINEAL DISTANCES ARE U.S. SURVEY FEET.



**PLANNING COMMISSION CERTIFICATE:**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY THE  
 PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.  
 RESOLUTION NO. \_\_\_\_\_ SERIES \_\_\_\_\_

**CITY COUNCIL CERTIFICATE:**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY THE  
 CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.  
 RESOLUTION NO. \_\_\_\_\_ SERIES \_\_\_\_\_

MAYOR'S SIGNATURE \_\_\_\_\_

CITY CLERK'S SIGNATURE \_\_\_\_\_

CITY SEAL \_\_\_\_\_

**CLERK AND RECORDER'S CERTIFICATE:**

STATE OF COLORADO )  
 ) SS  
 COUNTY OF BOULDER )

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT \_\_\_\_\_ O'CLOCK, \_\_\_\_\_ M., THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ AND IS RECORDED AT RECEPTION NO. \_\_\_\_\_

FEES: \_\_\_\_\_ PAID

CLERK & RECORDER \_\_\_\_\_ DEPUTY \_\_\_\_\_

**SURVEYOR'S CERTIFICATE:**

I, BO BAZEL, A DULY LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF "THE BUSINESS CENTER AT C.T.C. REPLAT J" TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE UNDER MY SUPERVISION AND HAS BEEN PERFORMED IN ACCORDANCE WITH COLORADO STATE LAW.

BO BAZEL,  
 FOR AND ON BEHALF OF HURST & ASSOCIATES, INC.  
 COLORADO LICENSED PROFESSIONAL LAND SURVEYOR NO. 37990

**SCALE VERIFICATION**

DATE OF THE SURVEY OR OTHER DRAWING

IF NOT ONE BOX ON THIS SHEET

PLATTED SHALL BE ACCURATE

DATE BY

DATE BY</

# Final Planned Unit Development

## Lot 1, The Business Center at CTC Replat J

### New Building at 1875 Taylor Avenue

#### CITY COUNCIL CERTIFICATE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO, RESOLUTION NO. \_\_\_\_\_ SERIES \_\_\_\_\_

MAYOR \_\_\_\_\_ CITY CLERK \_\_\_\_\_

#### PLANNING COMMISSION CERTIFICATE

RECOMMENDED APPROVAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO, RESOLUTION NO. \_\_\_\_\_ SERIES \_\_\_\_\_

#### CLERK AND RECORDER CERTIFICATE (COUNTY OF BOULDER STATE OF COLORADO)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT \_\_\_\_\_ O'CLOCK, \_\_\_\_\_ M., THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND IS RECORDED IN PLAN FILE \_\_\_\_\_ FEE \_\_\_\_\_ PAID \_\_\_\_\_ FILM NO. \_\_\_\_\_, RECEPTION \_\_\_\_\_

RECORDER \_\_\_\_\_ DEPUTY \_\_\_\_\_

#### OWNERSHIP SIGNATURE BLOCK

BY SIGNING THIS P.U.D., THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH IN THIS P.U.D.

WITNESS OUR HANDS AND SEALS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ELIXINOL, LLC. (OWNER)

NOTARY \_\_\_\_\_

### ZONING INFORMATION

<b>ZONING:</b> PLANNED COMMERCIAL ZONE DISTRICT INDUSTRIAL, SUBJECT TO THE BUSINESS CENTER AT CTC GDP AMENDMENT F			
<b>SETBACKS (PRINCIPAL BUILDINGS):</b>			
SOUTH - TAYLOR AVENUE:	35'	SOUTH - TAYLOR AVENUE:	25'
PROVIDED:	124'	PROVIDED:	25'
NORTH - HIGHWAY 42:	50'	NORTH - HIGHWAY 42:	25'-11"
PROVIDED:	140'-5"	PROVIDED:	55'-11"
EAST - CTC BLVD	25'	EAST - CTC BLVD	15'
PROVIDED:	140'-5"	PROVIDED:	24'
WEST - SIDE INTERIOR	25'	WEST - SIDE INTERIOR	10'
PROVIDED:	86'-6"	PROVIDED:	11'-6"

ALLOWABLE MAXIMUM BUILDING HEIGHT: 35' (CITY OF LOUISVILLE CDD56)  
PROPOSED BUILDING HEIGHT = 33'-0". AVERAGE GRADE AT CORNERS OF THE BUILDING IS ELEVATION 9354, BUILDING HEIGHT IS 31'-6"  
ABOVE FINISH FLOOR ELEVATION OF 9355.

**WAIVERS:**  
SEE NOTE #8 BELOW ON USES AND REQUESTED PARKING WAIVER AND NOTE #4 ON CARPORT SETBACK WAIVER

#### GENERAL NOTES:

- THE PROJECT IS TO BE CONSTRUCTED IN ONE PHASE.
- CONSTRUCTION MATERIALS ARE AS FOLLOWS:  
WALLS: PRE-CAST CONCRETE PANELS PAINTED AS FOLLOWS  
COLOR B-1: SHERWIN WILLIAMS SK 7016 "MINDFUL GRAY"  
COLOR B-2: SHERWIN WILLIAMS SK 7018 "DOVETAIL"  
COLOR B-3: SHERWIN WILLIAMS SK 9170 "ACIER"  
COLOR A-1: SHERWIN WILLIAMS SK 7020 "BLACK FOX"  
WOOD SIDING PANELS - NICHICHA "VINTAGE WOOD - CEDAR"  
ARCHITECTURAL METAL PANELS - NATURAL ANODIZED FINISH  
ROOF: TAPERED WHITE TPO ROOF (CONCEALED BY PARAFET)  
WINDOWS: ALUMINUM STOREFRONT - NATURAL ANODIZED FINISH  
CANOPIES: ALUMINUM/STEEL NATURAL ANODIZED OR SILVER PAINTED
- THE PROJECT IS TO BE DESIGNED IN ACCORDANCE WITH THE CRITERIA SET FORTH IN THE CITY OF LOUISVILLE COMMERCIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES (CDD56).
- ALL EXISTING PUBLIC AND PRIVATE SIDEWALK, CURB, GUTTER, AND ASPHALT ADJACENT TO THE PERIMETER OF THE SITE THAT IS CRACKED, SETTLED, OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AS DETERMINED NECESSARY BY THE CITY, AS PART OF THE PROJECT, AND AT THE DEVELOPER'S EXPENSE.
- NO OFF SITE IMPROVEMENTS ARE ANTICIPATED TO BE REQUIRED IN CONJUNCTION WITH THIS PROJECT.
- ANY ROOF TOP SCREENING SHALL BE SUBJECT TO THE CDD56 OR THE DESIGN REGULATIONS IN EFFECT AT THE TIME OF INSTALLATION.
- ANY RETAINING WALL MATERIAL ASSOCIATED WITH THE DETENTION POND WILL MATCH THE PRIMARY BUILDING COLORS.
- THE BUILDING IS BEING DEVELOPED AS A SPECULATIVE VENTURE. NO TENANTS ARE KNOWN AT THIS TIME. SO INITIAL PARKING IS PROVIDED AT 2 SPACES PER 1000 S.F. MIN. WITH DEFERRED PARKING AVAILABLE TO ACCOMMODATE VARIOUS USER TYPES. A WAIVER IS BEING REQUESTED TO ALLOW FOR THIS INITIAL PARKING RATIO.
- A WAIVER IS BEING REQUESTED TO ALLOW FOR CARPORTS TO OCCUR WITHIN THE BUILDING SETBACK IF NEEDED.
- OVERHEAD DOORS ON THE SOUTH SIDE MAY BE CONVERTED TO ALL STOREFRONT GLASS DEPENDING ON FUTURE TENANT'S NEEDS. SEE PARTIAL ALTERNATE ELEVATION ON SHEET B.
- SOLAR CARPORTS ARE BEING CONSIDERED FOR SOME OF THE PARKING ON THE NORTH AND WEST SIDE. SEE SHEET B.
- PROPERTY OWNER IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF LANDSCAPING IN OUTLOT E.

### LAND USE BREAKDOWN

Site Area Breakdown		
Lot 1 (Excludes Outlot E)	SF	%
Building Coverage	83,615	27.80%
Single Building	114,189	37.97%
Parking & Drives	6,836	2.21%
Sidewalks	96,310	32.02%
<b>Total</b>	<b>300,750</b>	<b>100.0%</b>
Total Building Area:		
Main Floor	83,615	
Second Floor	-	
<b>Total</b>	<b>83,615</b>	
Parking		
Initial	175 (2.09 spaces/1000 s.f.)	
Deferred	118	
<b>Total</b>	<b>293 (3.48 spaces/1000 s.f.)</b>	
Accessible Spaces		
	6 Required	
	6 Provided	
Bicycle Parking		
	1 Space per 10 Required Auto Spaces	
	up to 20 Maximum	
	5 racks @ 4 bikes per rack = 20 provided	

### PROJECT DATA

**OWNER:**  
CTC FCM-II, LLC  
1875 WALNUT STREET, SUITE 10  
BOULDER, COLORADO 80502  
720-694-0575 phone

**ARCHITECT/PLANNER:**  
RVP ARCHITECTURE AND CONSULTING, P.C.  
3229 ARAPAHOE AVENUE, SUITE 220  
BOULDER, COLORADO 80505  
303-448-5955

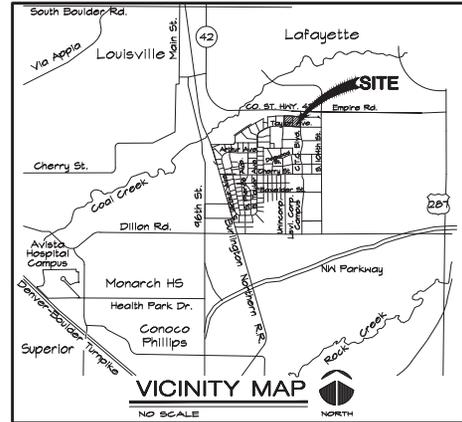
**CIVIL ENGINEER:**  
HURST & ASSOCIATES, INC.  
1265 PUBLIC ROAD, SUITE B  
LAFAYETTE, COLORADO 80026  
303-448-4105

**LANDSCAPE ARCHITECT:**  
TOPE LLC  
1466 N. FRANKLIN COURT  
LOUISVILLE, COLORADO 80027  
303-500-1058

**LIGHTING PHOTOMETRIC DESIGN:**  
THE LIGHTING AGENCY  
2661 11TH STREET  
DENVER, COLORADO 80211  
303-455-1012 phone

### PUD DRAWING INDEX

1	COVER SHEET
2	DEVELOPMENT PLAN
3	SITE DETAILS
4	ELEVATIONS
5	UTILITY PLAN
6	GRADING PLAN
7	LANDSCAPE NOTES AND TABLES
8	OVERALL LANDSCAPE PLAN
9	PLANTING PLAN ENLARGEMENT
10	PLANTING PLAN ENLARGEMENT
11	PLANTING PLAN ENLARGEMENT
12	PLANTING PLAN ENLARGEMENT
13	LANDSCAPE DETAILS
14	PHOTOMETRIC PLAN
15	LIGHTING CUT SHEETS/TABLES



LEGAL DESCRIPTION: LOT 1, THE BUSINESS CENTER AT CTC. REPLAT J, COUNTY OF BOULDER, STATE OF COLORADO.



**CTC FCM-II, LLC New Building**  
 Lot 1, The Business Center at CTC Replat J 1875 Taylor Avenue  
 Louisville, Colorado

PROJ NO: 18-15  
 DATE: JULY 1, 2019  
 REV: AUG 28, 2019  
 OCT. 28, 2019

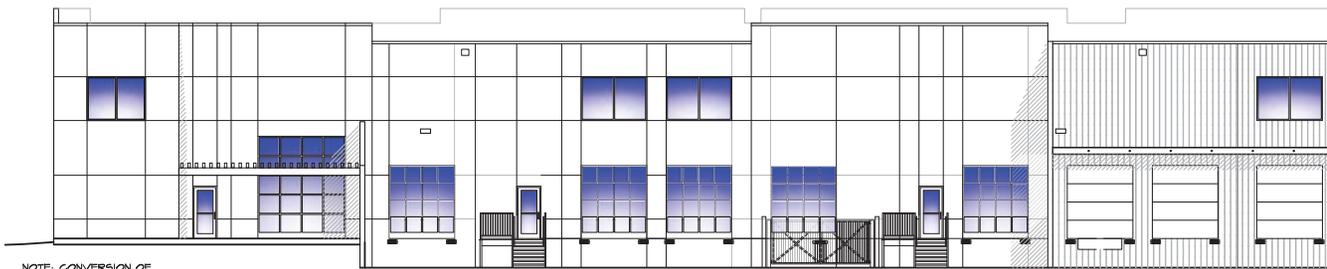
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COVER SHEET

1

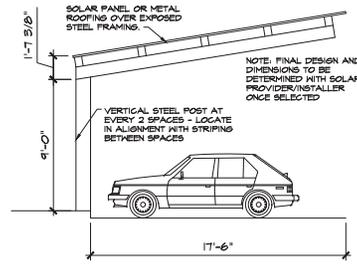
SHEET 1 OF 15



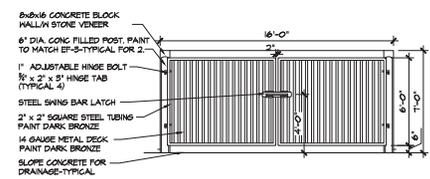


NOTE: CONVERSION OF WAREHOUSE/FACTORY AREA TO OFFICE WOULD LIKELY INCLUDE REPLACEMENT OF O.H. DOORS WITH WINDOWS, REMOVAL OF DOCK BUMPERS, AND REPLACEMENT OF METAL MAN DOORS WITH GLASS/STOREFRONT DOORS. OPENINGS AT THE TRAD DRIVE IN RAMP LOCATIONS AT EACH END BAY TO HAVE WINDOWS, DECKS AND PARTIAL TRELLIS OVER THE DECKS AS PART OF THE INITIAL CONSTRUCTION.

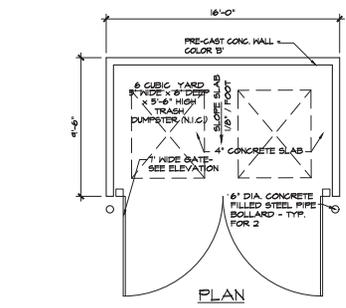
**PARTIAL ALTERNATE SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**CARPORT ELEVATION**  
SCALE: 1/4" = 1'-0"

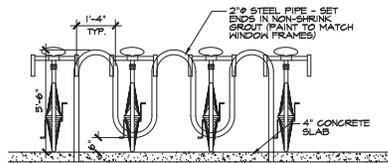


**FRONT ELEVATION**

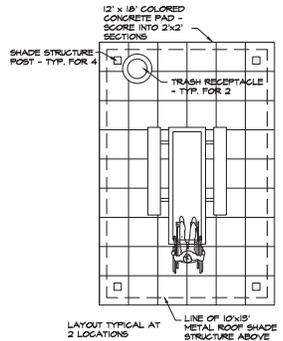


**PLAN**

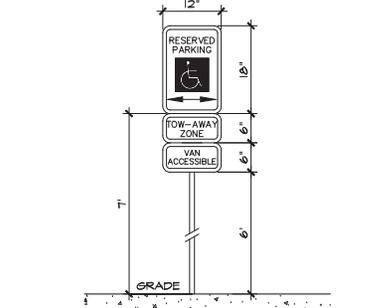
**TRASH ENCLOSURE DETAILS**  
SCALE: 1/4" = 1'-0"



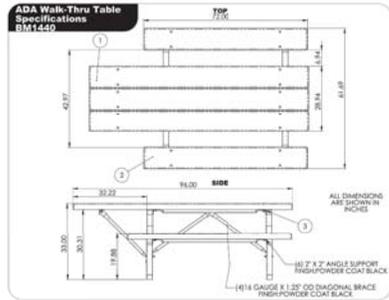
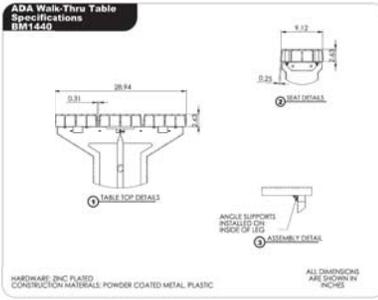
**BIKE RACK DETAIL**  
SCALE: 1/2" = 1'-0"



**BREAK AREA PLAN**  
SCALE: 1/4" = 1'-0"



**H.C. SIGN DETAIL**  
SCALE: 1" = 1'-0"



**RVP Architecture**  
3223 Arapahoe Avenue, Suite 220  
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(303) 446-8866  
rvparchitecture.com

**CTC FCM-II, LLC New Building**  
Lot 1, The Business Center at CTC Replat J 1875 Taylor Avenue  
Louisville, Colorado

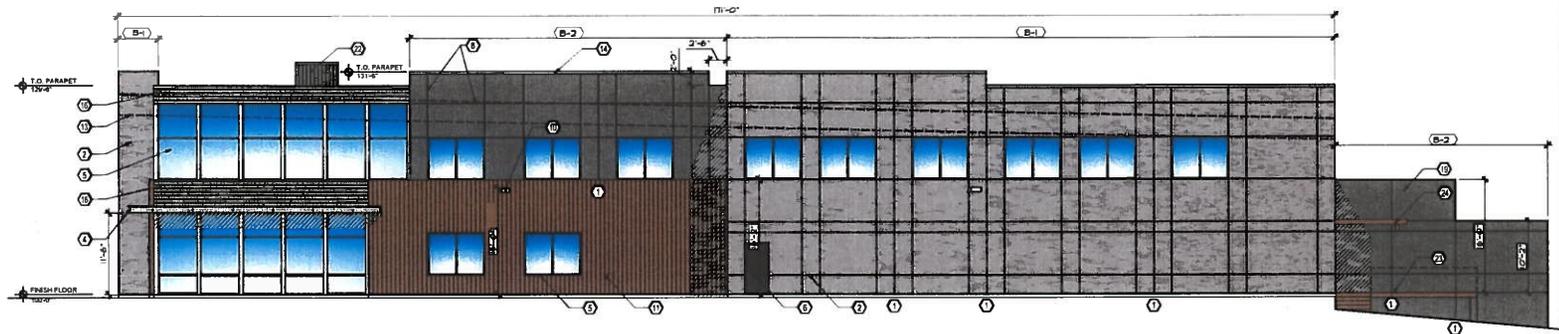
PROJ NO: 18-15  
DATE: JULY 1, 2018  
REV: AUG 28, 2018  
OCT. 26, 2018

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SITE DETAILS

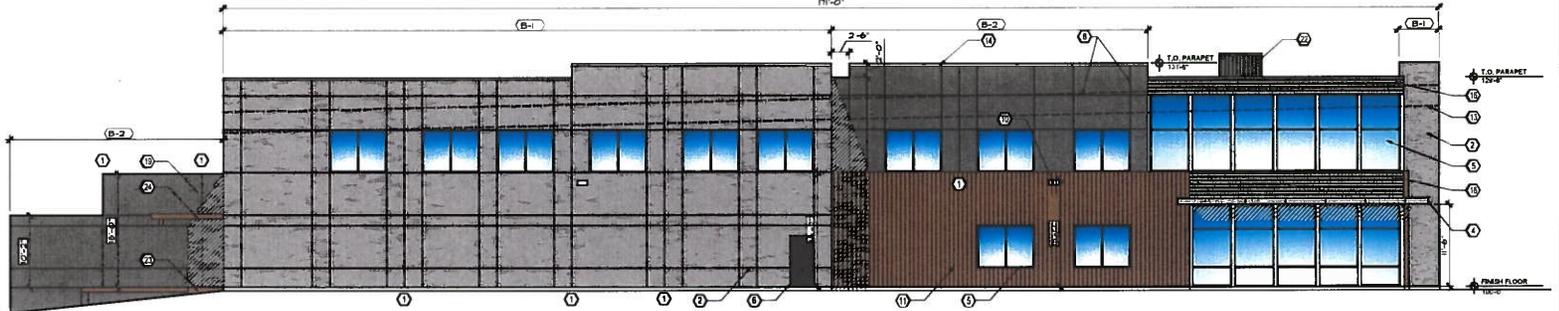
**ELEVATION NOTES**

1. PANEL JOINT
  2. TEXTURED PRE-CAST CONC. EXTERIOR WALL PANELS - TYPICAL
  3. METAL STAIR
  4. METAL/ALUMINUM CANOPY
  5. ALUMINUM STOREFRONT WINDOWS AND DOORS (NATURAL ANODIZED FINISH)
  6. STEEL MAN DOOR
  7. DRIVE IN O.H. DOOR
  8. HORIZONTAL AND VERTICAL REVEALS
  9. BOLLARD
  10. WALL LIGHT (RE: ELECTRICAL)
  11. VERTICAL WOOD SIDING
  12. OVERHEAD DOCK DOOR
  13. LINE OF ROOF BEHIND PARAPET (DASHED)
  14. PAINTED METAL PARAPET CAP
  15. PRE-CAST CONCRETE SCREEN WALL
  16. ARCHITECTURAL METAL PANEL SIDING
  17. DOCK BUMPERS
  18. TRASH ENCLOSURE
  19. CONCRETE SCREEN WALL
  20. VERTICAL FORM LINER IN PANELS
  21. VERTICAL PANEL EXTENDING OUT 5' PERPENDICULAR TO WALL
  22. PAINTED METAL ROOF DECK RTU SCREENING (COLOR B-5) TO MATCH TEXTURE OF FORM LINER USED ON BUILDING PANELS
  23. PRE-ENGINEERED WOOD DECK AND RAIL (WHERE REQUIRED BY CODE DUE TO DECK HT. ABOVE GRADE).
  24. PRE-ENGINEERED WOOD TRELLIS.
  25. FIBER CEMENT BOARD SIDING (RANDOM PATTERN) - CREAM COLOR
- PAINT COLORS (SHERWIN WILLIAMS):
- B-1: SW 7018 "MINDFUL GRAY"
  - B-2: SW 7018 "DOVETAIL"
  - B-3: SW 7048 "URBANE BRONZE"
  - A-1: SW 7020 "BLACK FOX" - AT STEEL OVERHEAD AND MAN DOORS



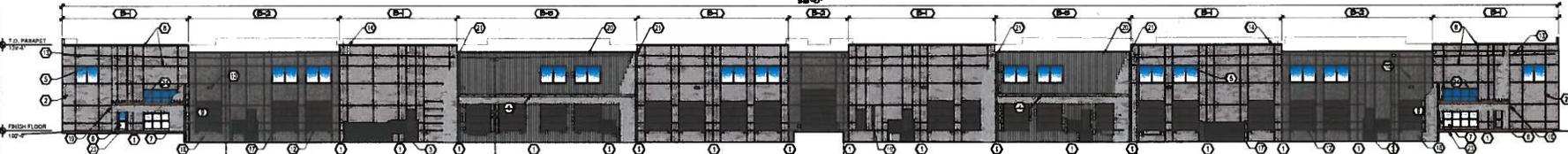
**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



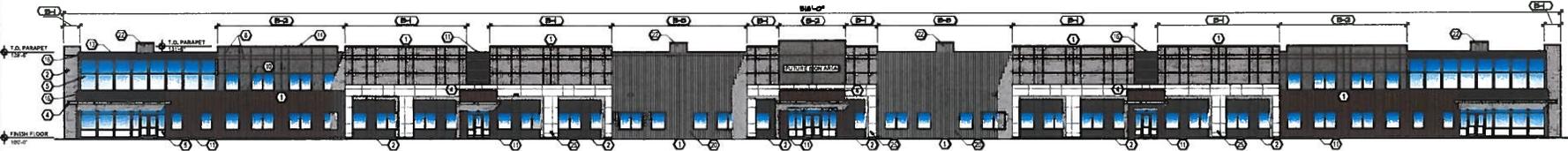
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: NOT TO SCALE



**NORTH ELEVATION**

SCALE: NOT TO SCALE

**KVP Architecture**  
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 28225 Arapahoe Avenue Suite 200  
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 kvparet@kvp.com

**CTC FCM-II, LLC New Building**  
 Lot 1, The Business Center at CTC Replat J 1875 Taylor Avenue  
 Louisville, Colorado

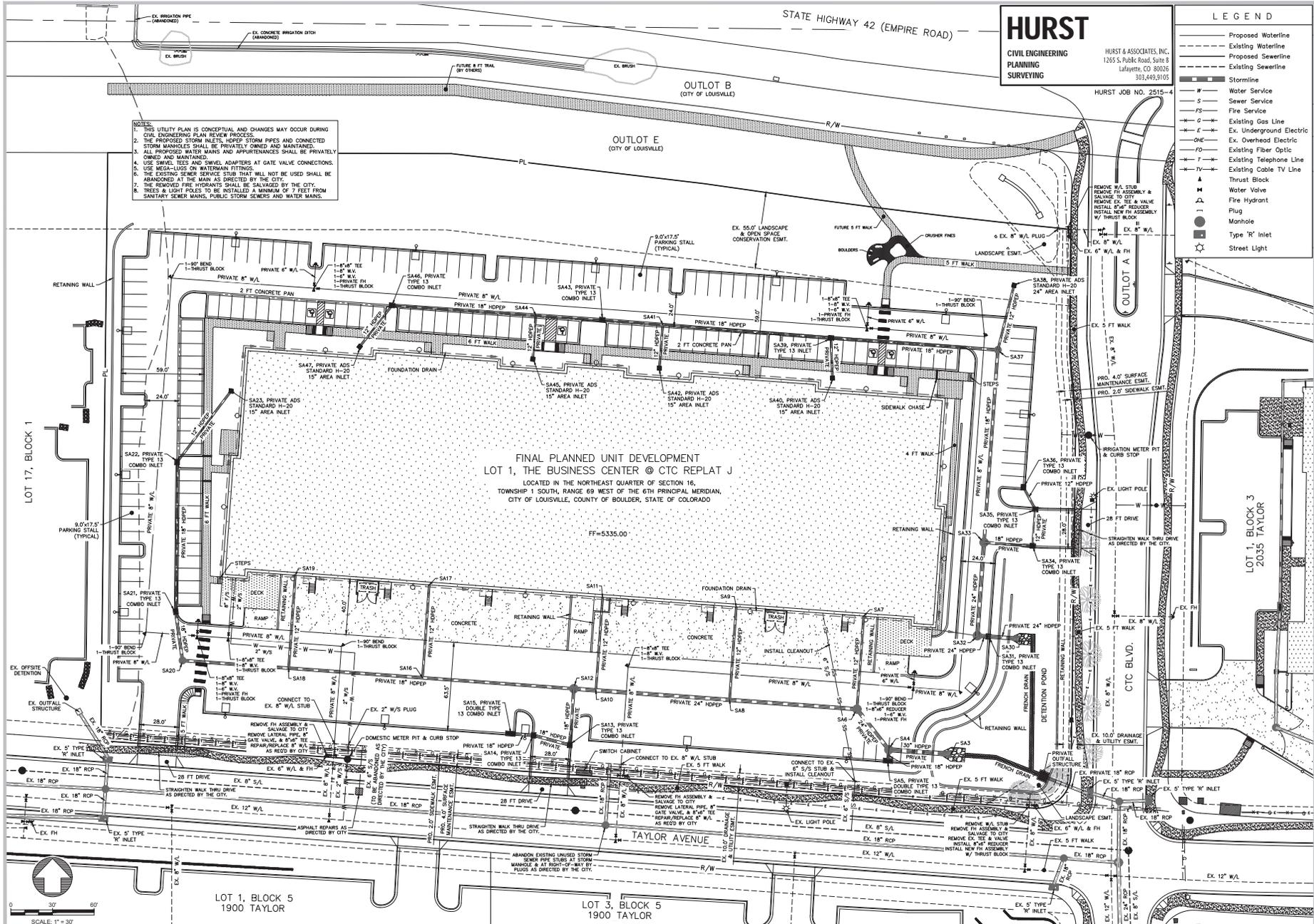
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 DATE: JULY 1, 2019  
 REV: AUG 28, 2019  
 OCT. 28, 2019

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ELEVATIONS

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NOTES:

1. THIS UTILITY PLAN IS CONCEPTUAL AND CHANGES MAY OCCUR DURING CIVIL ENGINEERING PLAN REVIEW PROCESS.
2. THE PROPOSED STORM INLETS, HOPEP STORM PIPES AND CONNECTED STORM MANHOLES SHALL BE PRIVATELY OWNED AND MAINTAINED.
3. ALL PROPOSED WATER MAINS AND APPURTENANCES SHALL BE PRIVATELY OWNED AND MAINTAINED.
4. USE SWIVEL TEES AND SWIVEL ADAPTERS AT GATE VALVE CONNECTIONS.
5. USE MEGA-LOGS ON WATERMAIN FITTINGS.
6. THE EXISTING SEWER SERVICE STUB THAT WILL NOT BE USED SHALL BE ABANDONED AT THE MAIN AS DIRECTED BY THE CITY.
7. THE REMOVED FIRE HYDRANTS SHALL BE SALVAGED BY THE CITY.
8. TREES & LIGHT POLES TO BE INSTALLED A MINIMUM OF 7 FEET FROM SANITARY SEWER MAINS, PUBLIC STORM SEWERS AND WATER MAINS.

FINAL PLANNED UNIT DEVELOPMENT  
 LOT 1, THE BUSINESS CENTER @ CTC REPLAT J  
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 16,  
 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

**HURST**  
 CIVIL ENGINEERING  
 PLANNING  
 SURVEYING

HURST & ASSOCIATES, INC.  
 1265 S. Public Road, Suite 8  
 Lafayette, CO 80502  
 303.449.9105

HURST JOB NO. 2515-4

LEGEND

---	Proposed Waterline
---	Existing Waterline
---	Proposed Sewerline
---	Existing Sewerline
---	Proposed Stormline
---	Existing Stormline
W	Water Service
S	Sewer Service
FS	Fire Service
G	Existing Gas Line
E	Existing Electric
OH	Ex. Overhead Electric
FO	Existing Fiber Optic
T	Existing Telephone Line
TV	Existing Cable TV Line
▲	Thrust Block
▲	Water Valve
▲	Fire Hydrant
●	Plug
●	Manhole
☼	Type 'R' Inlet
☼	Street Light

**Kyp architecture**  
 architecture/planning/consulting  
 a corporate professional corporation

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 Boulder, Colorado 80503  
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**CTC FCM-II, LLC New Building**  
 Lot 1, The Business Center at CTC - Replat J  
 Louisville, Colorado

PROJ NO: 18-15  
 DATE: 07-01-2019  
 REV: 08-28-2019  
 10-25-2019

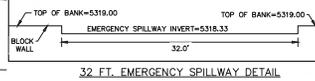
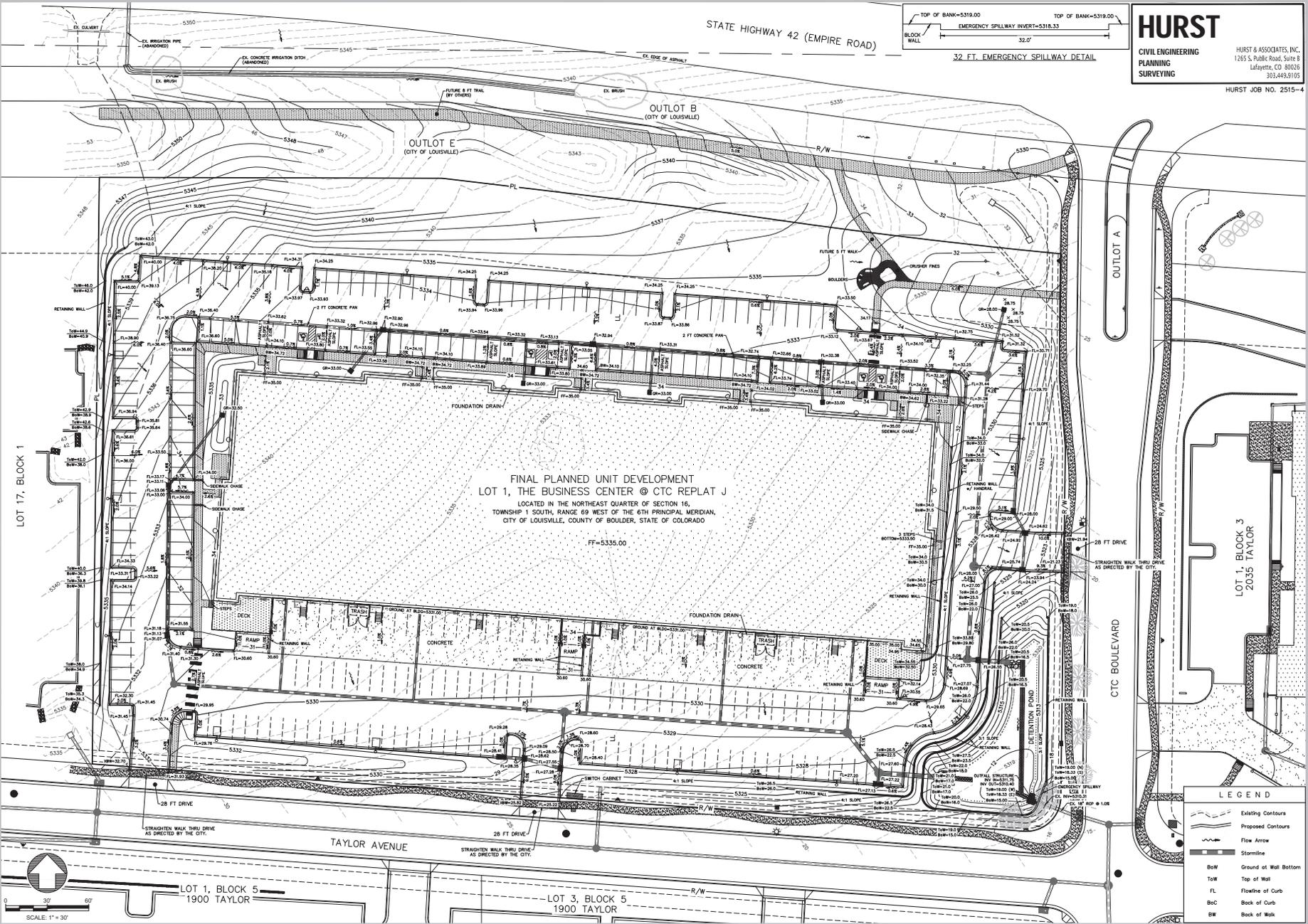
PRELIMINARY  
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UTILITY PLAN  
**5**  
 SHEET 5 OF 15

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**HURST**  
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 Lafayette, CO 80126  
 303.445.9100

HURST JOB NO. 2515-4

FINAL PLANNED UNIT DEVELOPMENT  
 LOT 1, THE BUSINESS CENTER @ CTC REPLAT J  
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 16,  
 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

FF=5335.00

**LEGEND**

- Existing Contours
- Proposed Contours
- Flow Arrow
- Stormline
- BcW Ground at Wall Bottom
- ToW Top of Wall
- FL Flowline of Curb
- BcC Back of Curb
- SW Back of Walk

**KVP architecture**  
 ARCHITECTURE (INTERNET CONSULTING)  
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**CTC FCM-II, LLC New Building**  
 Lot 1, The Business Center at CTC - Replat J 1875 Taylor Avenue  
 Louisville, Colorado

PROJ NO: 18-115  
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GRADING  
 PLAN

6

SHEET 6 OF 15

# FINAL PLANNED UNIT DEVELOPMENT LOT 1, THE BUSINESS CENTER AT CTC REPLAT J NEW BUILDING AT 1875 & 1923 TAYLOR AVENUE

LOCATED IN THE NORTHEAST QUARTER OF SECTION 16,  
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

## LANDSCAPE SHEET INDEX

- LANDSCAPE NOTES AND TABLES
- OVERALL LANDSCAPE PLAN
- PLANTING PLAN ENLARGEMENT
- PLANTING PLAN ENLARGEMENT
- PLANTING PLAN ENLARGEMENT
- PLANTING PLAN ENLARGEMENT
- LANDSCAPE DETAILS

**DRAFT SET  
FOR REVIEW  
11/14/19**

## LANDSCAPE DESIGN STATEMENT

THIS LANDSCAPE PLAN IS DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE LOUISVILLE COMMERCIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES (CDDSG) WITH RESPECT TO AESTHETICS, MASSING, VISUAL ENHANCEMENT, BUFFERS, AND WATER CONSERVATION.

WATERWISE LANDSCAPING BEST PRACTICES ARE UTILIZED THROUGHOUT THE PROPOSED LANDSCAPE, INCLUDING NATIVE AND ADAPTED PLANTS, SOIL AMENDMENTS, HYDROZONING, EFFICIENT IRRIGATION PRACTICES, MULCHING, AND CONSIDERATION OF MAINTENANCE REQUIREMENTS.

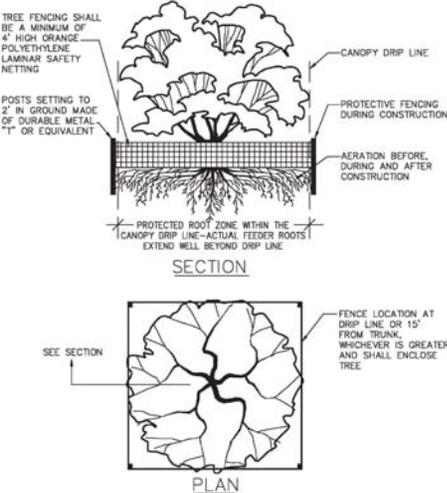
ALL PROPOSED PLANTINGS WILL BE WATERED WITH AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM DESIGNED FOR EFFICIENCY.

## PLANTING PLAN NOTES

- PROVIDE TREE PROTECTION FOR ALL EXISTING TREES TO REMAIN. SEE TREE PROTECTION DETAIL ON THIS SHEET.
- UTILITY LOCATIONS ARE SHOWN ON THE PLANS FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL UTILITY LOCATIONS.

## PLANT LEGEND NOTES

- ALL TREES B&B.
- IN THE CASE OF A DISCREPANCY BETWEEN THE PLANT SCHEDULE AND THE PLANS, THE PLANS SUPERSEDE THE PLANT SCHEDULE.
- PLANT SPECIES AND SIZES ARE BASED ON CITY OF LOUISVILLE SITE REVIEW PROCESS. NO PLANT SUBSTITUTIONS WILL BE PERMITTED WITHOUT PRIOR WRITTEN AUTHORIZATION, AND SUBSTITUTION REQUESTS MAY BE DENIED.



## 1 TREE PROTECTION DETAIL NOT TO SCALE

### BUILDING SITE LANDSCAPING: MINIMUM LANDSCAPE AREA

30% MINIMUM LANDSCAPE AREA	
TOTAL SITE AREA	300,751 SF
LANDSCAPE AREA REQUIRED	90,225 SF
LANDSCAPE AREA PROVIDED (NOT INCLUDING HARDCAPE OR WALKWAYS)	92,301 SF

## LANDSCAPE AND CONSERVATION EASEMENT PLANTING REQUIREMENTS

CONTINUOUS BUFFER OF MIXED SHRUBS AND TREES ALONG THE ABUTTING PARKING AREA, MODELED AFTER THE NEIGHBORING FED EX LANDSCAPE AND CONSERVATION EASEMENT PLANTING PLAN	
CONTINUOUS BUFFER PLANTING ALONG ABUTTING PARKING AREA	YES

INFORMAL MASSING OF EVERGREEN TREES ALONG APPROXIMATELY 15% OF THE LANDSCAPE AND CONSERVATION EASEMENT, MODELED AFTER THE NEIGHBORING FED EX LANDSCAPE AND CONSERVATION EASEMENT PLANTING PLAN	
INFORMAL MASSING OF EVERGREEN TREES ALONG 15% OF THE EASEMENT LENGTH (APPROX.)	YES

## OUTLET & TREE REQUIREMENTS

APPROXIMATELY 1 TREE PER 40 LINEAR FEET OF STREET FRONTAGE, LOCATED ALONG THE SOUTH SIDE OF THE FUTURE TRAIL, MODELED AFTER THE NEIGHBORING FED EX LANDSCAPE PLAN TREATMENT OF CITY OF LOUISVILLE OUTLOTS B AND F

LINEAR FEET OF STREET FRONTAGE	698 LF
TREES REQUIRED	17
TREES PROVIDED	17

## OUTLET & SHRUB REQUIREMENTS

APPROXIMATELY 4-5 INFORMAL SHRUB GROUPINGS, LOCATED ALONG APPROXIMATELY 25% OF THE LANDSCAPE AREA SOUTH OF THE FUTURE TRAIL, MODELED AFTER THE NEIGHBORING FED EX LANDSCAPE PLAN TREATMENT OF CITY OF LOUISVILLE OUTLOTS B AND F

LINEAR FEET OF STREET FRONTAGE	698 LF
REQUIRED TOTAL LENGTH OF INFORMAL SHRUB COVERAGE (APPROX.)	175 LF
TOTAL LENGTH OF INFORMAL SHRUB COVERAGE PROVIDED (APPROX.)	175 LF

## PERIMETER LANDSCAPING ADJACENT TO ROADS: TREE REQUIREMENTS - CTC BOULEVARD

2 TREES PER 40 LINEAR FEET OF STREET FRONTAGE (DETACHED SIDEWALK)	
LINEAR FEET OF STREET FRONTAGE	419 LF
TREES REQUIRED	21
EXISTING TREES TO REMAIN	4
PROPOSED TREES	17
TOTAL TREES PROVIDED	21

## PERIMETER LANDSCAPING ADJACENT TO ROADS: SHRUB REQUIREMENTS - CTC BOULEVARD

1 SHRUB PER 5 LINEAR FEET OF STREET FRONTAGE (DETACHED SIDEWALK)	
LINEAR FEET OF STREET FRONTAGE	419 LF
SHRUBS REQUIRED	84
SHRUBS PROVIDED	85

## PERIMETER LANDSCAPING ADJACENT TO ROADS: TREE REQUIREMENTS - TAYLOR AVENUE

2 TREES PER 40 LINEAR FEET OF STREET FRONTAGE (DETACHED SIDEWALK)	
LINEAR FEET OF STREET FRONTAGE	701 LF
TREES REQUIRED	35
EXISTING TREES TO REMAIN	0
PROPOSED TREES	35
TOTAL TREES PROVIDED	35

## PERIMETER LANDSCAPING ADJACENT TO ROADS: SHRUB REQUIREMENTS - TAYLOR AVENUE

1 SHRUB PER 5 LINEAR FEET OF STREET FRONTAGE (DETACHED SIDEWALK)	
LINEAR FEET OF STREET FRONTAGE	701 LF
SHRUBS REQUIRED	140
SHRUBS PROVIDED (EXCEEDS MINIMUM IN ORDER TO BUFFER PARKING LOT)	252

## PERIMETER LANDSCAPING ADJACENT TO ABUTTING PROPERTY: TREE REQUIREMENTS

WEST PROPERTY LINE: 1 TREE PER 40 LINEAR FEET OF PROPERTY LINE	
LINEAR FEET OF PROPERTY LINE	424 LF
TREES REQUIRED	11
TREES PROVIDED	11

## NORTH PROPERTY LINE: 1 TREE PER 40 LINEAR FEET OF PROPERTY LINE

LINEAR FEET OF PROPERTY LINE	698 LF
TREES REQUIRED	17
TREES PROVIDED	26

## REQUIRED PARKING LOT TREES

1 TREE PER 8 PARKING SPACES	
TOTAL PROPOSED PARKING SPACES	297
PARKING LOT TREES REQUIRED	37
PARKING LOT TREES PROVIDED	40

## PLANT LEGEND (SEE PLANT LEGEND NOTES ON THIS SHEET)

DECIDUOUS SHADE TREES						TYP. MATURE SIZE	
SYMBOL	QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	WATER NEEDS	HEIGHT	SPREAD
AC GRH	4	ACER GRANDIDENTUM 'NIPZAM'	HIGHLAND PARK BIGTOOTH MAPLE	2" CAL.	L-M	35'-45'	20'-25'
AC NS	15	ACER NEGUNDO 'SENSATION'	SENSATION BOXELDER	2" CAL.	M	25'-30'	20'-25'
AC CAD	9	ACER SACCHARINUM 'SFS-CADDOZ'	FLASHFIRE CADDO SUGAR MAPLE	2" CAL.	M	35'-45'	30'-40'
AC FAF	7	ACER SACCHARINUM 'BALLSTA'	FALL FESTA SUGAR MAPLE	2" CAL.	M	30'-50'	30'-40'
CAT SPE	5	CATALPA SPECIOSA	WESTERN CATALPA	2" CAL.	L-M	50'	30'
CE OC	7	CELTIS OCCIDENTALIS	WESTERN HACKBERRY	2" CAL.	L-M	50'-60'	40'-50'
OWM DCF	7	GYMNOCALADUS DIOICUS 'WOKBRANCHED' PPAF	DECAF KENTUCKY COFFEETREE	2" CAL.	M	50'	40'
KO PA	5	KOELBUTERIA PANICULATA	GOLDENRAIN TREE	2" CAL.	M	30'	25'
QU TR	7	QUERCUS BURKEII	TEXAS RED OAK	2" CAL.	M	50'	40'
QU IM	17	QUERCUS IMBERCARA	SHINGLE OAK	2" CAL.	M	50'-60'	50'-60'
QU MI	12	QUERCUS MUEHLNBERGERI	CHINKAPIN OAK	2" CAL.	M	40'	40'
ULM ACC	15	ULMUS X 'MORTON'	ACCOLADE ELM	2" CAL.	M	50'	30'
ULM EMS	13	ULMUS PROPINQUA 'SFS-BIEBERICH'	EMERALD SUNSHINE ELM	2" CAL.	L-M	30'	20'
TOTAL	123						

## DECIDUOUS ORNAMENTAL TREES

SYMBOL	QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD
AC TA	9	ACER TATARICUM 'PATTERN PERFECT'	PATTERN PERFECT MAPLE	8' CLUMP	L-M	15'-20'	15'-20'
ORA AM	7	ORATEAEUS AMBIGUA	RUSSIAN HAWTHORN	8' CLUMP	L-M	15'-20'	15'-20'
PRU SUP	7	PRUNUS VIRGINIANA 'ROOZS'	SUCKER PUNCH CHOKECHERRY	2" CAL.	L-M	25'	20'
TOTAL	23						

## EVERGREEN TREES

SYMBOL	QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD
PI ED	16	PINUS EDULIS	PINKO PINE	6' HT.	L	25'	15'
PI NI	4	PINUS NIGRA	AUSTRIAN PINE	6' HT.	M	50'	30'
PI PO	1	PINUS PONDEROSA	PONDEROSA PINE	6' HT.	M	40'	25'
PIN SWP	1	PINUS STROBIFORMIS	SOUTHWESTERN WHITE PINE	6' HT.	L-M	30'-50'	20'-30'
TOTAL	22						

## DECIDUOUS SHRUBS

SYMBOL	QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD
CC DK	40	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT SPIREA	#5 CONT.	L-M	3'	3'
CH MI	25	CHAMAEBATARIA MILLEFOLIUM	FERNBUSH	#5 CONT.	M	3'-5'	6'
CHR DWB	29	CHRYSOTHAMNUS NAUSEOSUS VAR. NAUSEOSUS	DWARF BLUE RABBITBRUSH	#5 CONT.	L	2'-3'	2'-3'
DRV KOR	101	DIERVILLA RIVULARIS 'G2X88544'	KODIAK ORANGE HONEYSUCKLE	#5 CONT.	L-M	3'-4'	3'-4'
FA PA	14	FALLUGIA PARADOXA	APACHE PLUME	#5 CONT.	M	3'-6'	3'-6'
HOL DUM	36	HOLDISCUS DIMOSUS	ROCK SPIREA	#5 CONT.	L	4'-6'	4'-6'
PL CH	45	PHILADELPHUS LEWISI 'CHEYENNE'	CHEYENNE MOCKORANGE	#5 CONT.	L-M	5'-7'	4'-6'
PF FA	97	POTENTILLA FRUTICOSA 'FARGO'	DIKOTA SUNSPOT POTENTILLA	#5 CONT.	L	3'	3'
PO JE	30	PHYSCALOPUS OPULIFOLIUS 'JEFAM'	AMBER JUBILEE NINEBARK	#5 CONT.	M	6'	4'
PR BE	12	PRUNUS BESSEYI	WESTERN SANDCHERRY	#5 CONT.	M	4'-6'	4'-6'
PR PB	61	PRUNUS BESSEYI 'PANNEE BUTTES'	CREeping WESTERN SANDCHERRY	#5 CONT.	L	18'	4'-6'
PRU CIS	9	PRUNUS X OSTENA	PURPLE LEAF SAND CHERRY	#5 CONT.	M	6'-8'	4'-6'
QU GA	15	QUERCUS GAMBELI	GAMBEL OAK	#5 CONT.	L	15'	12'
RH AR	123	RHUS AROMATICA 'GROW-LOW'	GR0-LOW SUMAC	#5 CONT.	L-M	2'-3'	6'-8'
RH GL	10	RHUS GLABRA	SMOOTH SUMAC	#5 CONT.	L	8'-10'	8'-10'
RH TR	229	RHUS TRILOBATA	THREE-LEAF SUMAC	#5 CONT.	L	3'-6'	3'-6'
RHU AUT	98	RHUS TRILOBATA 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	#5 CONT.	L	18'	6'-8'
RIB ALP	42	RIBES ALPINUM	ALPINE CURRANT	#5 CONT.	L-M	4'-5'	4'-5'
RIB GRM	35	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND CURRANT	#5 CONT.	L-M	3'	3'
ROS GLA	9	ROSA GLAUCA	REDLEAF ROSE	#5 CONT.	L-M	6'	4'-6'
SY AM	2	SYRINGA X PRESTONIAE 'JAMES MCFARLANE'	JAMES MCFARLANE LILAC	#5 CONT.	M	8'-12'	6'-8'
SY TR	72	SYRINGA 'BABELLE'	TRINABELLE LILAC	#5 CONT.	M	5'	5'
VB MN	28	VIORNIUM BUREJACTICUM 'POTIS'	MINI MAN DWARF VIORNIUM	#5 CONT.	L-M	4'-6'	4'-6'
TOTAL	1182						

## BROADLEAF EVERGREEN SHRUBS

SYMBOL	QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD
ARC PAN	14	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'	PANCHITO MANZANITA	#5 CONT.	L	2'	4'
TOTAL	14						

## ORNAMENTAL GRASSES

SYMBOL	QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD
BA BG	104	BOULBOULIA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRASS GRASS	#1 CONT.	L	30"	30"
CA AC	18	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 CONT.	L	4'-5'	24"
SCH SDO	109	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	UPRIGHT LITTLE BLUESTEM	#1 CONT.	L	36"-48"	15"-18"
TOTAL	231						

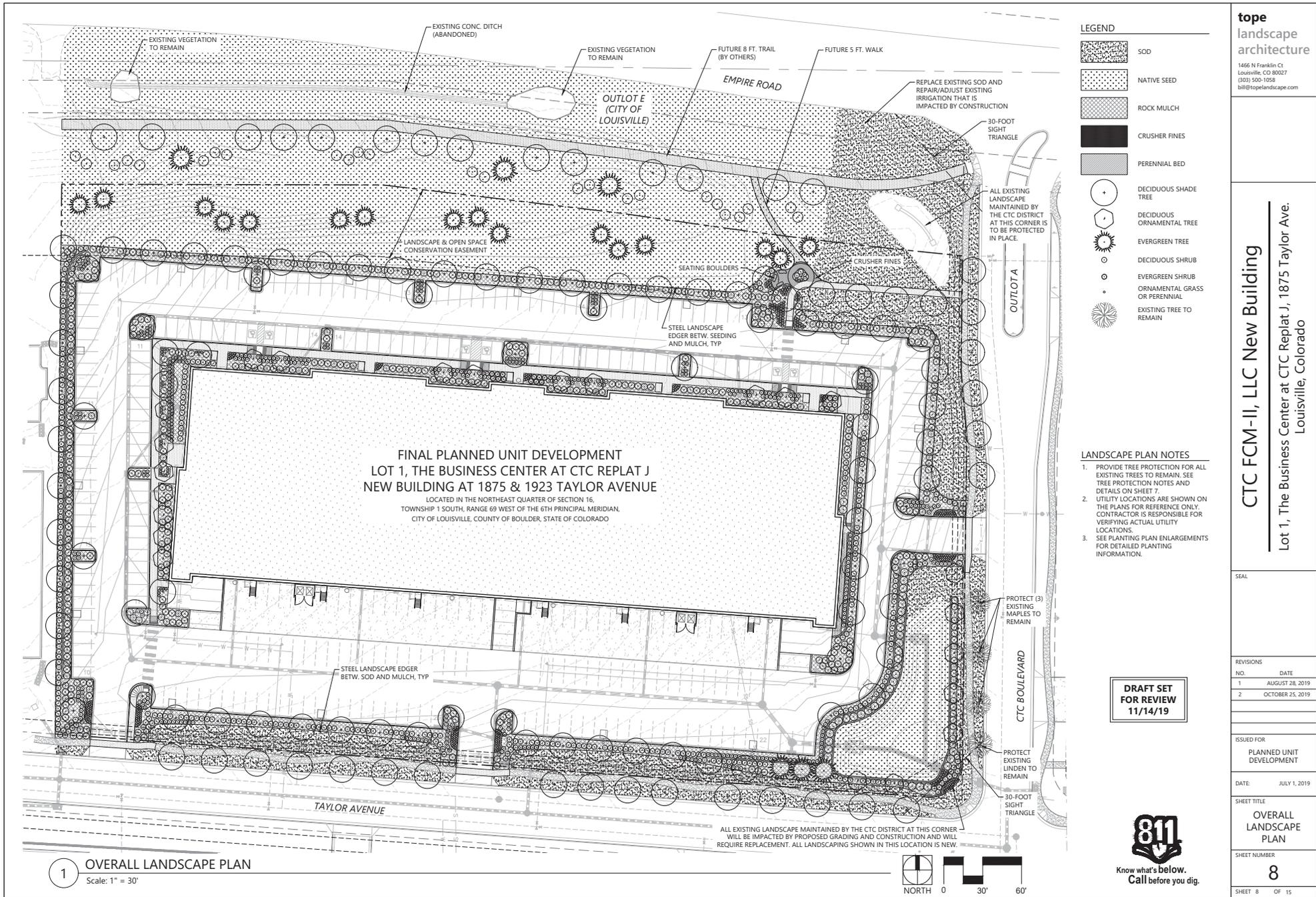
## PERENNIALS

SYMBOL	QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD	HEIGHT	SPREAD
AH MSH	6	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	#1 CONT.	L	18"-24"	18"-24"
CEN RUB	36	CENTRANTHUS RUBER	JUPITER'S BEARD	#1 CONT.	L	24"-36"	18"-24"
CER PLU	25	CERATOSTIGMA PLUMBAGNIOIDES	LEADWORT / PLUMBAGO	#1 CONT.	L-M	8"-12"	12"-24"
HEM STE	25	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	#1 CONT.	L	12"-18"	12"-18"
NEP WAL	43	NEPETA FAASSENSI 'WALKER'S LOW'	WALKER'S LOW CATMINT	#1 CONT.	L	24"-36"	24"-30"
SAL MAY	36	SALVIA SILVESTRISS X 'MANNACHT'	MAY NIGHT SALVIA	#1 CONT.	L	18"-24"	12"-18"
RUB OK	36	RUBROCKIA FLORIDA 'SOLDSTURM'	BLACK-EYED SUSAN	#1 CONT.	L-M	30"-36"	18"-24"
VER SBB	36	VERONICA 'SUNNY BORDER BLUE'	SUNNY BORDER BLUE VERONICA	#1 CONT.	L	18"-20"	15"-18"
TOTAL	243						

NO.	DATE
1	AUGUST 28, 2019
2	OCTOBER 25, 2019

PLANNED UNIT DEVELOPMENT

LANDSCAPE NOTES AND TABLES



**LEGEND**

- SOD
- NATIVE SEED
- ROCK MULCH
- CRUSHER FINES
- PERENNIAL BED
- DECIDUOUS SHADE TREE
- DECIDUOUS ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB ORNAMENTAL GRASS OR PERENNIAL
- EXISTING TREE TO REMAIN

**LANDSCAPE PLAN NOTES**

1. PROVIDE TREE PROTECTION FOR ALL EXISTING TREES TO REMAIN. SEE TREE PROTECTION NOTES AND DETAILS ON SHEET 7.
2. UTILITY LOCATIONS ARE SHOWN ON THE PLANS FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL UTILITY LOCATIONS.
3. SEE PLANTING PLAN ENLARGEMENTS FOR DETAILED PLANTING INFORMATION.

**DRAFT SET  
FOR REVIEW  
11/14/19**

SEAL

**REVISIONS**

NO.	DATE
1	AUGUST 28, 2019
2	OCTOBER 25, 2019

**ISSUED FOR**

PLANNED UNIT DEVELOPMENT

DATE: JULY 1, 2019

**SHEET TITLE**

OVERALL LANDSCAPE PLAN

**SHEET NUMBER**

8

SHEET 8 OF 15



Know what's below.  
Call before you dig.



**1 OVERALL LANDSCAPE PLAN**  
Scale: 1" = 30'



FINAL PLANNED UNIT DEVELOPMENT  
 LOT 1, THE BUSINESS CENTER AT CTC REPLAT J  
 NEW BUILDING AT 1875 & 1923 TAYLOR AVENUE

LOCATED IN THE NORTHEAST QUARTER OF SECTION 16,  
 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

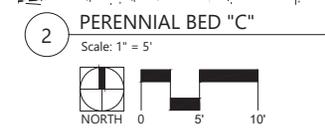
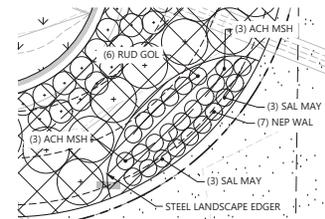
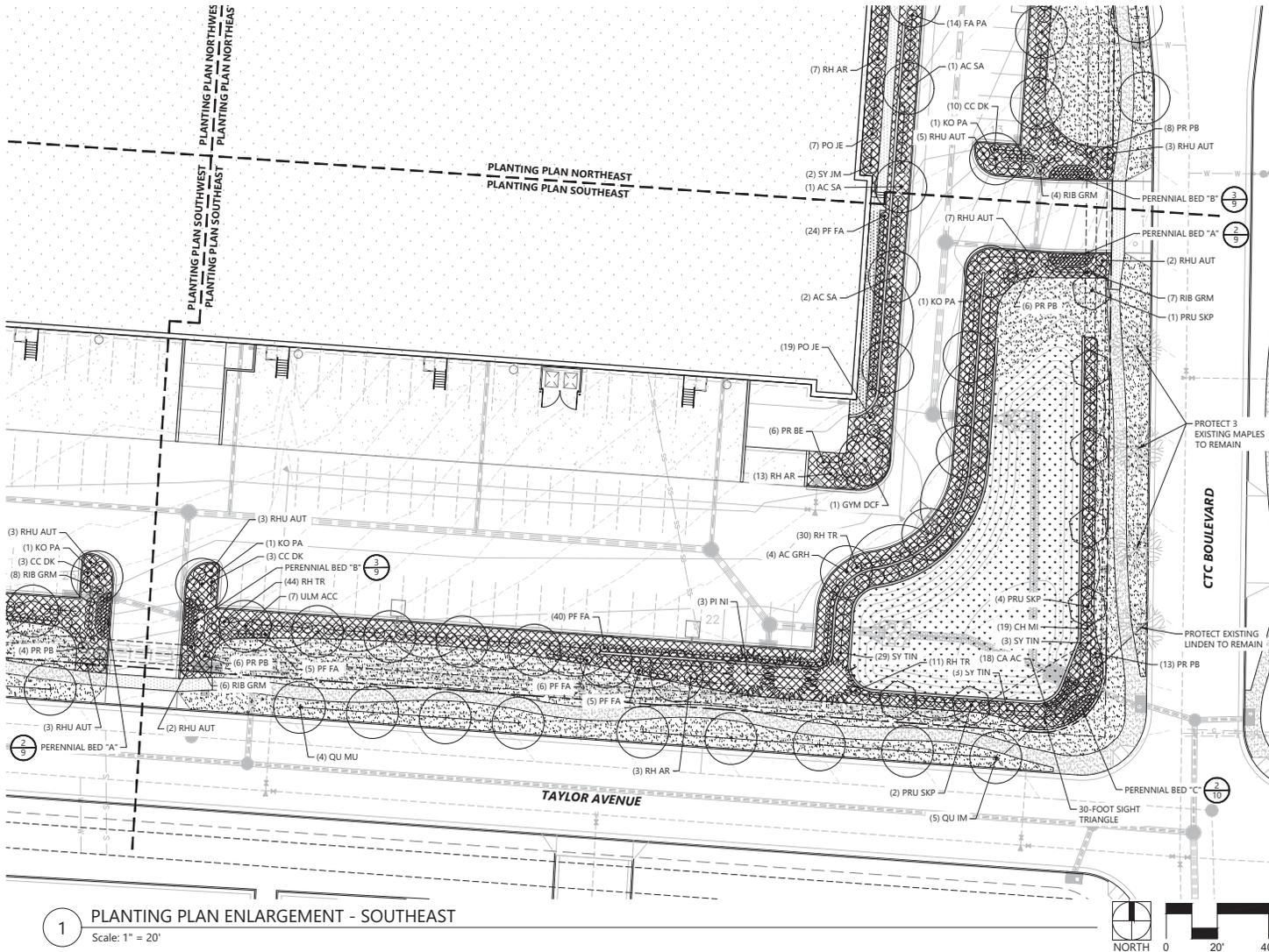
**DRAFT SET  
 FOR REVIEW  
 11/14/19**

**PLANTING PLAN NOTES**

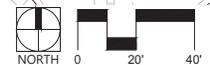
1. SEE SHEET 7 FOR PLANT LEGEND.
2. PROVIDE TREE PROTECTION FOR ALL EXISTING TREES TO REMAIN. SEE TREE PROTECTION NOTES AND DETAILS ON SHEET 7.
3. UTILITY LOCATIONS ARE SHOWN ON THE PLANS FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL UTILITY LOCATIONS.

**LEGEND**

-  SOD
-  NATIVE SEED
-  ROCK MULCH
-  CRUSHER FINES
-  PERENNIAL BED
-  DECIDUOUS SHADE TREE
-  DECIDUOUS ORNAMENTAL TREE
-  EVERGREEN TREE
-  DECIDUOUS SHRUB
-  EVERGREEN SHRUB
-  ORNAMENTAL GRASS OR PERENNIAL
-  EXISTING TREE TO REMAIN



**1 PLANTING PLAN ENLARGEMENT - SOUTHEAST**  
 Scale: 1" = 20'



**tope**  
 landscape  
 architecture  
 1466 N Franklin Ct  
 Louisville, CO 80027  
 (303) 500-1058  
 Bill@topelandscape.com

**CTC FCM-II, LLC New Building**  
 Lot 1, The Business Center at CTC Replat J, 1875 Taylor Ave.  
 Louisville, Colorado

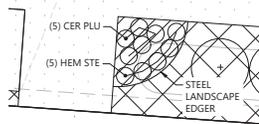
SEAL	
REVISIONS	NO. DATE
	1 AUGUST 28, 2019
	2 OCTOBER 25, 2019
ISSUED FOR PLANNED UNIT DEVELOPMENT	
DATE	JULY 1, 2019
SHEET TITLE PLANTING PLAN ENLARGEMENT	
SHEET NUMBER 10	
SHEET 10 OF 15	

**FINAL PLANNED UNIT DEVELOPMENT  
LOT 1, THE BUSINESS CENTER AT CTC REPLAT J  
NEW BUILDING AT 1875 & 1923 TAYLOR AVENUE**

LOCATED IN THE NORTHEAST QUARTER OF SECTION 16,  
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

**LEGEND**

-  SOD
-  NATIVE SEED
-  ROCK MULCH
-  CRUSHER FINES
-  PERENNIAL BED
-  DECIDUOUS SHADE TREE
-  DECIDUOUS ORNAMENTAL TREE
-  EVERGREEN TREE
-  DECIDUOUS SHRUB
-  EVERGREEN SHRUB
-  ORNAMENTAL GRASS OR PERENNIAL
-  EXISTING TREE TO REMAIN



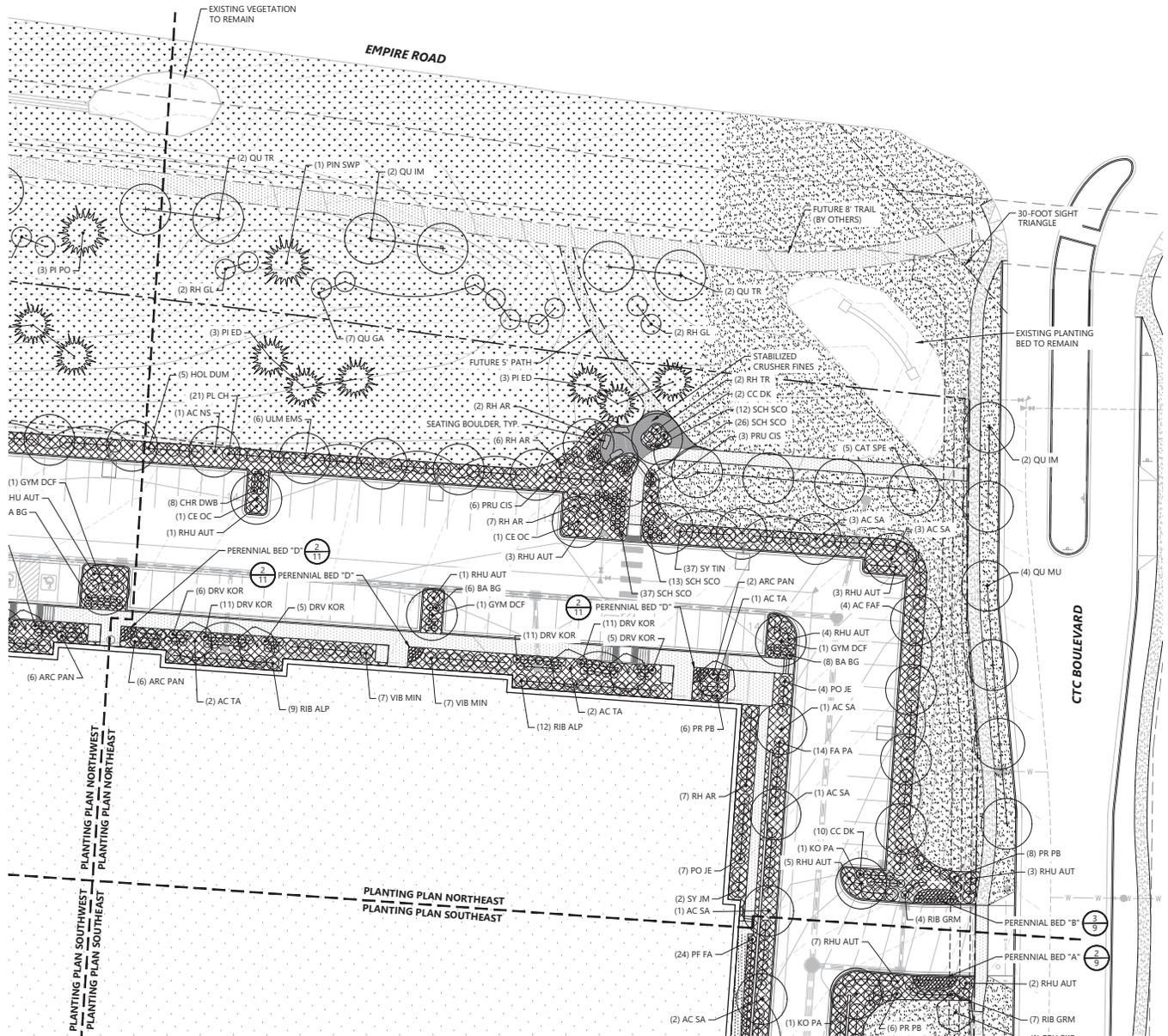
**2 PERENNIAL BED "D" (TYP.)**

Scale: 1" = 5'



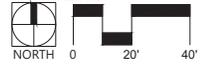
**PLANTING PLAN NOTES**

1. SEE SHEET 7 FOR PLANT LEGEND.
2. PROVIDE TREE PROTECTION FOR ALL EXISTING TREES TO REMAIN. SEE TREE PROTECTION NOTES AND DETAILS ON SHEET 7.
3. UTILITY LOCATIONS ARE SHOWN ON THE PLANS FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL UTILITY LOCATIONS.



**1 PLANTING PLAN ENLARGEMENT - NORTHEAST**

Scale: 1" = 20'



**tope**  
landscape  
architecture  
1466 N Franklin Ct  
Louisville, CO 80027  
(303) 500-1058  
bill@topelandscape.com

**CTC FCM-II, LLC New Building**  
Lot 1, The Business Center at CTC Replat J, 1875 Taylor Ave.  
Louisville, Colorado

SCALE

NO.	DATE
1	AUGUST 28, 2019
2	OCTOBER 25, 2019

ISSUED FOR  
PLANNED UNIT DEVELOPMENT

DATE: JULY 1, 2019

SHEET TITLE  
**PLANTING PLAN ENLARGEMENT**

SHEET NUMBER

**11**

SHEET 11 OF 15



**DRAFT SET FOR REVIEW**  
11/14/19

FINAL PLANNED UNIT DEVELOPMENT  
 LOT 1, THE BUSINESS CENTER AT CTC REPLAT J  
 NEW BUILDING AT 1875 & 1923 TAYLOR AVENUE

LOCATED IN THE NORTHEAST QUARTER OF SECTION 16,  
 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
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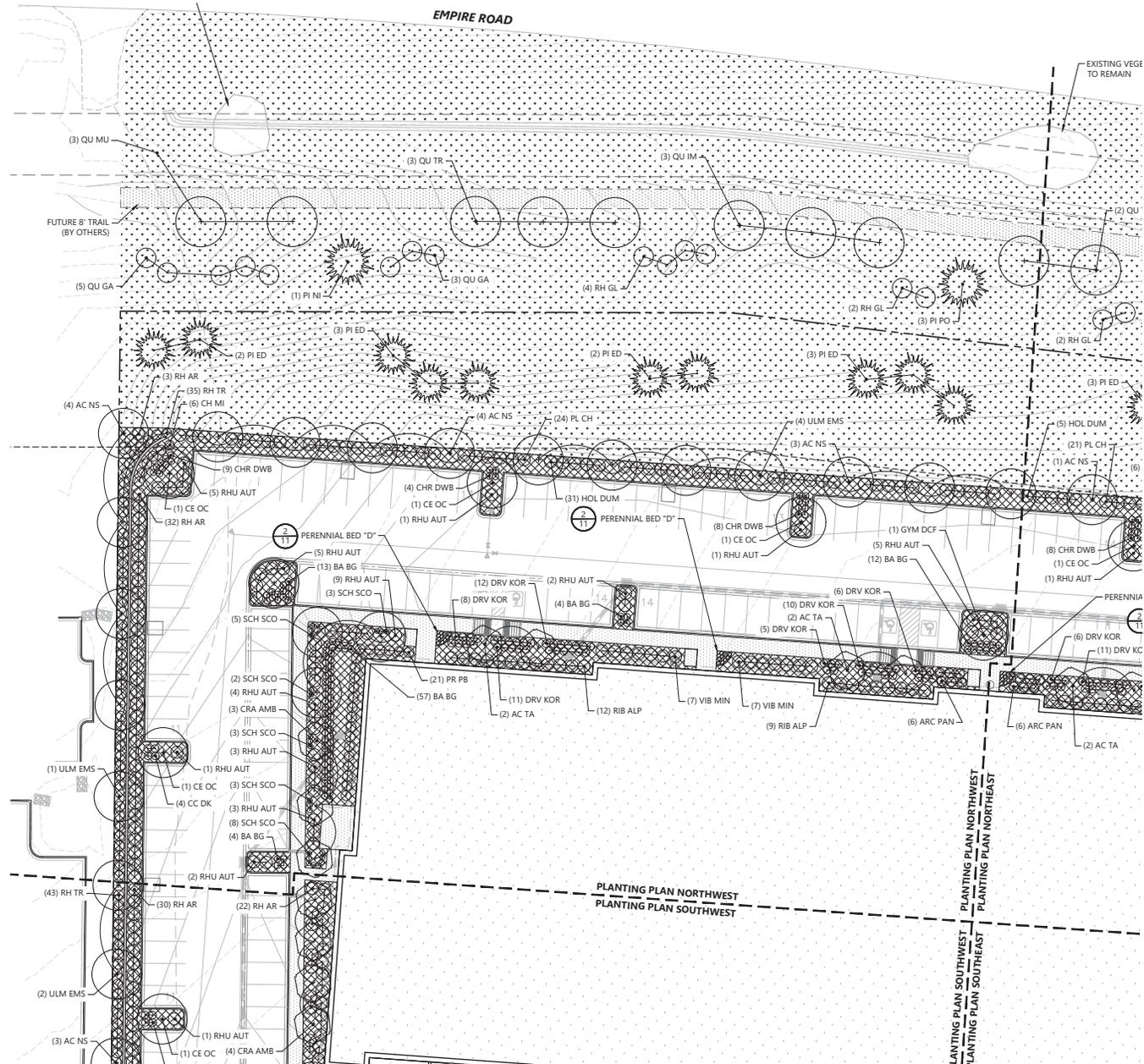
LEGEND

-  SOD
-  NATIVE SEED
-  ROCK MULCH
-  CRUSHER FINES
-  PERENNIAL BED
-  DECIDUOUS SHADE TREE
-  DECIDUOUS ORNAMENTAL TREE
-  EVERGREEN TREE
-  DECIDUOUS SHRUB
-  EVERGREEN SHRUB
-  ORNAMENTAL GRASS OR PERENNIAL
-  EXISTING TREE TO REMAIN

PLANTING PLAN NOTES

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2. PROVIDE TREE PROTECTION FOR ALL EXISTING TREES TO REMAIN. SEE TREE PROTECTION NOTES AND DETAILS ON SHEET 7.
3. UTILITY LOCATIONS ARE SHOWN ON THE PLANS FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL UTILITY LOCATIONS.

**DRAFT SET  
 FOR REVIEW  
 11/14/19**



**1** PLANTING PLAN ENLARGEMENT - NORTHWEST  
 Scale: 1" = 20'



**tope**  
 landscape  
 architecture

1466 N Franklin Ct  
 Louisville, CO 80027  
 (303) 500-1058  
 Bill@topelandscape.com

**CTC FCM-II, LLC New Building**  
 Lot 1, The Business Center at CTC Replat J, 1875 Taylor Ave.  
 Louisville, Colorado

SEAL

NO.	DATE
1	AUGUST 28, 2019
2	OCTOBER 25, 2019

ISSUED FOR  
 PLANNED UNIT  
 DEVELOPMENT

DATE: JULY 1, 2019

SHEET TITLE  
 PLANTING  
 PLAN  
 ENLARGEMENT

SHEET NUMBER

**12**

SHEET 12 OF 15



**FINAL PLANNED UNIT DEVELOPMENT  
LOT 1, THE BUSINESS CENTER AT CTC REPLAT J  
NEW BUILDING AT 1875 & 1923 TAYLOR AVENUE**

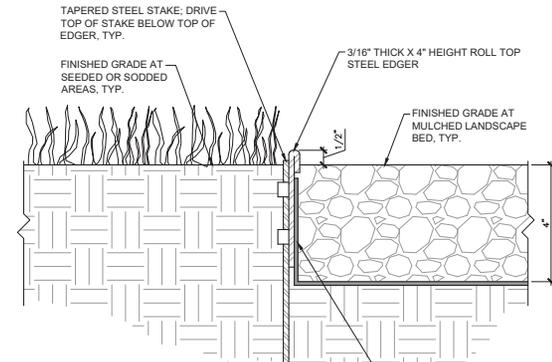
LOCATED IN THE NORTHEAST QUARTER OF SECTION 16,  
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

**GYING SYSTEM:**  
MIN. 6 FEET LONG  
LOGPOLE STAKES WITH  
12 GAUGE GALVANIZED  
STEEL WIRE GUY'S SECURED  
TO TREE WITH CANVAS  
STRAP ABOVE FIRST  
BRANCH. WIRE TO BE  
TAUT BUT NOT OVER  
TIGHT. FLAG WIRE WITH  
WHITE PLASTIC FLAGGING  
TAPE, NO BARE WIRE.

CONIFERS TO HAVE 2  
STAKES FOR TREES 6 FEET  
AND LESS. 3 STAKES FOR  
TREES ABOVE 6 FEET.  
DECIDUOUS TREES TO  
HAVE 2 STAKES FOR  
TREES 2-1/2" CAL. ONE  
STAKE ALWAYS IN  
DIRECTION OF PREVAILING  
WINDS. REMOVE STAKES &  
GUY'S AFTER 1 YEAR.

4" MULCH PER NOTES.  
FLUSH WITH SOD AT  
EDGE OR CONTINUOUS  
THROUGHOUT PLANTING  
BED PER PLANS.

**1 TREE PLANTING DETAIL  
NOT TO SCALE**



- NOTES:
1. PROVIDE TOUGHEDGE STEEL LANDSCAPE EDGER BY COYOTE LANDSCAPE PRODUCTS
  2. LANDSCAPE EDGER DIMENSIONS TO BE 3/16" THICK X 4" HEIGHT
  3. ANCHOR WITH STEEL STAKES AT 30" O.C. MAX.
  4. STAKES SHALL BE 12" LENGTH, MIN.
  5. FINISH: GREEN POWDER COAT

**2 STEEL LANDSCAPE EDGER  
NOT TO SCALE**

**DRAFT SET FOR REVIEW  
11/14/19**

**EVERGREEN SHRUB**

PLACE SPREADING  
EVERGREEN SHRUBS  
PERPENDICULAR TO SLOPE  
OF GROUND. LEAVE  
ENOUGH SPACE UNDER  
BRANCHES FOR SOIL.

REMOVE CONTAINER  
UNDER ROOTBALL.

**DECIDUOUS TREE**

PRUNE AS DIRECTED BY  
OWNER'S REPRESENTATIVE.

SCARIFY SIDES OF TREE PITS  
AFTER EXCAVATION TO  
BREAK COMPACTION AND  
ALLOW LATERAL ROOT  
PENETRATION.

WRAP TRUNK FROM GROUND  
LEVEL TO SECOND BRANCH WITH  
4" ASPHALT IMPREGNATED TREE  
WRAP. SECURE ENDS WITH  
FLEXIBLE TAPE. (DOUBLE WRAP  
MAPLES).

COLLAR OF TREE TO BE  
2" MIN ABOVE  
SURROUNDING GRADE

PREPARED BACKFILL MIXTURE:  
1. FOUR PARTS NATIVE SOIL  
2. ONE PART TYPE 1 COMPOST.  
3. MATERIALS TO BE THOROUGHLY  
BLENDED.

**3 SHRUB PLANTING DETAIL  
NOT TO SCALE**

**UB 18-2 TECH SHEET**

This 18" high by 24" wide barrier is for trees, shrubs, and root pruning applications. It is suitable for use on sidewalks, paths, and patios, as well as other tree planting situations.

UB 18-2	SPECIFICATIONS & FEATURES
<p><b>USES:</b> Prevent tree roots from growing under sidewalks, paths, and patios.</p> <p><b>MATERIALS:</b> High-quality 100% recycled recycled polypropylene. Manufactured in the USA.</p> <p><b>USES &amp; INSTALLATION:</b> Each panel is 18" high and 24" wide and 26 Panels (62 linear feet) = 16 sq. yards. 20 sections per pallet, approximately 42 lbs. (9.5 kg) per section.</p>	<p><b>FEATURES:</b> 18" height restricts root growth above and away from landscape. Prevent unwanted plants from growing with a zipper system. Flared double top edge for strength, safety, appearance and root removal prevention. Adapted for installation over concrete. Rounded edges for safety in handling. Made in the USA.</p>
<p><b>APPLICATIONS:</b></p> <p><b>LINEAR:</b> Provide maximum barrier protection while utilizing of available existing space for improved tree health by giving garden a straight line directly along the landscape to be protected.</p> <p><b>SURROUND:</b> Protect landscape that surround a planting area of four sides. Plan to line the perimeter of the planting area with the barrier—this provides the maximum available uncompacted soil volume for immediate root growth.</p> <p><b>ROOT PRUNING:</b> Root pruning can help save existing trees and prevent future damage to parking. Double-top roots are sheared out and removed. (See Root Barrier or Root Control). There are limitations to root pruning and for US Certified Arborist should be consulted.</p> <p><b>HOW TO SPECIFY:</b> 1. Determine linear, surround, root pruning or specialty application. 2. Find appropriate barrier height for application and use. 3. Calculate number of panels required. 4. For details on these or any other installation instructions, please refer to our Specification and Installation Manual, or visit <a href="http://www.deeproot.com">www.deeproot.com</a>.</p> <p><b>ZIPPER JOINING SYSTEM:</b> Each section has a zipper along one edge, making installation of the panels in the field quick and easy.</p> <p><b>DOUBLE TOP EDGE:</b> Flared double top edge with strength, safety, and root removal prevention.</p>	<p><b>DEEPROOT</b></p>

- NOTES:
1. TREE ROOT BARRIER TO BE INSTALLED FOR ALL TREES WITHIN 5 FEET OF PUBLIC WALKS, CURBS, OR STREETS.
  2. TREE ROOT BARRIER TO BE MODEL UB18-2 BY DEEPROOT OR APPROVED EQUAL.
  3. INSTALLATION TO BE PER MFR'S RECOMMENDATIONS.

**4 TREE ROOT BARRIER  
NOT TO SCALE**

**DECIDUOUS SHRUB**

PRUNE AS DIRECTED BY  
LANDSCAPE ARCHITECT.

SET SHRUB PLUMB.

4" MULCH PER NOTES.

PREPARED BACKFILL MIXTURE:  
1. FOUR PARTS NATIVE SOIL  
2. ONE PART TYPE 1 COMPOST.  
3. MATERIALS TO BE THOROUGHLY BLENDED.

**LANDSCAPE NOTES:**

1. TREES IN SODDED AND SEEDING AREAS: PROVIDE A 4" DIAMETER MULCH RING AROUND ALL TREES IN SODDED AND SEEDING AREAS, CONSISTING OF 4" DEPTH SHREDED RED CEDAR MULCH.
2. ROCK MULCH (FOR ROCK MULCHED PLANTING BEDS PER PLANS): 4" DEPTH RIVER ROCK, 2-1/2" SIZE, BUFF COLOR.
3. INSTALL WEED BARRIER FABRIC AT ALL MULCHED PLANTING BEDS CONFORMING TO THE FOLLOWING: NONWOVEN GEOTEXTILE FILTER FABRIC: POLYPROPYLENE OR POLYESTER FABRIC, 3 OZ./SQ. YD. MINIMUM. COMPOSED OF FIBERS FORMED INTO A STABLE NETWORK SO THAT FIBERS RETAIN THEIR RELATIVE POSITION. FABRIC SHALL BE INERT TO BIOLOGICAL DEGRADATION AND RESIST NATURALLY ENCOUNTERED CHEMICALS, ALKALIS, AND ACIDS.
4. TREE STAKES: TWO INCH (2") DIAMETER BY SIX FOOT (6') LENGTH ROUND WOODEN POSTS OR SIX FOOT (6') LONG, HEAVY-DUTY T-BAR STEEL POSTS WITH WHITE TOPS
5. TREE GUY'S: 1/2" STRAP-X (FLAT SYNTHETIC WEBBING MATERIAL) OR 1/2" CENTRAL BAG POLYESTER STRAPPING WITH 17 GAUGE GALVANIZED STEEL WIRE
6. SOIL AMENDMENT TO BE TYPE 1 COMPOST, TYP. PROVIDE BIO-COMP BY A-1 ORGANICS OR APPROVED EQUAL. FINELY SHREDED, FREE OF PLANTS, ROOTS, STICKS, STONES, LUMPS, AND NOXIOUS WEEDS. THE MATERIAL SHALL CONTAIN A MINIMUM OF 30% ORGANIC MATTER AND SHALL HAVE A pH RANGE OF 4.5 TO 7.5, AND A SALT CONTENT NOT MORE THAN 3 MMHOS/CM AND MEET THE CLASS 1 REQUIREMENTS.
7. SOIL AMENDMENT AT PLANTING BEDS AND SOD AREAS: 4 CUBIC YARDS PER 1,000 SQUARE FEET FILLED THOROUGHLY TO A MINIMUM DEPTH OF 6"-9"
8. SOIL AMENDMENT AT NATIVE SEED AREAS: 3 CUBIC YARDS PER 1,000 SQUARE FEET FILLED THOROUGHLY TO A MINIMUM DEPTH OF 6"-9"
9. STEEL EDGING: STEEL EDGING SHALL BE INSTALLED BETWEEN ALL MULCHED PLANTING BEDS AND SOD/SEED AREAS. SEE DETAIL.
10. UTILITIES: NO TREES SHALL BE PLANTED WITHIN 10' OF A WATER OR SEWER LINE. NO TREES SHALL BE PLANTED WITHIN A 10' RADIUS AROUND FIRE HYDRANTS.
11. DRY UTILITIES: ALL EXISTING DRY UTILITIES SHALL BE FIELD LOCATED BEFORE ANY DIGGING OR TREE LOCATION STAKING TAKES PLACE. DO NOT PLANT A TREE WITHIN 4' OF ANY EXISTING DRY UTILITY WITHOUT VERIFYING THE DEPTH OF THE UTILITY.
12. SOD: LOCALLY GROWN SOD COMPOSED OF RHIZOMATOUS TALL FESCUE (RTF) SOD FROM GRAFF TURF FARMS OR APPROVED EQUAL.
13. IRRIGATION SYSTEM OPERATION IN RIGHT OF WAY SHALL BE INSPECTED AND APPROVED BY PUBLIC WORKS PRIOR TO CONSTRUCTION ACCEPTANCE. ADJUST SPRAY PATTERN TO IRRIGATE LANDSCAPE. NOT OVERTHROW ONTO PAVED SURFACES.
14. PRECONSTRUCTION CONFERENCE WITH IRRIGATION CONTRACTOR REQUIRED BY PUBLIC WORKS.
15. TREE ROOT BARRIERS SHALL BE USED AT ALL LOCATIONS WHERE TREES ARE PLANTED 5' OR CLOSER TO PUBLIC WALKS OR CURBS.

**UPLAND AREA SEED MIX (FOR SEEDED PORTIONS OF NORTH CONSERVATION EASEMENT AREA AND OUTLOT E):**

UPLAND AREA SEED MIX SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

BLUE GRAMA (BOULELOUA GRACILIS)	1.8 LBS PLS/ACRE
SAND DROPSIED (SPOROBOLUS CRYPTANDRUS)	0.2 LBS PLS/ACRE
SIDEGRASS (BOULELOUA CURTIPENDULA)	3.8 LBS PLS/ACRE
WESTERN WHEATGRASS (PASCOPYRUM SMITHII)	8.2 LBS PLS/ACRE
BUFFALOGRASS (BOULELOUA DACTYLOIDES)	10.7 LBS PLS/ACRE
INLAND SALTGRASS (DISTICHIS SPICATA)	0.6 LBS PLS/ACRE
PASTURE SAGE (ARTEMISIA FRIGIDA)	0.01 LBS PLS/ACRE
BLANKET FLOWER (GAILLARDIA ABRISTATA)	0.1 LBS PLS/ACRE
PRAIRIE CONEFLOWER (RADIOLA COLUMNIFERA)	0.1 LBS PLS/ACRE
BLUE FLAX (LINUM LEWISII)	0.4 LBS PLS/ACRE
TOTAL PLS POUNDS/ACRE	29.11 LBS PLS/ACRE

PLS = PURE LIVE SEED; SEEDING RATE IS FOR DRILL SEEDING; FOR BROADCAST SEEDING, DOUBLE THE RATE

**DETENTION AREA SEED MIX (FOR SEEDED PORTIONS OF THE STORMWATER DETENTION AREA):**

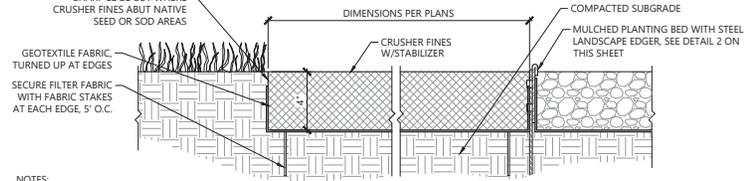
DETENTION AREA SEED MIX SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

ALKALI SACATON (SPOROBOLUS AIROIDES)	0.4 LBS PLS/ACRE
INLAND SALTGRASS (DISTICHIS SPICATA)	1.2 LBS PLS/ACRE
NUTTALL'S ALKALIGRASS (PUCCINELLIA NUTTALLIANA)	0.2 LBS PLS/ACRE
PRAIRIE CORDGRASS (SPARTINA PECTINATA)	3.0 LBS PLS/ACRE
SLENDER WHEATGRASS (ELYMUS TRACHYCAULUS SPP.)	3.8 LBS PLS/ACRE
WESTERN WHEATGRASS (PASCOPYRUM SMITHII)	5.5 LBS PLS/ACRE
FOWL MANNAGRASS (GLYCERIA STRIATA)	3.3 LBS PLS/ACRE
HARDEST BULRUSH (SCIRPUS ACUTUS)	1.6 LBS PLS/ACRE
BALTIC RUSH (JUNCKUS BALTICUS)	0.1 LBS PLS/ACRE
CREeping SPIKERUSH (ELEOCHARIS PALUSTRIS)	1.0 LBS PLS/ACRE
TOTAL PLS POUNDS/ACRE	20.1 LBS PLS/ACRE

PLS = PURE LIVE SEED; SEEDING RATE IS FOR DRILL SEEDING; FOR BROADCAST SEEDING, DOUBLE THE RATE

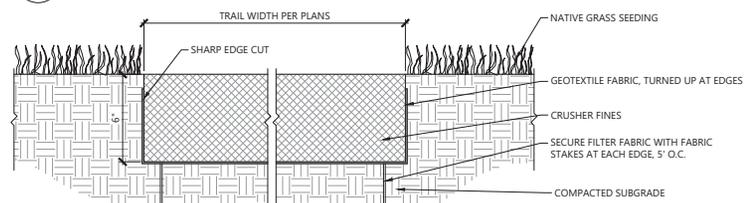
**STANDARDS AND GUIDELINES:**

- THE PROPERTY OWNER SHALL REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE, AND QUANTITY OF PLANT MATERIAL AS ORIGINALLY INSTALLED.
- AVOID REPLACING PLANT MATERIALS DURING THE DRY WINTER MONTHS BETWEEN DECEMBER AND FEBRUARY AND IN MID-SUMMER.
- CONTACT THE PLANNING DIVISION FOR SPECIFIC TIME REQUIREMENTS FOR LANDSCAPE MATERIAL REPLACEMENT.
- LANDSCAPE MATERIALS LOCATED IN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.



- NOTES:
1. EXCAVATED AREA TO BE COMPACTED USING A DOUBLE-DRUM VIBRATORY ROLLER.
  2. WHILE WET, THE SURFACE SHALL BE COMPACTED DOWN TO THE FINAL GRADE WITH THE VIBRATORY ROLLER.
  3. INSTALL STABILIZED CRUSHER FINES OVER GEOTEXTILE FABRIC IN 4" DEEP TRENCH.
  4. CRUSHER FINES TO BE COMPACTED UNTIL MATERIAL IS FIRMLY LOCKED TOGETHER. MATERIALS SHALL BE A MIN. OF 4" DEEP AFTER COMPACTION.
  5. CRUSHER FINES CROSS SLOPE SHALL BE 2% W/ NO DEPRESSIONS TO COLLECT WATER.

**5 STABILIZED CRUSHER FINES  
NOT TO SCALE**



- NOTES:
1. EXCAVATED AREA TO BE COMPACTED USING A DOUBLE-DRUM VIBRATORY ROLLER.
  2. WHILE WET, THE SURFACE SHALL BE COMPACTED DOWN TO THE FINAL GRADE WITH THE VIBRATORY ROLLER.
  3. INSTALL CRUSHER FINES OVER GEOTEXTILE FABRIC IN 6" DEEP TRENCH.
  4. CRUSHER FINES TO BE COMPACTED UNTIL MATERIAL IS FIRMLY LOCKED TOGETHER. MATERIALS SHALL BE A MIN. OF 6" DEEP AFTER COMPACTION.
  5. TRAIL CROSS SLOPE SHALL BE 2% W/ NO DEPRESSIONS TO COLLECT WATER.

**6 SOFT SURFACE TRAIL  
NOT TO SCALE**

REVISIONS	NO.	DATE
	1	AUGUST 28, 2019
	2	OCTOBER 25, 2019

ISSUED FOR  
PLANNED UNIT  
DEVELOPMENT

DATE: JULY 1, 2019

SHEET TITLE  
LANDSCAPE  
DETAILS

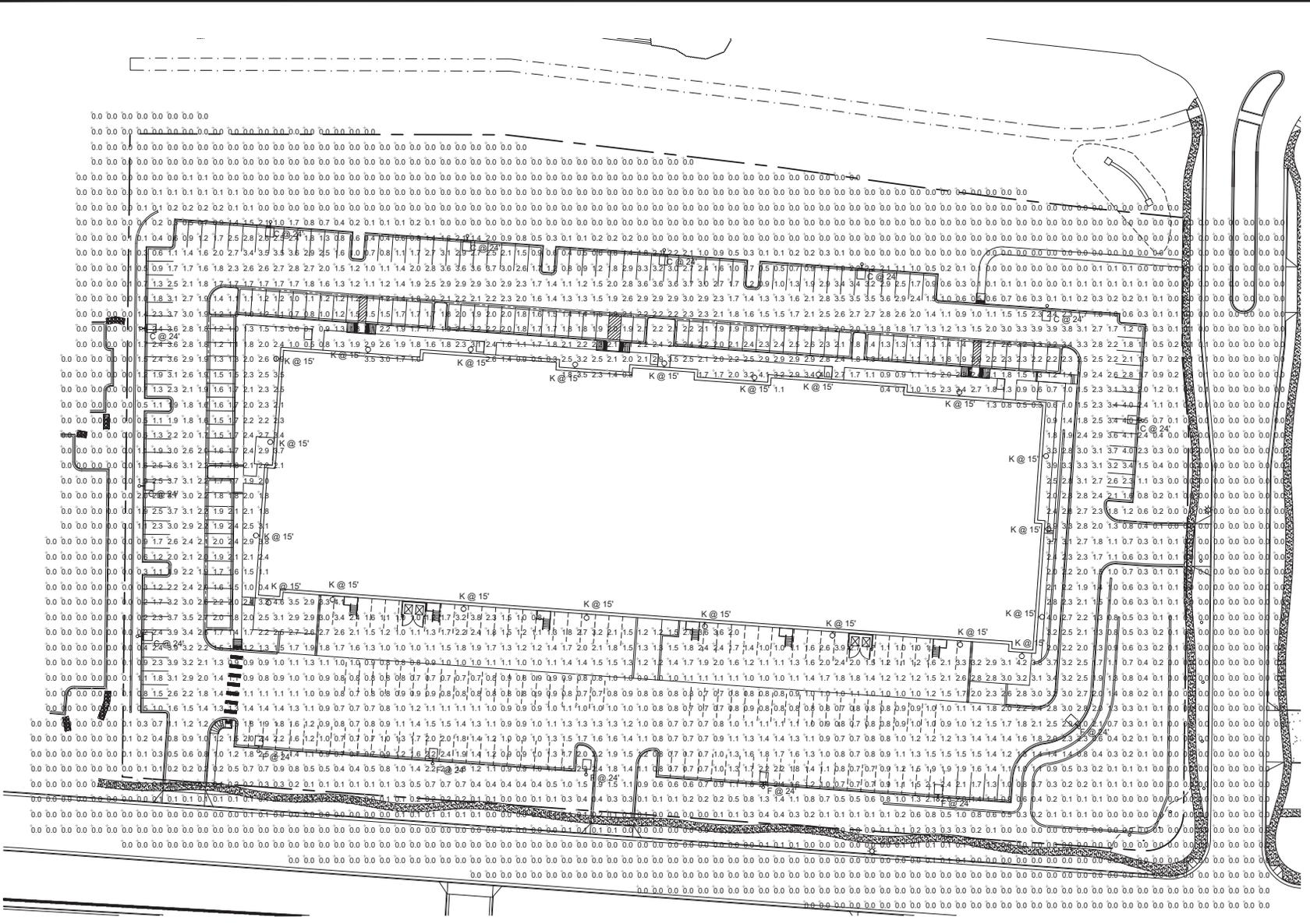
SHEET NUMBER

13

SHEET 13 OF 15



Know what's below.  
Call before you dig.



**PHOTOMETRIC SITE PLAN**

SCALE: 1" = 50'-0"



**RVP Architecture**  
 REGISTERED ARCHITECTS  
 a national professional corporation  
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 Boulder, Colorado 80303  
 (303) 448-6866  
 rvparchitecture.com

**CTC FCM-II, LLC New Building**  
 Lot 1, The Business Center at CTC Replat | 1875 Taylor Avenue  
 Louisville, Colorado

PROJ NO: 18-15  
 DATE: JULY 1, 2018  
 REV: AUG 28, 2018  
 OCT. 25, 2018

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PHOTOMETRIC PLAN

14

SHEET 14 OF 15

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Footcandle	Lumens Per Lamp	Light Loss Factor	Voltage
C	C	9	Lithonia Lighting	DSX1 LED P4 4K BLC MVLCT	DSX1 LED P4 4K BLC MVLCT	LED	1	11875	11875	0.92	125
E	E	0	Lithonia Lighting	DSX1 LED P5 4K T4M MVLCT	DSX1 LED P5 4K T4M MVLCT	LED	1	11433	11433	0.92	99
F	F	6	Lithonia Lighting	DSX1 LED P4 4K T4M MVLCT	DSX1 LED P4 4K T4M MVLCT	LED	1	8873	8873	0.92	99
J	J	0	Lithonia Lighting	DSX1 LED P5 4K T3M MVLCT	DSX1 LED P5 4K T3M MVLCT	LED	1	11346	11346	0.92	99
K	K	21	Lithonia Lighting	DSX1 LED 20C 1000 4K T4M MVLCT	DSX1 LED 20C 1000 4K T4M MVLCT	LED	1	7420	7420	0.92	75.2

Luminaire Locations

No.	Label	X	Y	Z	Alt	Orientation	Tilt	X	Y	Z	Alt
1	C	2500.12	367.23	04.00	24.00	184.04	0.00	2500.04	368.42	0.00	
2	C	2269.90	1027.00	04.00	24.00	90.99	0.00	2269.19	1027.00	0.00	
3	C	2269.00	1119.00	04.00	24.00	90.99	0.00	2269.19	1119.00	0.00	
4	C	2268.58	1229.39	04.00	24.00	95.15	0.00	2269.77	1229.59	0.00	
5	C	2269.00	1089.00	04.00	24.00	274.89	0.00	2269.21	1089.00	0.00	
6	C	2269.00	1022.00	04.00	24.00	184.04	0.00	2269.01	1022.00	0.00	
7	C	2479.80	370.40	24.00	24.00	184.04	0.00	2479.71	370.79	0.00	
8	C	2269.47	682.99	04.00	24.00	184.04	0.00	2269.56	682.99	0.00	
9	C	2735.15	694.73	04.00	24.00	184.04	0.00	2735.07	695.02	0.00	
10	F	2362.15	1315.93	24.00	24.00	4.16	0.00	2362.23	1315.96	0.00	
11	F	2459.84	1325.99	24.00	24.00	4.16	0.00	2459.92	1326.00	0.00	
12	F	2458.54	1330.63	24.00	24.00	4.16	0.00	2458.62	1330.65	0.00	
13	F	2459.24	1335.07	24.00	24.00	4.16	0.00	2459.32	1335.09	0.00	
14	F	2739.54	1347.32	24.00	24.00	4.16	0.00	2739.61	1347.34	0.00	
15	F	2883.00	1329.00	24.00	24.00	176.59	0.00	2883.24	1328.33	0.00	
16	K	3270.00	1248.00	15.00	15.00	184.50	0.00	3270.06	1248.15	0.00	
17	K	2626.00	1222.00	15.00	15.00	183.27	0.00	2626.59	1222.12	0.00	
18	K	2626.00	1227.00	15.00	15.00	183.27	0.00	2626.59	1227.12	0.00	
19	K	2479.00	1227.00	15.00	15.00	183.27	0.00	2479.59	1227.12	0.00	
20	K	2267.00	1215.00	15.00	15.00	183.27	0.00	2267.59	1215.12	0.00	
21	K	2414.00	1222.00	15.00	15.00	4.01	0.00	2414.01	1222.00	0.00	
22	K	2263.00	1111.00	15.00	15.00	275.81	0.00	2263.08	1110.99	0.00	
23	K	2469.00	1029.00	15.00	15.00	4.01	0.00	2469.01	1029.00	0.00	
24	K	2262.00	1061.00	15.00	15.00	4.01	0.00	2262.01	1060.99	0.00	
25	K	2622.00	1060.00	15.00	15.00	4.01	0.00	2622.01	1060.99	0.00	
26	K	2622.00	1059.00	15.00	15.00	4.01	0.00	2622.01	1058.99	0.00	
27	K	2711.00	1069.00	15.00	15.00	4.01	0.00	2711.01	1068.99	0.00	
28	K	2661.00	1061.00	15.00	15.00	4.01	0.00	2661.01	1060.99	0.00	
29	K	2694.00	1243.00	15.00	15.00	185.04	0.00	2694.09	1243.12	0.00	
30	K	2881.00	1120.00	15.00	15.00	85.12	0.00	2881.12	1120.01	0.00	
31	K	2669.00	1120.00	15.00	15.00	85.12	0.00	2669.12	1120.01	0.00	
32	K	2264.00	1026.00	15.00	15.00	275.81	0.00	2264.08	1025.99	0.00	
33	K	2262.00	1212.00	15.00	15.00	183.27	0.00	2262.59	1212.12	0.00	
34	K	2469.00	1249.00	15.00	15.00	185.04	0.00	2469.09	1249.12	0.00	
35	K	2668.00	1228.00	15.00	15.00	85.33	0.00	2668.12	1228.01	0.00	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	4.6 fc	0.0 fc	N/A	N/A

### D-Series Size 0 LED Area Luminaire

DSX1 LED P4 4K BLC MVLCT SPA DSX1  
MOUNT ON 2" KW POLE

**Specifications**  
EPA: 0.85 ft  
Length: 36"  
Width: 13"  
Height: 11"  
Mount: 2" KW Pole

**Introduction**  
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high-performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It's ideal for replacing up to 40W metal halide with typical energy savings of 75% and expected service life of over 150,000 hours.

**Ordering Information**

EXAMPLE: 2X50 LED P6 4K T3M MVLCT SPA NLTAR2 PIRHN DOBXD

ROW	PS	40K	T4M	MVOLT	SPA
1	DSX1	DSX1	DSX1	DSX1	DSX1
2	DSX1	DSX1	DSX1	DSX1	DSX1
3	DSX1	DSX1	DSX1	DSX1	DSX1
4	DSX1	DSX1	DSX1	DSX1	DSX1
5	DSX1	DSX1	DSX1	DSX1	DSX1
6	DSX1	DSX1	DSX1	DSX1	DSX1
7	DSX1	DSX1	DSX1	DSX1	DSX1
8	DSX1	DSX1	DSX1	DSX1	DSX1
9	DSX1	DSX1	DSX1	DSX1	DSX1
10	DSX1	DSX1	DSX1	DSX1	DSX1
11	DSX1	DSX1	DSX1	DSX1	DSX1
12	DSX1	DSX1	DSX1	DSX1	DSX1
13	DSX1	DSX1	DSX1	DSX1	DSX1
14	DSX1	DSX1	DSX1	DSX1	DSX1
15	DSX1	DSX1	DSX1	DSX1	DSX1
16	DSX1	DSX1	DSX1	DSX1	DSX1
17	DSX1	DSX1	DSX1	DSX1	DSX1
18	DSX1	DSX1	DSX1	DSX1	DSX1
19	DSX1	DSX1	DSX1	DSX1	DSX1
20	DSX1	DSX1	DSX1	DSX1	DSX1
21	DSX1	DSX1	DSX1	DSX1	DSX1
22	DSX1	DSX1	DSX1	DSX1	DSX1
23	DSX1	DSX1	DSX1	DSX1	DSX1
24	DSX1	DSX1	DSX1	DSX1	DSX1
25	DSX1	DSX1	DSX1	DSX1	DSX1
26	DSX1	DSX1	DSX1	DSX1	DSX1
27	DSX1	DSX1	DSX1	DSX1	DSX1
28	DSX1	DSX1	DSX1	DSX1	DSX1
29	DSX1	DSX1	DSX1	DSX1	DSX1
30	DSX1	DSX1	DSX1	DSX1	DSX1
31	DSX1	DSX1	DSX1	DSX1	DSX1
32	DSX1	DSX1	DSX1	DSX1	DSX1
33	DSX1	DSX1	DSX1	DSX1	DSX1
34	DSX1	DSX1	DSX1	DSX1	DSX1
35	DSX1	DSX1	DSX1	DSX1	DSX1
36	DSX1	DSX1	DSX1	DSX1	DSX1
37	DSX1	DSX1	DSX1	DSX1	DSX1
38	DSX1	DSX1	DSX1	DSX1	DSX1
39	DSX1	DSX1	DSX1	DSX1	DSX1
40	DSX1	DSX1	DSX1	DSX1	DSX1
41	DSX1	DSX1	DSX1	DSX1	DSX1
42	DSX1	DSX1	DSX1	DSX1	DSX1
43	DSX1	DSX1	DSX1	DSX1	DSX1
44	DSX1	DSX1	DSX1	DSX1	DSX1
45	DSX1	DSX1	DSX1	DSX1	DSX1
46	DSX1	DSX1	DSX1	DSX1	DSX1
47	DSX1	DSX1	DSX1	DSX1	DSX1
48	DSX1	DSX1	DSX1	DSX1	DSX1
49	DSX1	DSX1	DSX1	DSX1	DSX1
50	DSX1	DSX1	DSX1	DSX1	DSX1

### D-Series Size 1 LED Area Luminaire

DSX1 LED P4 4K BLC MVLCT SPA DSX1  
MOUNT ON 2" KW POLE

**Specifications**  
EPA: 1.25 ft  
Length: 48"  
Width: 13"  
Height: 11"  
Mount: 2" KW Pole

**Introduction**  
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high-performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It's ideal for replacing up to 75W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 150,000 hours.

**Ordering Information**

EXAMPLE: DSX1 LED P7 4K T3M MVLCT SPA NLTAR2 PIRHN DOBXD

ROW	PS	40K	BLC	MVOLT	SPA
1	DSX1	DSX1	DSX1	DSX1	DSX1
2	DSX1	DSX1	DSX1	DSX1	DSX1
3	DSX1	DSX1	DSX1	DSX1	DSX1
4	DSX1	DSX1	DSX1	DSX1	DSX1
5	DSX1	DSX1	DSX1	DSX1	DSX1
6	DSX1	DSX1	DSX1	DSX1	DSX1
7	DSX1	DSX1	DSX1	DSX1	DSX1
8	DSX1	DSX1	DSX1	DSX1	DSX1
9	DSX1	DSX1	DSX1	DSX1	DSX1
10	DSX1	DSX1	DSX1	DSX1	DSX1
11	DSX1	DSX1	DSX1	DSX1	DSX1
12	DSX1	DSX1	DSX1	DSX1	DSX1
13	DSX1	DSX1	DSX1	DSX1	DSX1
14	DSX1	DSX1	DSX1	DSX1	DSX1
15	DSX1	DSX1	DSX1	DSX1	DSX1
16	DSX1	DSX1	DSX1	DSX1	DSX1
17	DSX1	DSX1	DSX1	DSX1	DSX1
18	DSX1	DSX1	DSX1	DSX1	DSX1
19	DSX1	DSX1	DSX1	DSX1	DSX1
20	DSX1	DSX1	DSX1	DSX1	DSX1
21	DSX1	DSX1	DSX1	DSX1	DSX1
22	DSX1	DSX1	DSX1	DSX1	DSX1
23	DSX1	DSX1	DSX1	DSX1	DSX1
24	DSX1	DSX1	DSX1	DSX1	DSX1
25	DSX1	DSX1	DSX1	DSX1	DSX1
26	DSX1	DSX1	DSX1	DSX1	DSX1
27	DSX1	DSX1	DSX1	DSX1	DSX1
28	DSX1	DSX1	DSX1	DSX1	DSX1
29	DSX1	DSX1	DSX1	DSX1	DSX1
30	DSX1	DSX1	DSX1	DSX1	DSX1
31	DSX1	DSX1	DSX1	DSX1	DSX1
32	DSX1	DSX1	DSX1	DSX1	DSX1
33	DSX1	DSX1	DSX1	DSX1	DSX1
34	DSX1	DSX1	DSX1	DSX1	DSX1
35	DSX1	DSX1	DSX1	DSX1	DSX1
36	DSX1	DSX1	DSX1	DSX1	DSX1
37	DSX1	DSX1	DSX1	DSX1	DSX1
38	DSX1	DSX1	DSX1	DSX1	DSX1
39	DSX1	DSX1	DSX1	DSX1	DSX1
40	DSX1	DSX1	DSX1	DSX1	DSX1
41	DSX1	DSX1	DSX1	DSX1	DSX1
42	DSX1	DSX1	DSX1	DSX1	DSX1
43	DSX1	DSX1	DSX1	DSX1	DSX1
44	DSX1	DSX1	DSX1	DSX1	DSX1
45	DSX1	DSX1	DSX1	DSX1	DSX1
46	DSX1				

**ITEM:** Case SRU-0205-2019

**PLANNER:** Lisa Ritchie, AICP, Senior Planner

**APPLICANT:** Erik Hartronft  
Hartronft Associates, p.c.

**OWNERS:** 824 South St, Inc.  
Barbara Iglesias

**EXISTING ZONING:** Commercial Community (CC)

**LOCATION:** Lot 1, Block 5, Town of Louisville; 824 South Street

**TOTAL SITE AREA:** 7,481 square feet

**REQUEST:** Approval of Resolution No. 20, Series 2019, a resolution recommending approval of a request for a Special Review Use to allow Use Group #8 - Hotel

**VICINITY MAP:**



**SUMMARY:**

The applicant requests approval of a Special Review Use (SRU) to allow Use Group # 8: Hotels and motels, including restaurants and other commercial uses incidental to the hotel and motel use.

**BACKGROUND:**

The subject property is located on the southwest corner of Main Street and South Street. There is an existing residential structure at the rear of the property, close to the alley. The remainder of the lot is substantially undeveloped and functions as the yard to the existing residence. The original PUD and SRU approved in 2016 allowed construction of a new two-story commercial structure in the front portion of the lot and kept the original residential structure. The SRU included exterior areas for outdoor sales and dining along both the Main Street and South Street frontages.

The previous owners of the property sold the property in 2018 to the current owner, who sought approval of a SRU and PUD Amendment to expand the area for outdoor sales and dining and to make minor modifications to the exterior of the structure. The City approved the PUD amendment earlier this fall and issued a building permit in November to begin construction of the project.

**PROPOSAL:**

The application requests approval of a SRU to allow a hotel use on the property. The SRU sheet notes this use could locate on either the first and/or second floor, along with the incidental commercial uses associated with the hotel, such as a lobby or café area.

The SRU would allow a hotel use on the property, and could encompass a portion of or the entire site. The applicant notes the following as the likely scenario for layout of the uses within the building:

- First floor, new structure: Restaurant and hotel lobby
- Second floor, new structure: Hotel (7-9 rooms)
- Existing house: Food prep and service

This application does not contemplate any changes to exterior of the structure or the site or the outdoor dining areas. This SRU maintains the notes from the previous SRU as well as notes that clarify which SRU approval authorized which uses on the site.

**ANALYSIS:**

Section 17.40.100 (A) of the LMC lists the five criteria the Planning Commission and City Council are to use in considering approval of an SRU:

1. *That the proposed use/development is consistent in all respects with the spirit and intent of the comprehensive plan and of this chapter, and that it would not be contrary to the general welfare and economic prosperity of the city or the immediate neighborhood;*

The proposal to allow a hotel is consistent with the spirit and intent of the policies and

regulations for Downtown Louisville. The comprehensive plan framework envisions Downtown Louisville with a mix of land uses within a walkable and integrated urban pattern, with efforts focused on encouraging a healthy and vibrant mix of supporting businesses. Introducing a hotel use also supports the vision of Downtown as a destination. The addition of overnight guests in Downtown is not contrary to the general welfare and economic prosperity of the city or immediate neighborhood. **Staff finds the proposal meets this criterion.**

- 2. That such use/development will lend economic stability, compatible with the character of any surrounding established areas;*

The introduction of a hotel use within Downtown reinforces economic stability by capturing guests' expectations for restaurants and shopping within walking distance of a hotel in an urban setting. The use is compatible with the character of a downtown environment. **Staff finds the proposal meets this criterion.**

- 3. That the use/development is adequate for the internal efficiency of the proposal, considering the functions of residents, recreation, public access, safety and such factors including storm drainage facilities, sewage and water facilities, grades, dust control and such other factors directly related to public health and convenience;*

Staff finds that the use is adequate for the efficiency of the proposal. Staff reviewed the amendment for additional impacts to utilities and access and finds that proposal does not negatively impact surrounding facilities. Public Works and the Fire Department have no concerns related to safety, access or utilities. **Staff finds the proposal meets this criterion.**

- 4. That external effects of the proposal are controlled, considering compatibility of land use; movement or congestion of traffic; services, including arrangement of signs and lighting devices as to prevent the occurrence of nuisances; landscaping and other similar features to prevent the littering or accumulation of trash, together with other factors deemed to affect public health, welfare, safety and convenience;*

The development plans for the site and structure itself are not changing from the previous PUD approvals. Lighting, landscaping and other site amenities are adequate to control the external effects of the proposal. Staff believes that there will not be nuisance or other concerns related to the use as a hotel that affect public health, welfare, safety and convenience. **Staff finds the proposal meets this criterion.**

- 5. That an adequate amount and proper location of pedestrian walks, malls and landscaped spaces to prevent pedestrian use of vehicular ways and parking spaces and to separate pedestrian walks, malls and public transportation loading places from general vehicular circulation facilities.*

LMC Sec. 17.20.025 outlines commercial parking requirements within Downtown

Louisville based on the area of expansion regardless of use at a ratio of one space per 500 sq. ft. of new building area (with first 999 sq. ft. exempt). Parking requirements in Downtown take into consideration the walkable, mixed-use urban environment of Downtown, which reduces vehicular parking demand compared to other commercial areas in Louisville, and the additional on and off-street parking maintained by the City to supplement private parking.

With the review of an SRU, the City may consider additional factors on parking demand resulting from the proposed use. Thus, staff evaluated the parking needs for the proposal with the development scenario described above and compared it to all restaurant use on the first floor and all office use on the second floor. As a baseline for comparison, staff used the city's standard commercial parking requirements outside of Downtown. The hotel use requirement for off-street parking is roughly 9-10 spaces (One space per room, plus one space per two employees) while the office use requires roughly 10 spaces (Four spaces per 1,000 sf). Additionally, without a hotel lobby on the first floor, more restaurant space is likely which would result in additional parking demand. Thus, staff finds parking demand from the proposal for a hotel would not be higher than what the applicant had previously anticipated for the property, which was office use on the second floor.

Additionally, within the right-of-way on the north side of the property along South Street, the City is reviewing a reconfiguration of the parking spaces from parallel to diagonal orientation, which would result in five additional public parking spaces. The applicant is requesting approval from the city to restrict one or two of these new parking spaces along South Street as temporary loading/unloading spaces. The City does not yet have a policy on when and where these may be appropriate and how to manage them over time. Additionally, staff has discussed this location as a small "mobility hub" that could accommodate rideshare (Uber/Lyft) during special events. Staff is not yet able to commit to an assurance of temporary parking restrictions along South Street, but notes that the applicant has parking spaces at the rear of the property along the alley that could also accommodate this desire for temporary close-in parking for guests of the hotel. **Staff finds the proposal meets this criterion.**

#### **STAFF RECOMMENDATION:**

Staff finds that the proposal complies with the SRU criteria and recommends approval of Resolution 20, Series 2019 without conditions. The Planning Commission may recommend approval (with or without conditions) or denial of the request or move for a continuance if the Commission needs additional information related to the proposal.

#### **ATTACHMENTS:**

1. Resolution 20, Series 2019
2. Application Materials
3. SRU
4. 824 South Street PUD Amendment, 2019
5. 824 South Street SRU Amendment, 2019

**RESOLUTION NO. 20  
SERIES 2019**

**A RESOLUTION RECOMMENDING APPROVAL OF A REQUEST FOR A SPECIAL  
REVIEW USE TO ALLOW A HOTEL (USE GROUP #8) ON LOT 1, BLOCK 5, TOWN  
OF LOUISVILLE, LOCATED AT 824 SOUTH STREET / 957 MAIN STREET**

**WHEREAS**, there has been submitted to the Louisville Planning Commission an application for a Special Review Use to allow a hotel (Use Group #8) on Lot 1, Block 5, Town of Louisville, located at 824 South Street / 957 Main Street.

**WHEREAS**, City staff has reviewed the information submitted and found that the application complies with the Louisville zoning regulations and other applicable sections of the Louisville Municipal Code; and

**WHEREAS**, the Planning Commission has considered the application at a duly noticed public hearing on December 12, 2019, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission staff report dated December 12, 2019 ; and

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a request for a Special Review Use to allow a hotel (Use Group #8) on Lot 1, Block 5, Town of Louisville, located at 824 South Street / 957 Main Street.

**PASSED AND ADOPTED** this 12<sup>th</sup> day of December, 2019.

By: \_\_\_\_\_  
Steve Brauneis, Chairperson  
Planning Commission

Attest: \_\_\_\_\_  
Debra Williams, Secretary  
Planning Commission

**LAND USE APPLICATION**

**CASE NO.** \_\_\_\_\_

**APPLICANT INFORMATION**

Firm: Hartronft Associates  
 Contact: Erik Hartronft  
 Address: 950 Spruce St. #2A  
Louisville, CO 80027  
 Mailing Address: 950 Spruce St. #2A  
Louisville, CO 80027  
 Telephone: 303-673-9304  
 Fax: \_\_\_\_\_  
 Email: erik@hapcdesign.com

**OWNER INFORMATION**

Firm: 824 South St. Inc.  
 Contact: Barbara Iglesias  
 Address: 5718 Westheimer Suite 1806  
Houston, TX 77057  
 Mailing Address: 5718 Westheimer Suite 1806  
Houston, TX 77057  
 Telephone: 720-891-1580  
 Fax: \_\_\_\_\_  
 Email: baigles@outlook.com

**REPRESENTATIVE INFORMATION**

Firm: Hartronft Associates  
 Contact: Erik Hartronft  
 Address: 950 Spruce St #2A  
Louisville, CO 80027  
 Mailing Address: 950 Spruce St #2A  
Louisville, CO 80027  
 Telephone: 303-673-9304  
 Fax: \_\_\_\_\_  
 Email: erik@hapcdesign.com

**PROPERTY INFORMATION**

Common Address: 824 South Street  
 Legal Description: Lot 1 Blk 5  
 Subdivision Louisville Old Town  
 Area: 7,481 Sq. Ft.

**TYPE (S) OF APPLICATION**

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: \_\_\_\_\_
- CMRS Facility: \_\_\_\_\_
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

**PROJECT INFORMATION**

Summary: \_\_\_\_\_  
Special Review Use is requested for a 7-10 room hotel.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Current zoning: CC Proposed zoning: CC

**SIGNATURES & DATE**

Applicant: \_\_\_\_\_  
 Print: 824 South St. Inc.  
 Owner: \_\_\_\_\_  
 Print: Barbara Iglesias, 824 South St. Inc.  
 Representative: \_\_\_\_\_  
 Print: J. Erik Hartronft

**CITY STAFF USE ONLY**

- Fee paid: \_\_\_\_\_
- Check number: \_\_\_\_\_
- Date Received: \_\_\_\_\_



**HARTRONFT  
ASSOCIATES**  
*A Professional Corporation*

*Planning  
Architecture  
Interior Design*

950 Spruce Street, #2A  
Louisville, CO 80027  
TEL: 303.673.9304  
FAX: 303.673.9319

Ms. Lisa Ritchie  
Senior Planner  
City of Louisville, Colorado  
749 Main Street  
Louisville, CO 80027

4 November, 2019

Re: 824 South Street  
Special Review Use Amendment #2

Lisa,

Attached please find the SRU Plan indicating the proposed amendment to the approved Special Review Use for 824 South St. This SRU Amendment #2 (subject to other applicable regulations) is intended to allow for seven to ten hotel rooms within the proposed new building (957 Main Street) and within the remodeled existing residence (824 South Street). The approved SRU and PUD have identified the need for nine required parking spaces. The parking requirements for Downtown do not differentiate the number of parking spaces required based on use, however Louisville Municipal Code requires one space per guest accommodation (assuming no on-site dedicated employees). Our analysis of the parking is based on LMC requirements for an assumed 9 guest rooms plus the other commercial uses in the building would require 3 additional parking spaces. We have provided the City with a potential reconfiguration of on-street parking which converts parallel to angled parking on South Street for a net gain of 5 spaces on the south side of the street. Although this is not on-site parking, it is something that the applicant would propose to accomplish in conjunction with this project to increase the available public parking in the area beyond the additional demand this use would generate. Also, please note that some hotel guests will be patrons of downtown businesses during their stay in Louisville. This shared parking arrangement for downtown is therefore valid for the hotel use as well as more common retail, restaurant and office uses downtown. Other guests may be on site primarily at night, utilizing shared parking that would also be used by office and retail users and others that leave downtown in the evenings.

- 1) The proposed uses / development is consistent in all respects with the spirit and intent of the comprehensive plan, downtown framework plan, and of chapter 17, and it is not contrary to the general welfare and economic prosperity of the city or the immediate neighborhood;
- 2) The proposed uses / development will lend economic stability, compatible with the character of any surrounding established areas;
- 3) The proposed uses / development are adequate for internal efficiency of the proposal, considering the functions of residents, recreation, public access, safety and such factors including storm drainage facilities, sewage and water facilities, grades, dust control and such other factors directly related to public health and convenience;
- 4) The external effects of the proposal are controlled, considering compatibility of land use; movement or congestion of traffic; services, including

824 South Street - Special Use Review Amendment #2

arrangement of signs and lighting devices as to prevent the occurrence of nuisances; landscaping and other similar features to prevent the littering or accumulation of trash, together with other factors deemed to effect public health, welfare, safety and convenience;

- 5) An adequate amount and proper location of pedestrian walks, malls and landscaped spaces are provided to prevent pedestrian use of vehicular ways and parking spaces and to separate pedestrian walks, malls and public transportation loading places from general vehicular circulation facilities.

Please consider this request for approval of the Special Review Use attached herein. Let us know if you have any questions regarding this proposal.

Sincerely,

J. Erik Hartronft, AIA, President  
Hartronft Associates, pc.

M:\\_MAIN\_065\_Proj\1857-957 Main-824 South\Proj Admin\City Submittals\PUD&SRU\SRU-Hotel\MEMO-SRU-824 S-110419.doc



**HARTRONFT  
ASSOCIATES**  
*A Professional Corporation*

*Planning  
Architecture  
Interior Design*

950 Spruce Street, #2A  
Louisville, CO 80027  
TEL: 303.673.9304  
FAX: 303.673.9319

Ms. Lisa Ritchie, Senior Planner  
City of Louisville, Colorado  
749 Main Street  
Louisville, CO 80027

4 December, 2019

Re: 824 South Street  
Special Review Use Amendment #2

Lisa,

Thank you for your assistance in the review of this SRU for a hotel use at 824 South Street and 957 Main. As we have discussed, we believe that it will be important for this particular use to function well within the parameters of our downtown parking environment, and to contribute to the vitality of Downtown Louisville.

To that end, we would like to offer the following for your consideration.

- The boutique hotel would likely have a percentage of guests utilizing Lyft, Uber, or other public or private transportation modes other than passenger vehicles which would require parking associated with the use. The operator of the Inn would include a statement in their policies indicating that on-site parking is not available, (other than the accessible parking space). A map of public parking in the area would be included on the operator's marketing information, website, etc.
- For convenience of guests, drop-off and pick up, and for short term parking for any businesses in the area, we are requesting that one parking space on South Street adjacent to the site be designated as a short-term loading space, with a 15-20 minute maximum time limit.
- We have provided the City with a potential reconfiguration of on-street parking which converts parallel to angled parking on South Street for a net gain of 5 spaces on the south side of the street. Although this is not on-site parking, it is something that the applicant would propose to accomplish in conjunction with this project to increase the available public parking in the area beyond the additional demand this use would generate (see attached).
- Some hotel guests will be patrons of downtown businesses during their stay in Louisville. This shared parking arrangement for downtown is therefore valid for the hotel use as well as more common retail, restaurant and office uses downtown. Other guests may be on site primarily at night, utilizing shared parking that would also be used by office and retail users and others that leave downtown in the evenings.

We appreciate your consideration of this request for approval of the Special Review Use for this property. Let us know if you have any questions regarding this proposal.

Sincerely,

J. Erik Hartronft, AIA

EXHIBIT 1

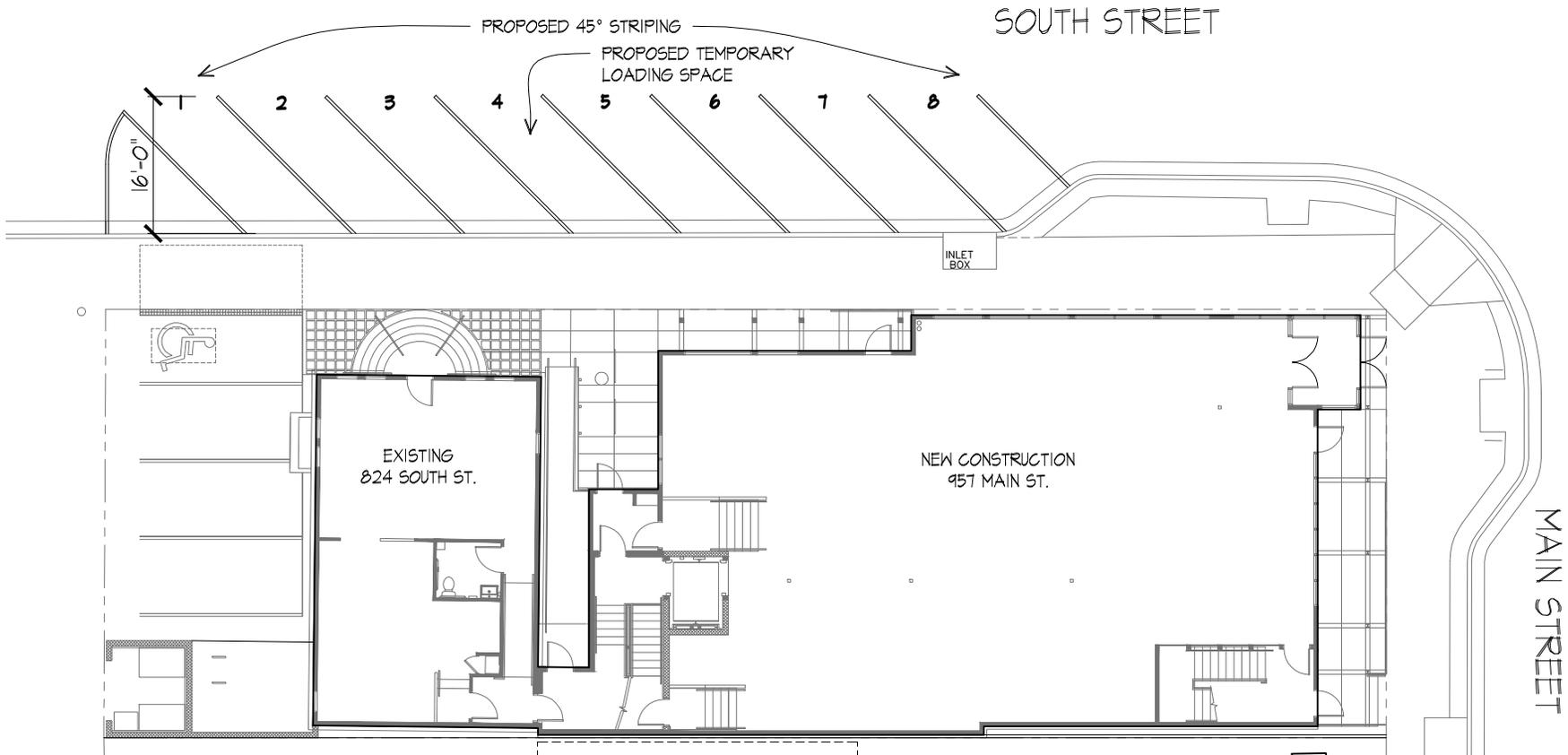
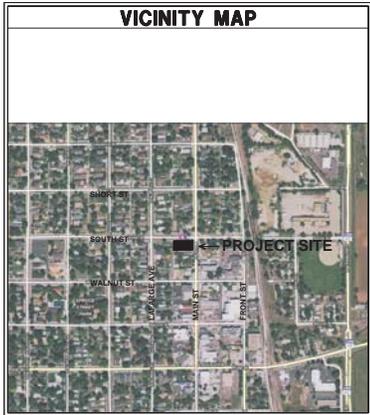


EXHIBIT 1 - ANGLED STREET PARKING

1" = 20'-0"





**SIGNATURES**

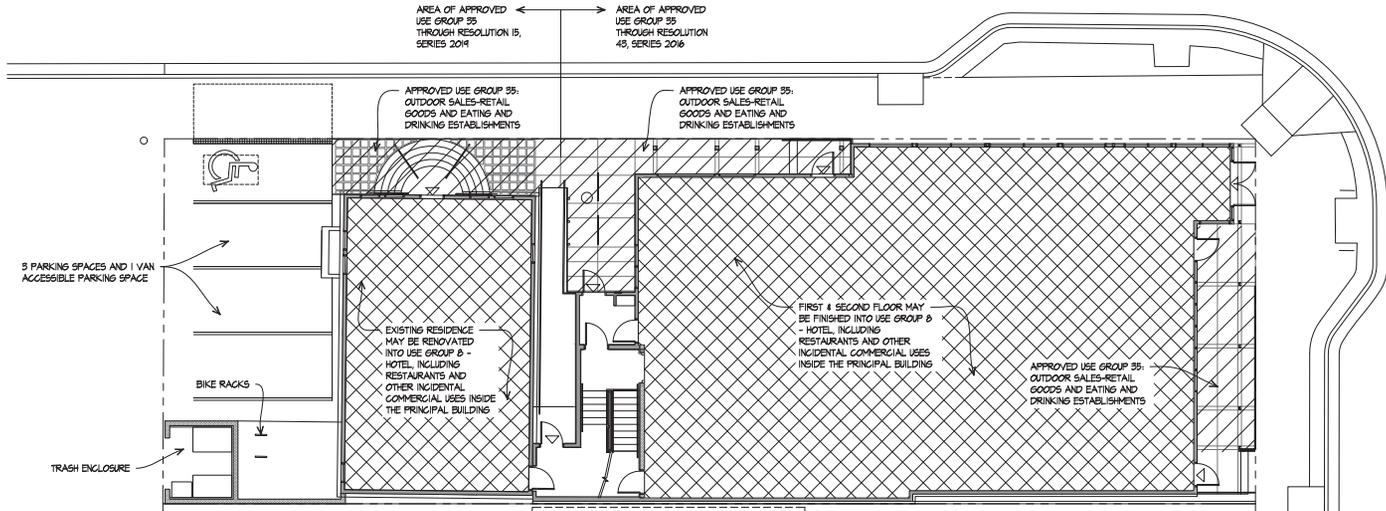
<p><b>Ownership Signature Block</b> By signing this PUD, the owner acknowledges and accepts all the requirements and intent set forth in this PUD. Witness my hand(s) and seal(s) this ____ day of _____, 20__.</p> <p>Owner Name and Signature _____ Notary Name (print) (Notary Seal) _____ Notary Signature _____ My Commission Expires _____</p>	<p><b>CLERK AND RECORDER CERTIFICATE (COUNTY OF BOULDER, STATE OF COLORADO)</b> I hereby certify that this instrument was filed in my office at _____ o'clock, ____ M., this ____ day of _____, 20__, and is recorded in Plan File _____ Fee _____ paid _____ Reception _____.</p> <p>Clerk &amp; Recorder _____ Deputy _____</p>
<p><b>PLANNING COMMISSION CERTIFICATE</b> Approved this ____ day of _____, 20__, by the Planning Commission of the City of Louisville, Colorado. Resolution No. _____ Series _____</p>	<p><b>CITY COUNCIL CERTIFICATE</b> Approved this ____ day of _____, 20__, by the City Council of the City of Louisville, Colorado. Resolution No. _____ Series _____ (City Seal) Mayor Signature _____ City Clerk Signature _____</p>

**SPECIAL REVIEW USE AMENDMENT #2**  
**824 SOUTH STREET / 957 MAIN STREET**  
**COMMERCIAL DEVELOPMENT**  
 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



**824 SOUTH ST / 957 MAIN ST**  
 824 South St / 957 Main St, Louisville CO 80027  
 Louisville, Block 5, Lot 1

SOUTH STREET



- NOTES:**
- 1- THE PURPOSE OF SPECIAL REVIEW USE AMENDMENT #2 IS TO ALLOW USE GROUP #B, HOTEL, INCLUDING RESTAURANTS AND OTHER INCIDENTAL COMMERCIAL USES INSIDE THE PRINCIPAL BUILDING. NO EXTERIOR CHANGES ARE PROPOSED WITH THIS SRU AMENDMENT.
  - 2- EXISTING ZONING CC ALLOWS OUTDOOR SALES AND EATING AND DRINKING ESTABLISHMENTS USES WHEN AUTHORIZED THROUGH A SPECIAL REVIEW USE.
  - 3- OUTDOOR ACTIVITY USES SHALL INCLUDE: OUTDOOR SALES AND EATING AND DRINKING ESTABLISHMENTS.
  - 4- OUTDOOR AMPLIFIED MUSIC SHALL BE PROHIBITED.
  - 5- NIGHTTIME HOURS OF OPERATION FOR THE OUTDOOR DINING AREAS SHALL NOT EXTEND PAST 12AM.
  - 6- THE EXISTING DWELLING UNIT WILL BE RENOVATED INTO NEW COMMERCIAL SPACE.
  - 7- REFER TO APPROVED PUD FOR APPROVED EXTERIOR LIGHTING AND SIGNAGE LOCATIONS.
- = PREVIOUSLY APPROVED USE AREAS  
 = PROPOSED USE AREAS



SRU AMENDMENT #2

**PROJECT # 1857**  
 DATE 08/06/2015  
 DRAWN BY: HAPC  
 CHECKED BY: JH  
 REVISIONS  
 FINAL PC 08/05/16  
 SRU AMENDMENT # 08/02/16  
 SRU AMENDMENT #2 URGENT

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SRU PLAN

Sheet  
**A1**  
 of Sheets

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# P.U.D. AMENDMENT 824 SOUTH STREET / 957 MAIN STREET

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE  
 THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

STREET VIEW FROM THE NORTHEAST



STREET VIEW FROM THE NORTH



### PROJECT DIRECTORY

**OWNER** 824 South St Inc.  
 5718 Westheimer Suite 1806  
 Houston, TX 77057  
 Contact: Barbara Iglesias  
 email: baiglesias@boulco.com  
 phone: 720-891-1580

**ARCHITECT/PLANNER** Hartnoff Associates, p.c.  
 950 Spruce Street, Suite 2A  
 Louisville, Colorado 80027  
 Contact: Erik Hartnoff, AIA  
 email: erik@hartoassociates.com  
 phone: 303-673-9304

**CIVIL ENGINEER** Scott, Cox & Assoc., Inc.  
 1530 55th Street  
 Boulder, Colorado 80503  
 Contact: Don Ash  
 email: don@scotco.com  
 phone: 303-444-3051

### VACINITY MAP



### SIGNATURES

#### LEGAL DESCRIPTION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8  
 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.,  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF  
 COLORADO

In witness whereof, Barbara Iglesias, Owner, 824 South Street has her  
 name to be here unto subscribed this 24<sup>th</sup> day of September, A.D. 2019.

*Barbara Iglesias*  
 Barbara Iglesias, Owner, 824 South Street

STATE OF COLORADO) SS  
 COUNTY OF BOULDER)

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of  
 September, A.D., 2019, by Barbara Iglesias, Owner, 824 South Street  
 Witness my hand and official seal.

My Commission Expires: 12-4-2019  
*Carol J. Jansen*  
 Notary Public

ADMINISTRATIVE PUD AMENDMENT  
 Approved this 4<sup>th</sup> day of November, 2019, by the  
 Planning & Building Safety Director, City of Louisville, Colorado.

*Robert Escudero*  
 Planning & Building Safety Director

### SHEET INDEX

SHEET	DESCRIPTION
ARCHITECTURAL	
A1	Cover Sheet, Project Data & Renderings
A2	Site, Landscape & Parking Plan/Floor Plans
A3	Building Elevations
A4	Site Photometric
SURVEY	
IMPROVEMENT SURVEY	Improvement Survey Plot
CIVIL	
C1.01	Utility Plan
EX-1	ROW Encroachments Exhibit

### PROJECT DATA

**PROJECT LOCATION:** 824 SOUTH ST. / 957 MAIN ST. LOUISVILLE, COLORADO

**LOT AREA:** 7,481 SF

**ZONING:** CC - COMMERCIAL COMMUNITY

**OVERLAYS:** DOWNTOWN CORE AREA; CENTRAL BUSINESS DISTRICT; TRANSITIONAL AREA

**APPLICABLE STANDARDS:** LOUISVILLE MUNICIPAL CODE  
 DESIGN HANDBOOK FOR DOWNTOWN LOUISVILLE  
 DOWNTOWN LOUISVILLE FRAMEWORK PLAN  
 DOWNTOWN LOUISVILLE SIGN MANUAL

**PROPOSED USES:** ANY APPROVED USES INCLUDING RETAIL, RESTAURANT, AND  
 PROFESSIONAL OFFICES

**LEGAL DESCRIPTION:** LOT 1 OF BLOCK 5 TOWN OF LOUISVILLE, COUNTY OF BOULDER, STATE OF  
 COLORADO

**PROJECT DESCRIPTION:** THE PROJECT SCOPE IS TO REDEVELOP THE EXISTING RESIDENCE AT 824  
 SOUTH STREET INTO A NEW COMMERCIAL SPACE AND DEVELOP A NEW  
 13,123SF 2-STORY COMMERCIAL BUILDING WITH A FULL BASEMENT AT THE  
 ADJACENT LOT AT 957 MAIN STREET WHICH WILL BE CONNECTED TO THE  
 EXISTING STRUCTURE.

#### YARD & BULK REQUIREMENTS

	Required	Provided
Maximum Lot Coverage	N/A	N/A
Minimum Front Yard	0'	0'
Minimum Side Yard	0'	0'
Minimum Rear Yard	20'	24'
Maximum Building Height	35'	35'

FOOTNOTES PER LMC 17.12.040:  
 1. These requirements for the C-C district shall not  
 be applicable in the Central Business District  
 2. In the Commercial Core Transitional Area of  
 Downtown, maximum building height for principal  
 uses shall be 35' or as applicable in the Design  
 Handbook for Downtown Louisville

#### FLOOR AREAS

Basement	Food Prep	Storage Area	Common Area	Total Basement Floor Area
	2,372 SF	449 SF	449 SF	3,270 SF

Main Level	Tenant Areas	Food Prep	Common Area	Total Main Level Floor Area
	2,724 SF	1,116 SF	1,869 SF	4,908 SF

#### REQUIREMENTS FOR DOWNTOWN CORE AREA

FAR	Actual	Allowed	Bike Parking	Required	Provided
	2.0	1.10		1	2

NOTE: Additional secure bicycle parking is provided in the basement for tenants.

#### PARKING NOTES:

- LMC 17.20.025 DESIGNATES PARKING STANDARDS FOR DOWNTOWN LOUISVILLE
- REQUIRED: AFTER FIRST 999SF, PARKING SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 500SF
- COMMON AREAS LISTED ON THE FLOOR AREA TABULATION CHART ARE THE AREAS EXCLUDED FROM REQUIRED PARKING CALCULATIONS UNDER LOUISVILLE MUNICIPAL CODE SECTION 17.20.025, WHICH ALLOWS EXCLUSION OF VENT SHAFTS, COURTS, UNINHABITABLE AREAS BELOW GROUND LEVEL OR IN ATTICS, OR AREAS WITHIN HALLWAYS, STAIRWAYS, ELEVATOR SHAFTS AND BATHROOMS. FURTHER, STORAGE & COMMON AREAS IN THE BASEMENT ARE INTENDED SOLELY FOR STORAGE, MECHANICAL EQUIPMENT, A FIRE ROOM & THE ELEVATOR SHAFT AND SHALL NOT COUNT TOWARDS REQUIRED PARKING. ANY MODIFICATIONS TO USE OF THE BASEMENT IS SUBJECT TO CITY REVIEW & APPROVAL AS AN AMENDMENT TO THE PLANNED UNIT DEVELOPMENT AND REEVALUATION OF REQUIRED PARKING UNDER SECTION 17.20.025 OF THE LMC - PARKING STANDARDS DESIGNATED FOR DOWNTOWN LOUISVILLE OR AS HEREINAFTER AMENDED.
- THE CITY MAY VERIFY AND ADJUST THE TOTAL REQUIRED PARKING AT THE TIME OF BUILDING PERMIT FOR TENANT FINISH BASED ON THE REQUIREMENTS OF SECTION 17.20.025 OF THE LMC - PARKING STANDARDS DESIGNATED FOR DOWNTOWN LOUISVILLE OR AS HEREINAFTER AMENDED.



HARTNOFF ASSOCIATES  
 A Division of Cognate Group

Planning  
 Architecture  
 Interior Design

950 Spruce Street, #2A  
 Louisville, CO 80027  
 TEL: 303.673.9304  
 FAX: 303.673.9319

824 SOUTH ST / 957 MAIN ST  
 824 South St / 957 Main St, Louisville CO 80027  
 Louisville, Block 5, Lot 1

PUD AMENDMENT

PROJECT # 1857  
 DATE: 09/06/2018  
 DRAWN BY: HARC  
 CHECKED BY: JEH  
 REVISIONS:  
 01: 09/06/18  
 PUD AMENDMENT 04/09/18  
 02: 09/06/18  
 PUD AMENDMENT 08/04/18

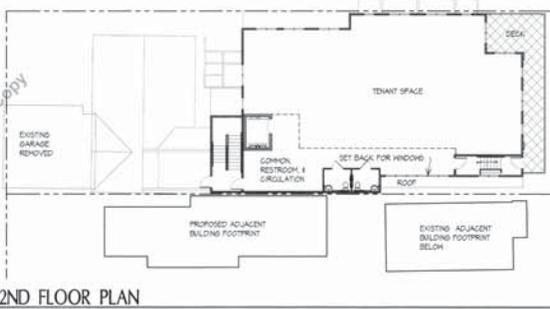
09/06/2018  
 All drawn and written information  
 contained in this drawing is the  
 property of Hartnoff Associates, p.c.  
 and shall remain confidential.

COVER SHEET  
 PROJECT DATA  
 RENDERINGS  
 SIGNATURES

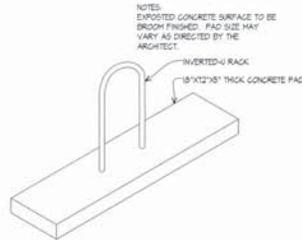
Sheet  
**A1**  
 1 of 5 Sheets

Unofficial Copy

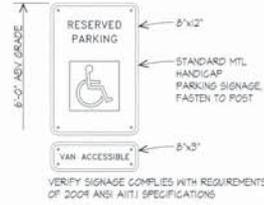
**D4** 2ND FLOOR PLAN  
A2 1/16" = 1'-0"



**D3** U-RACK DETAIL @ BIKE PK'G  
A2 1" = 20'-0"

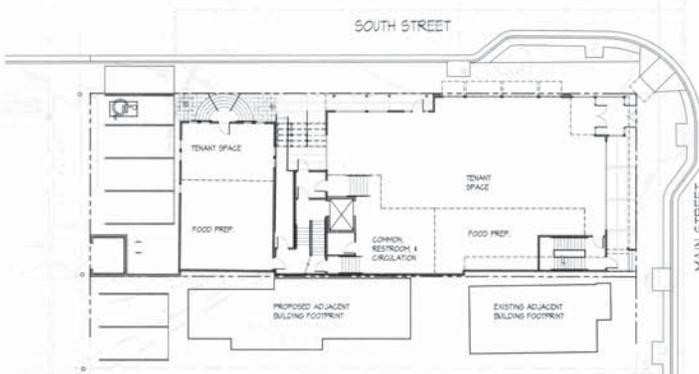


**D2** H.C. PK'G SIGN DETAIL  
A2 1" = 10'-0"



LANDSCAPE LEGEND			
	Ornamental Grasses		Existing Coniferous Tree over 12" Caliper
	Potted Perennials		Existing Deciduous Tree 8" Caliper
	Proposed Deciduous Tree		Existing Deciduous Tree 4" Caliper
	Ornamental		

**B4** 1ST FLOOR PLAN  
A2 1/16" = 1'-0"

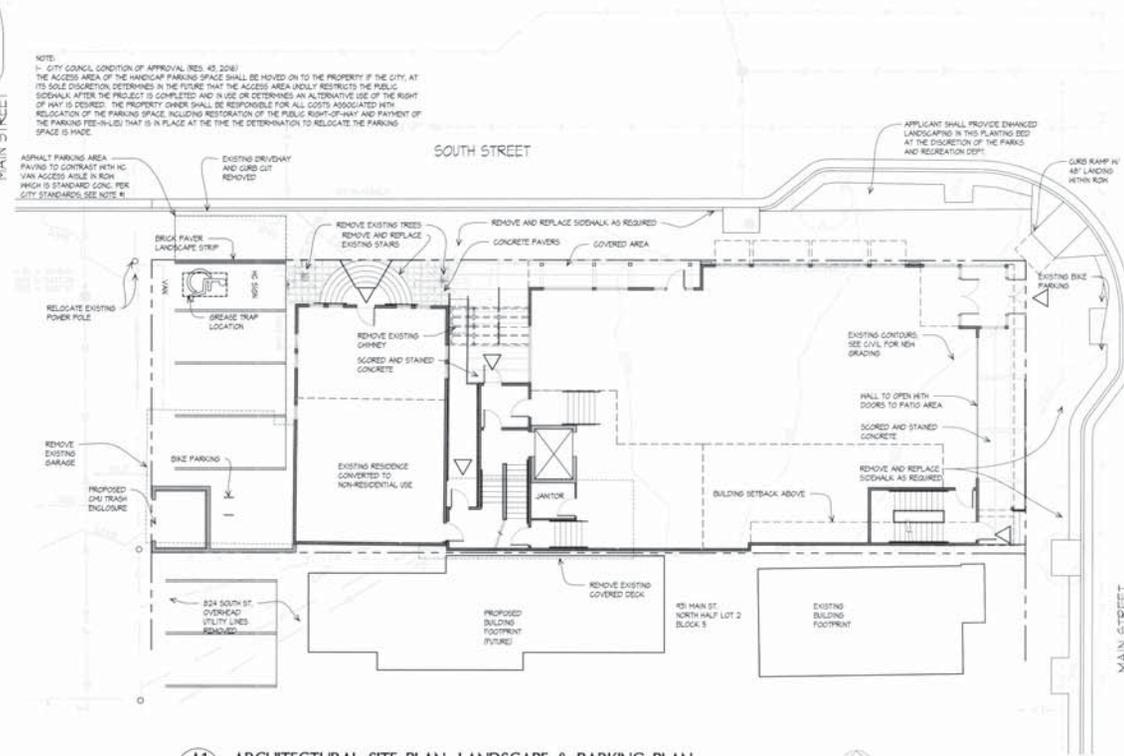


**A4** BASEMENT FLOOR PLAN  
A2 1/16" = 1'-0"



NOTE:  
= CITY COUNCIL CONDITION OF APPROVAL (RES. 48, 2004)  
THE ACCESS AREA OF THE HANDICAP PARKING SPACE SHALL BE MOVED ON TO THE PROPERTY IF THE CITY, AT ITS SOLE DISCRETION DETERMINES IN THE FUTURE THAT THE ACCESS AREA INDULY RESTRICTS THE PUBLIC SIDEWALK. AFTER THE PROJECT IS COMPLETED AND IN USE OR DETERMINES AN ALTERNATIVE USE OF THE RIGHT OF WAY IS DESIRED. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH RELOCATION OF THE PARKING SPACE, INCLUDING RESTORATION OF THE PUBLIC RIGHT-OF-WAY AND PAYMENT OF THE PARKING FEE-IN-LIEU THAT IS IN PLACE AT THE TIME THE DETERMINATION TO RELOCATE THE PARKING SPACE IS MADE.

**A1** ARCHITECTURAL SITE PLAN, LANDSCAPE & PARKING PLAN  
A2 1" = 10'-0"



**HARTRONFT ASSOCIATES**  
A Professional Corporation  
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Architecture  
Interior Design  
950 Space Street, #2A  
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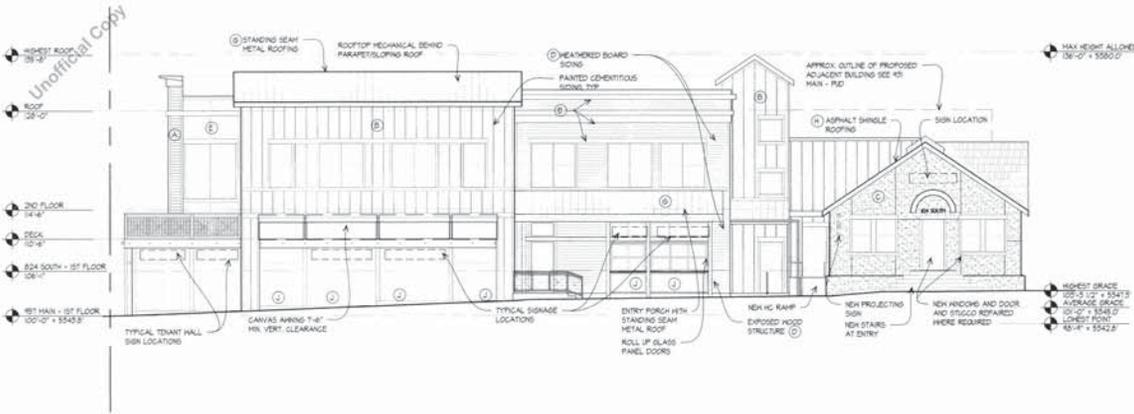
**824 SOUTH ST / 957 MAIN ST**  
824 South St / 957 Main St, Louisville CO 80027  
Louisville, Block 5, Lot 1

PROJ # 1857  
DATE: 08/04/2015  
DRAWN BY: HAPC  
CHECKED BY: JH  
REVISIONS:  
01-08-15  
02-09-15  
03-10-15  
04-11-15

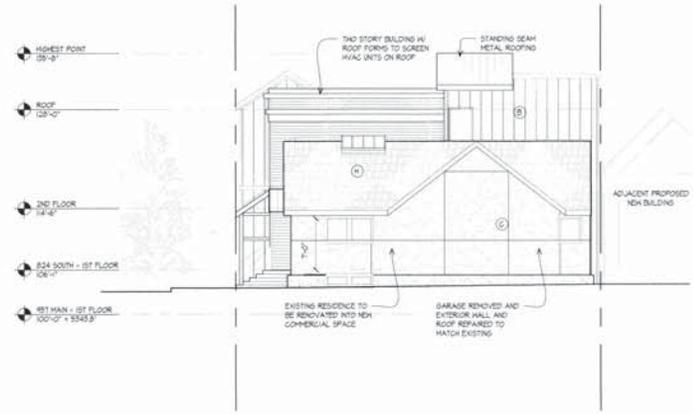
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DRAWN BY: HAPC  
CHECKED BY: JH  
REVISIONS:  
01-08-15  
02-09-15  
03-10-15  
04-11-15

SITE, LANDSCAPE PLAN & PARKING PLAN FLOOR PLANS DETAILS

Sheet  
**A2**  
2 of 8 Sheets



**B2** NORTH ELEVATION  
A3.00 SCALE: 1/8" = 1'-0"



**A2** WEST ELEVATION  
A3.00 SCALE: 1/8" = 1'-0"

**MATERIAL LEGEND**

ALL NEW METAL HINGED/DOOR FRAMES SHALL BE BLACK ANODIZED ALUMINUM

A- HORIZONTAL OR PANEL PAINTED SIDING COLOR - SH 0091 - CLASSIC IVORY

B- VERTICAL BOARD/BATTED SIDING AND TRIM COLOR - SH 0050 - GLASSIC LIGHT BUFF

C- EXISTING STIGGO COLOR - WHITE TO MATCH EXISTING

D- NATURAL STAIN WOOD SIDING

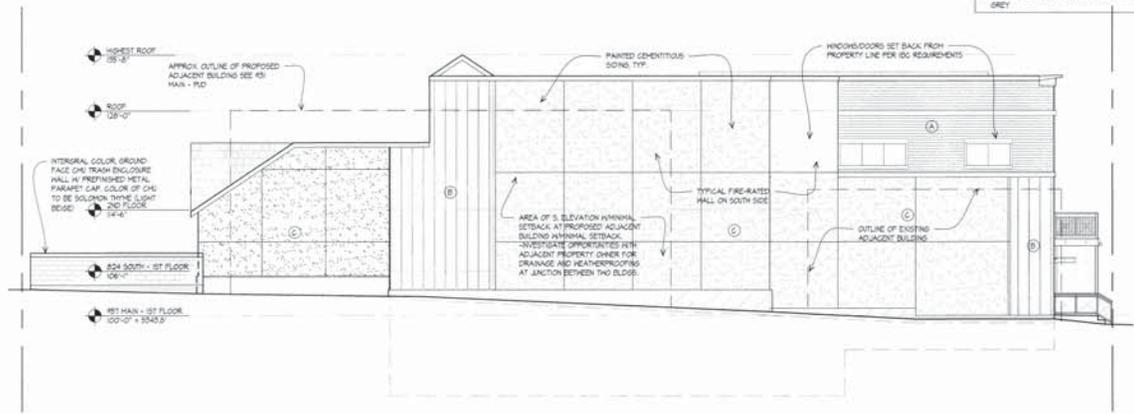
E- PAINTED SIDING - ACQUITY COLOR - SH 2548 ROYALDOTT PEWTER

F- PAINTED TRIM COLOR SH 1492 INKWELL

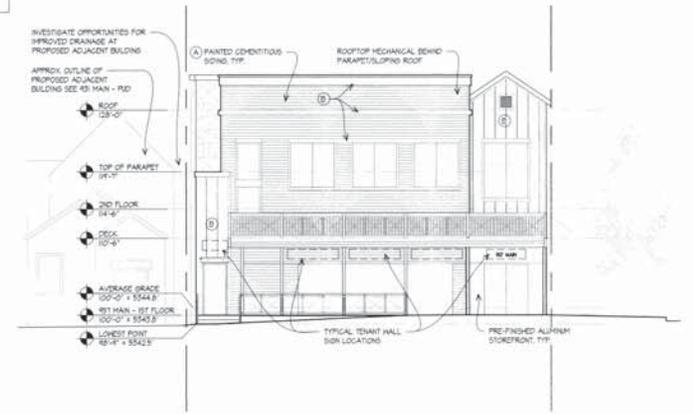
G- METAL ROOF MATCH SERRIDGE "MATT BLACK"

H- ASPHALT SHINGLES MATCH EXISTANT "DREYER BLACK"

J- PAINTED ALUM. INFILL PANEL TO BE SLATE GREY



**B1** SOUTH ELEVATION  
A3.00 SCALE: 1/8" = 1'-0"



**A1** EAST ELEVATION  
A3.00 SCALE: 1/8" = 1'-0"



**HARTIRONFT ASSOCIATES**  
INCORPORATED

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Architecture  
Interior Design

550 Space Street, #2A  
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**824 SOUTH ST / 957 MAIN ST**  
824 South St / 957 Main St, Louisville, CO 80027  
Louisville, Block 5, Lot 1

P10 ADJACENT

PROJECT # 1857  
DATE: 08/06/2015  
DRAWN BY: HARC  
CHECKED BY: JEH  
REVISIONS:  
GC GRABER  
P10 ADJACENT 8/24/15  
P10 ADJACENT 8/24/15

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BUILDING ELEVATIONS

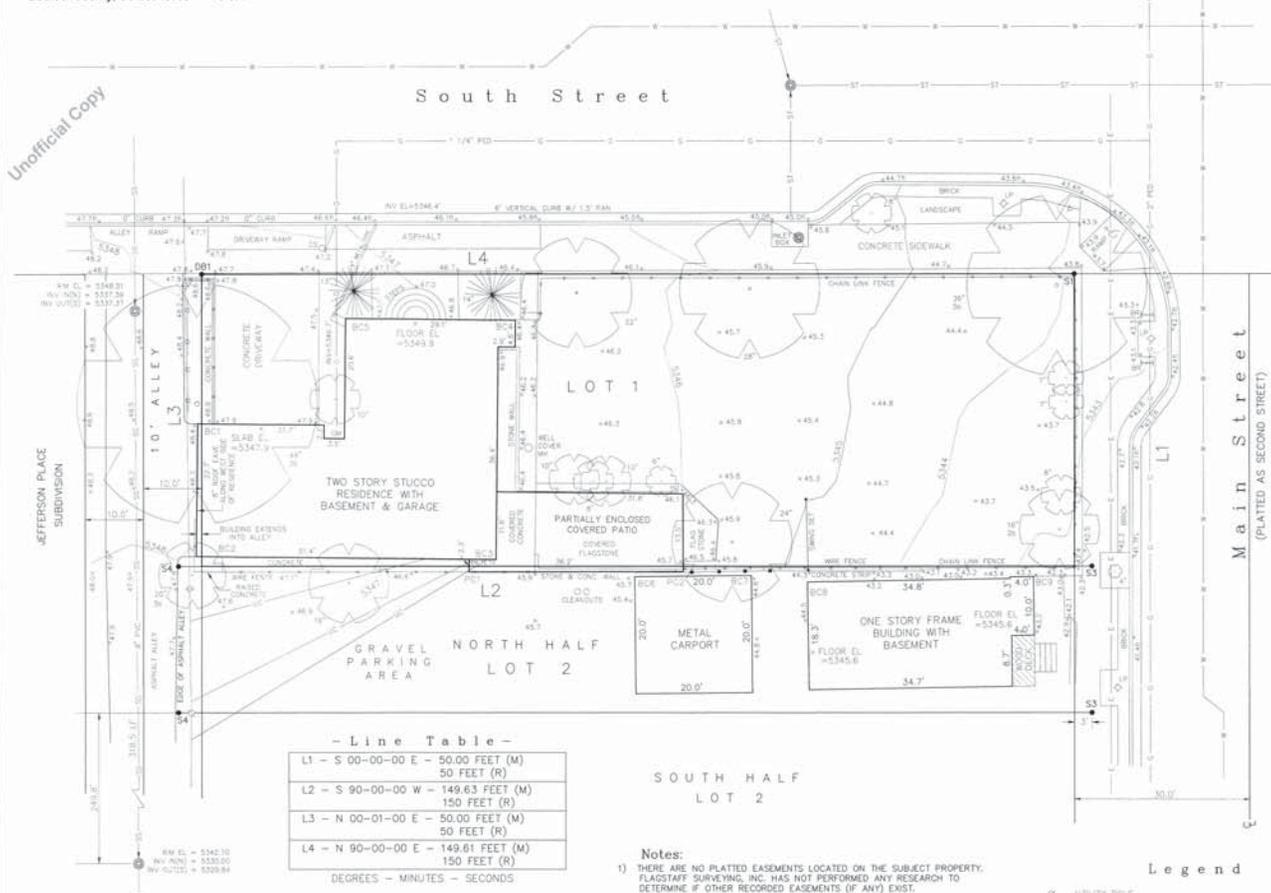
Sheet  
**A3**  
3 of 8 Sheets



# Improvement Survey Plat

824 South Street, Louisville  
 Located in the Southeast Quarter of Section 8,  
 Township 1 South, Range 69 West of the 6th P.M.,  
 County of Boulder, State of Colorado

Unofficial Copy



**- Line Table -**

L1 - S 00-00-00 E - 50.00 FEET (M)
50 FEET (R)
L2 - S 90-00-00 W - 149.63 FEET (M)
150 FEET (R)
L3 - N 00-01-00 E - 50.00 FEET (M)
50 FEET (R)
L4 - N 90-00-00 E - 149.61 FEET (M)
150 FEET (R)

DEGREES - MINUTES - SECONDS

**Property Description**  
 (PROVIDED BY THE CLIENT)

LOT 1,  
 BLOCK 5,  
 TOWN OF LOUISVILLE,  
 COUNTY OF BOULDER,  
 STATE OF COLORADO.

**Surveyor's Statement**

I, STEVEN J. SELLARS, A DULY REGISTERED LAND SURVEYOR, LICENSED IN THE STATE OF COLORADO, HEREBY STATE FOR AND ON BEHALF OF FLAGSTAFF SURVEYING, INC. THAT A SURVEY OF THE HEREIN DESCRIBED PREMISES WAS CONDUCTED BY ME AND UNDER MY DIRECT SUPERVISION, RESPONSIBILITY AND CHECKING DURING NOVEMBER 2014. THAT SAID SURVEY AND THE ATTACHED PRINT HEREON WERE MADE IN SUBSTANTIAL ACCORDANCE WITH C.R.S. 38-5-102 (9) "IMPROVEMENT SURVEY PLAT".

- Notes:**
- 1) THERE ARE NO PLATTED EASEMENTS LOCATED ON THE SUBJECT PROPERTY. FLAGSTAFF SURVEYING, INC. HAS NOT PERFORMED ANY RESEARCH TO DETERMINE IF OTHER RECORDED EASEMENTS (IF ANY) EXIST.
  - 2) ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT ON THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT ON THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
  - 3) THIS IMPROVEMENT SURVEY PLAT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF RONDA GRASSI AND NANCY WELCH.
  - 4) THIS IMPROVEMENT SURVEY PLAT AND THE INFORMATION HEREON SHOULD NOT BE USED FOR ANY ADDITIONAL OR EXTENDED PURPOSE BEYOND THAT FOR WHICH IT WAS INTENDED AND MAY NOT BE USED BY ANY PARTIES OTHER THAN THOSE TO WHICH IT IS CERTIFIED.
  - 5) BASIS OF BEARINGS: ASSUMED NORTH 00°01'00" EAST ALONG THE WEST LINE OF BLOCK 5, BETWEEN THE SURVEY MARKERS DESCRIBED HEREON.
  - 6) THE SUBJECT PROPERTY CONTAINS 7481 SQUARE FEET.
  - 7) VISIBLE UTILITIES HAVE BEEN SHOWN HEREON. UNDERGROUND UTILITIES HAVE BEEN SHOWN HEREON BASED UPON VISIBLE SURFACE EVIDENCE AND MAPS PROVIDED BY THE CITY OF LOUISVILLE AND XCEL ENERGY. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
  - 8) ALL UNDERGROUND UTILITIES SHOULD BE FIELD LOCATED BY THE APPROPRIATE AGENCY PRIOR TO ANY CONSTRUCTION OR DIGGING ON OR ADJACENT TO THE SUBJECT PROPERTY.
  - 9) BENCHMARK: NORTHWEST BARNETT BOLT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF MAIN STREET AND SOUTH STREET. ELEVATION = 5344.98 FEET, CITY OF LOUISVILLE DATUM.

**The Table for Building and Patio**

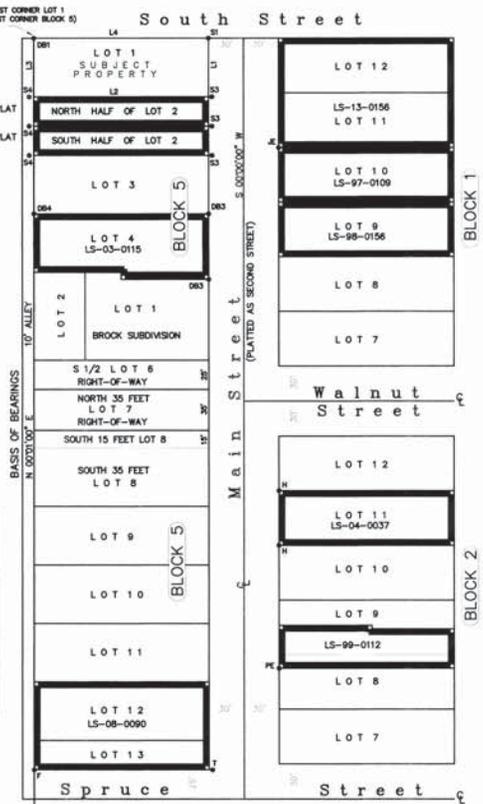
BUILDING CORNER	DISTANCE TO PROPERTY LINE
BC1	0.7' TO WEST LINE
BC2	0.9' TO WEST LINE
	1.7' TO SOUTH LINE
BC3	1.1' TO SOUTH LINE
BC4	7.9' TO NORTH LINE
BC5	7.4' TO NORTH LINE
BC6	1.8' TO SOUTH LINE
BC7	1.6' TO SOUTH LINE
BC8	2.7' TO SOUTH LINE
BC9	1.8' TO SOUTH LINE
BC1	1.3' TO SOUTH LINE
PC1	0.8' TO SOUTH LINE

PATIO CORNER (PC)  
 BUILDING CORNER (BC)

**Legend**

- Ø UTILITY POLE
- TE TELEPHONE BOX
- EM ELECTRIC METER
- GM GAS METER
- UC UTILITY CONNECTION
- LF LINEAR FEET
- CP CENTERLINE
- LP LIGHT POLE
- BR BIKE RACK
- S SIGN
- CS WATER CURB STOP
- CO CLEANOUT
- M MANHOLE
- 45.44 SPOT ELEVATION
- 41.28 ± SPOT ELEVATION AT FLOORLINE
- LS-09-0090 REFERS TO A LAND SURVEY PLAT FILED WITH THE COUNTY OF BOULDER LAND USE DEPARTMENT

- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- OVERHEAD UTILITY LINES
- GAS LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM LINE
- UNDERGROUND ELECTRIC LINES
- DECIDUOUS TREE WITH TRUNK DIAMETER
- CONIFER TREE WITH TRUNK DIAMETER
- FIVE BOLT TREE
- HANDICAP RAMP



**Survey Control**  
 SCALE: 1" = 50'

- Legend**
- SET #3 REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP MARKED "SELLARS LS 27615"
  - FOUND #5 REBAR WITH 2" DIAMETER ALUMINUM CAP 11 14693 SET BY PHILIP ENGLE
  - FOUND #6 REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP MARKED "SELLARS LS 27615 4" W.C.
  - FOUND 1 1/2" ALUMINUM CAP IN CONCRETE MARKED "SELLARS LS 27615 3" W.C.
  - FOUND 2 1/2" DIAMETER ALUMINUM CAP LS 2149 SET BY FRANK BREMEL
  - FOUND 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE LS 28385 SET BY LOREN SHANKS
  - FOUND #6 REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP LS 28385 SET BY LOREN SHANKS
  - FOUND 1/4" IN CONCRETE (DOT LOCALS) 3" BITUMAS CORNER
  - FOUND PK NAIL AND WASHES LS 16426 SET BY PLATONIS
  - WIRELESS CORNER
  - RECORD ON PLATTED INSTRUMENT
  - MEAS-H/D OR CALCULATED BY P.S. SURVEY

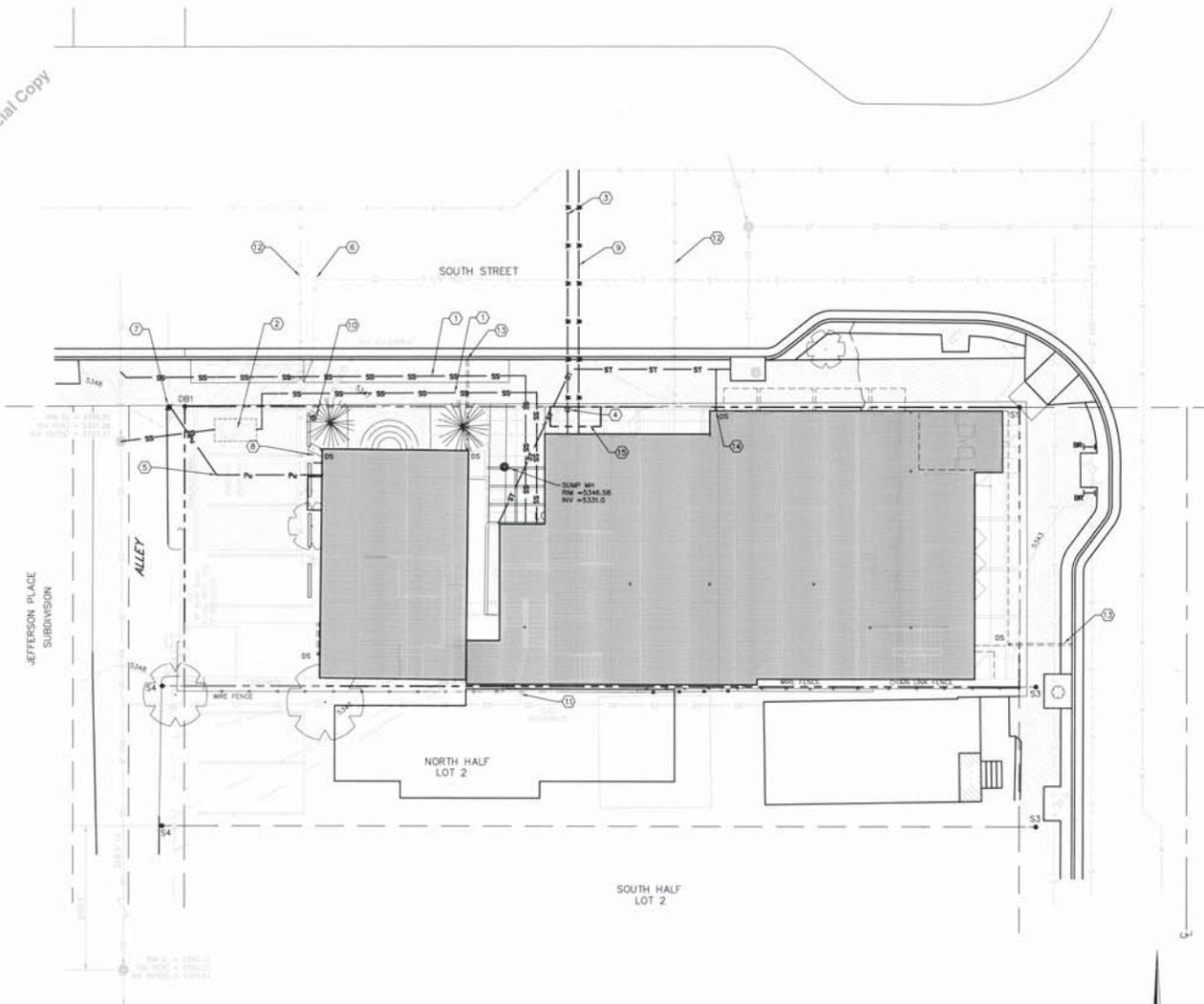
**Flagstaff Surveying, Inc.**  
 637 SOUTH BROADWAY, SUITE C  
 TABLE MESA SHOPPING CENTER  
 BOULDER, COLORADO 80305  
 303-499-9737  
 Steven.Sellars@flagstaffsurveying.com

STEVEN J. SELLARS DATE  
 COLORADO L.S. #27615  
 FLAGSTAFF SURVEYING JOB NO. 14-17122

NOVEMBER 26, 2014

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**LEGEND**

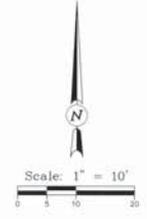
- UP UTILITY POLE
- TE TELEPHONE BOX
- EM ELECTRIC METER
- GM GAS METER
- UC UTILITY CONNECTION
- LF LINEAR FEET
- CL CENTERLINE
- LP LIGHT POLE
- BR BIKE RACK
- P SIGN
- CS WATER CURB STOP
- CO CLEANOUT
- M MANHOLE
- 45.4' SPOT ELEVATION
- 41.21' SPOT ELEVATION AT FLOWLINE
- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- OVERHEAD UTILITY LINES
- GAS LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM LINE
- UNDERGROUND ELECTRIC LINES
- DECIDUOUS TREE WITH TRUNK DIAMETER
- JUNPER TREE WITH TRUNK DIAMETER
- FIVE BOLE TREE
- HANDICAP RAMP
- DOWN SPOUT

**KEYED NOTES**

1. PROPOSED SANITARY SEWER SERVICE.
2. PROPOSED GREASE TRAP.
3. PROPOSED WATER SERVICE.
4. PROPOSED WATER METER AND CURB STOP VALVE.
5. PROPOSED UNDERGROUND POWER.
6. EXISTING GAS LINE TO REMAIN.
7. RELOCATE POWER POLE.
8. EXISTING GAS LINE TO REMAIN, STUB OFF OF EXISTING LINE FOR NEW BUILDING SERVICE.
9. PROPOSED AT FIRE SERVICE.
10. RELOCATED GAS METER.
11. APPROXIMATE LOCATION OF EXISTING SANITARY SEWER SERVICE TO BE REMOVED AND CAPPED.
12. EXISTING WATER METER AND LINE TO BE ABANDONED IN PLACE.
13. PROPOSED SIDEWALK DRAIN PIPE, CITY OF LOUISVILLE DETAIL.
14. PROPOSED ROOF DRAIN.
15. PROPOSED UTILITY EASEMENT.

**UTILITY NOTES**

1. ALL CITY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LOUISVILLE STANDARD SPECIFICATION.
2. WATER, FIRELINE, SEWER TAPS, AND SERVICE LINE SIZES SHALL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION.
3. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE DONE IN A WAY SO AS TO MINIMIZE DISRUPTION IN SERVICE TO EXISTING USERS.
4. THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREIN ARE BASED ON THE FIELD SURVEY BY FLAGSTAFF SURVEYING, INC. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREIN ARE BASED ON GAD SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). SCOTT, COX & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SCOTT, COX & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING OR OF ADJACENT TO THE SUBJECT PROPERTY.
5. BENCHMARK: NORTHWEST BONNET BOLT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF MAIN STREET AND SOUTH STREET, ELEVATION = 5344.88 FEET, CITY OF LOUISVILLE DATUM PER FLAGSTAFF SURVEYING, INC. DRAWING 171224-1, DATED NOVEMBER 26, 2014.



**824 SOUTH STREET**  
**MIXED USE DEVELOPMENT**  
 824 South St, Louisville CO 80027

SPECIAL REVIEW USE  
 FINAL PCD

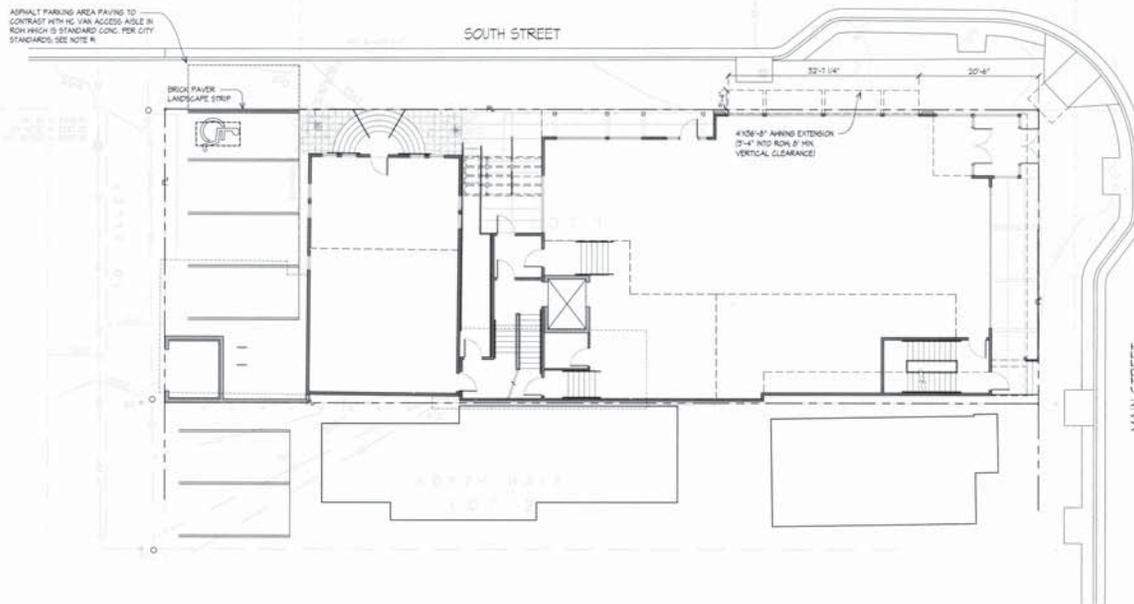
PROJECT # 1551  
 DATE: 5/25/16  
 DRAWN BY: JAG  
 CHECKED BY: DMS  
 REVISIONS: 02-12-18  
 PUD AMENDMENT 04-02-18  
 PUD AMENDMENT 05-02-18  
 PUD AMENDMENT 05/24/18

PRELIMINARY  
 UTILITY PLAN

Sheet  
**C1.01**  
 of Sheets

Unofficial Copy

NOTE:  
 1. THE ACCESS AREA OF THE HANDICAP PARKING SPACE SHALL BE MOVED ON TO THE PROPERTY IF THE CITY, AT ITS SOLE DISCRETION DETERMINES IN THE FUTURE THAT THE ACCESS AREA UNLAWFULLY RESTRICTS THE PUBLIC SIDEWALK AFTER THE PROJECT IS COMPLETED AND IN USE OR DETERMINES AN ALTERNATIVE USE OF THE RIGHT OF WAY IS DESIRED. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH RELOCATION OF THE PARKING SPACE, INCLUDING RESTORATION OF THE PUBLIC RIGHT-OF-WAY AND PAYMENT OF THE PARKING FEE-IN-LIEU THAT IS IN PLACE AT THE TIME THE DETERMINATION TO RELOCATE THE PARKING SPACE IS MADE.



824 SOUTH STREET - EXHIBIT 1  
 LICENSE AGREEMENT FOR THE FOLLOWING PURPOSES:  
 A.) PROPOSED REMOVABLE AWNINGS ALONG NORTH OF PROPERTY ENDOACH INTO ROW.  
 B.) PROPOSED HANDICAP ACCESSIBLE PARKING STALL HAS ADJACENT ACCESS AISLE IN THE ROW.  
 NOTE: ALL LICENSE AGREEMENTS ARE REVOCABLE BY THE CITY OF LOUISVILLE.

**A1 EX1** RIGHT OF WAY ENCROACHMENTS SITE PLAN  
 1" = 10'-0" FOR R.O.W. LICENSE AGREEMENT



**HARTRONFT ASSOCIATES**  
 A Professional Corporation

Planning  
 Architecture  
 Interior Design

950 Spruce Street, #2A  
 Louisville, CO 80027  
 TEL: 303.673.9304  
 FAX: 303.673.9319

**824 SOUTH ST / 957 MAIN ST**  
 824 South St / 957 Main St, Louisville CO 80027  
 Louisville, Block 5, Lot 1

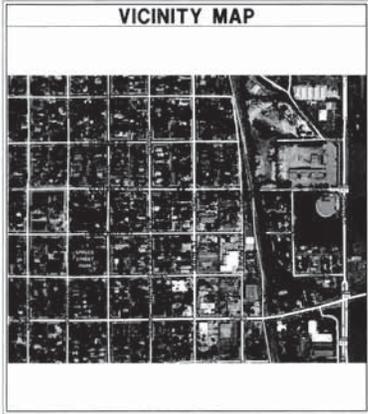
PLO PROJECT

PROJECT # 1857  
 DATE: 08/06/2015  
 DRAWN BY: HAPC  
 CHECKED BY: JSH  
 REVISIONS:  
 CC: 08/06/15  
 PLO AMEND #04/04/16  
 PLO AMEND #05/12/16/16  
 PLO AMEND #05/12/16/16

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 contained herein are the property of  
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 remain confidential and shall not be  
 used without written consent of  
 Hartronft Associates, Inc.

RIGHT OF WAY  
 ENCROACHMENTS  
 SITE PLAN

Sheet  
**EX-1**  
 of Sheets



### SIGNATURES

**Ownership Signature Block**  
 By signing this PUD, the owner acknowledges and accepts all the requirements and intent set forth in this PUD. Witness my hand (and seal) this 20<sup>th</sup> day of September 2019.

Owner Name and Signature:  
*Carole Hansen*  
 Owner Name and Signature:  
 Carole Hansen (Notary Seal)  
 Notary Name (print):  
 Carole Hansen  
 Notary Signature:  
 My Commission Expires: 12-4-2019

**CLERK AND RECORDER CERTIFICATE**  
 (COUNTY OF BOULDER, STATE OF COLORADO)  
 I hereby certify that this instrument was filed in my office at \_\_\_\_\_ o'clock \_\_\_\_\_ M. this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ and is recorded in Plan File \_\_\_\_\_ Fee \_\_\_\_\_ \$400 \_\_\_\_\_ File No. \_\_\_\_\_ Reception \_\_\_\_\_

Clerk & Recorder \_\_\_\_\_  
 Deputy \_\_\_\_\_

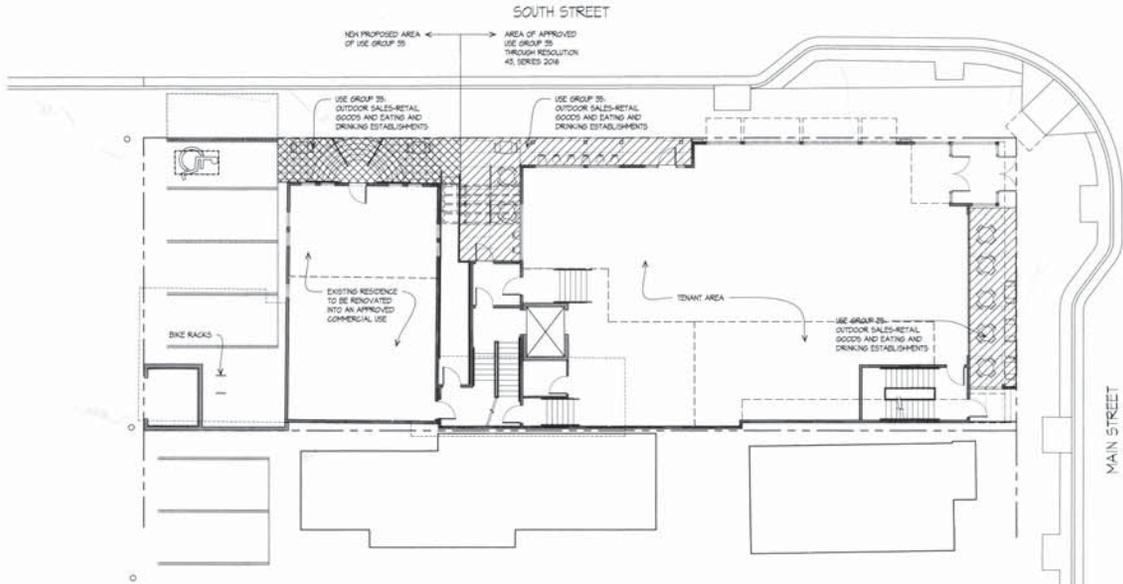
**CITY COUNCIL CERTIFICATE**  
 Approved this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ by the City Council of the City of Louisville, Colorado.  
 Resolution No. \_\_\_\_\_ Series \_\_\_\_\_  
*[Signature]* (City Seal)  
 Mayor Signature \_\_\_\_\_  
 City Clerk Signature \_\_\_\_\_

## SPECIAL REVIEW USE AMENDMENT #1

### 824 SOUTH STREET / 957 MAIN STREET

#### COMMERCIAL DEVELOPMENT

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8 TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



- 824 SOUTH STREET/957 MAIN ST - SPECIAL REVIEW USE
- NOTES:
- 1- EXISTING ZONING CC ALLOWS OUTDOOR SALES AND DRINKING ESTABLISHMENTS USES WHEN AUTHORIZED THROUGH A SPECIAL REVIEW USE.
  - 2- OUTDOOR ACTIVITY USES SHALL INCLUDE: OUTDOOR SALES AND EATING AND DRINKING ESTABLISHMENTS.
  - 3- OUTDOOR AMPLIFIED MUSIC SHALL BE PROHIBITED.
  - 4- NIGHTTIME HOURS OF OPERATION FOR THE OUTDOOR DINING AREAS SHALL NOT EXCEED PAST 12AM.
  - 5- THE EXISTING DWELLING UNIT WILL BE RENOVATED INTO NEW COMMERCIAL SPACE.

A1 SPECIAL REVIEW USE PLAN  
 1 1" = 10'-0"



824 SOUTH ST / 957 MAIN ST  
 824 South St / 957 Main St, Louisville CO 80027  
 Louisville, Block 5, Lot 1

SEU AMENDMENT #1  
 PROJECT # 1857  
 DATE: 08/06/2018  
 DRAWN BY: HAPC  
 CHECKED BY: JH  
 REVISIONS:  
 PLAN, PG 08/06/18  
 CC 08/06/18  
 SEU AMENDMENT # 08/24/18

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 All drawings and written information contained hereon are the property of Harttronft Associates, P.C. and shall not be used without the consent of Harttronft Associates, P.C.

SPECIAL REVIEW USE PLAN

Sheet  
 1  
 of 1 Sheets

**ITEM:** Case #PUD-0259-2019

**PLANNER:** Lisa Ritchie, AICP, Senior Planner

**APPLICANT:** Kevin Gzym  
Davis Partnership Architects

**OWNERS:** TFG Coal Creek Property, LLC

**EXISTING ZONING:** Commercial Business (CB)

**LOCATION:** 826 Coal Creek Circle; Lot 2 Coal Creek Business Park

**TOTAL SITE AREA:** 5.83 acres

**REQUEST:** Approval of Resolution No. 21, Series 2019, a resolution recommending approval of a request for a three-year extension of the approval of the Coal Creek Corporate Center 1 PUD Amendment A

**VICINITY MAP:**



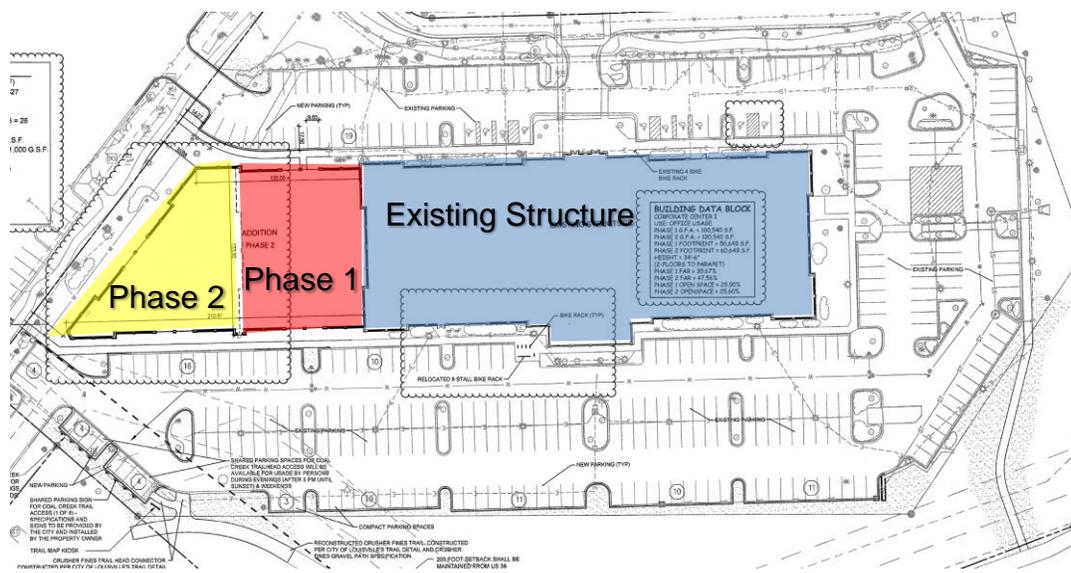
**SUMMARY:**

The applicant requests approval of a three-year extension to the Coal Creek Corporate Center Planned Unit Development (PUD) Amendment A. Due to changed circumstances related to the tenant’s expansion plans, the finalization of construction documents and building permit applications were delayed. Louisville Municipal Code (LMC) Section 17.28.200 states that the City may not issue building permits for work covered by a PUD more than 36 months following City Council approval of the PUD unless the City Council grants an extension. The City approved the original PUD on February 21, 2017. The applicants are requesting a three-year extension to December 6, 2022 to allow additional time for the expansion to take place.

**BACKGROUND:**

The property is located within the Coal Creek Business Park PUD which the City approved in 1998 and set the development parameters for the overall business park. Shortly following this approval, the City approved subsequent PUDs for development on the lots within the park, including the Coal Creek Corporate Center 1 PUD which governs the subject lot. On February 21, 2017, the City approved an amendment the Coal Creek Business Park PUD to increase the development capacity within the park, and an amendment to the Coal Creek Corporate Center 1 PUD to allow additions to the building located on Lot 2. The PUD authorized two phases of building expansion, along with modifications to parking areas and the addition of a trailhead and trail expansions connecting to the Coal Creek Trail and US 36 Bikeway. The first phase improvements add roughly 10,000 sf to the structure, and the second phase could add an additional 10,000 sf, for a total of 60,649 sf. Accompanying these approvals was a Floodplain Development Permit. However, the property is no longer in the floodplain as a result of the FIRM update earlier this year. To date, no building permits have been issued for the project.

PUD Amendment



**ANALYSIS:**

LMC Sec. 17.28.200 limits the timeframe for when the City may issue a building permit following the approval of a PUD to 36 months. Extension requests must follow the same public hearing procedures for a PUD Amendment application, including a public hearing before the Planning Commission and review by the City Council. The criteria for extension are the same criteria under which the City approved the original PUD.

Some of the reasons for having a 36-month limitation are to ensure that infrastructure is installed in a reasonable time frame and the development remains consistent with City policy and regulations. For example, City comprehensive plans, design standards and codes will change over time and a project meeting those standards at one point in time may not meet future policies and regulations. The expiration allows the City to reevaluate a project against current plans, policies and codes.

In this case, staff reviewed the PUD extension request against current City policy and regulations to understand if conditions have changed since the original approval three years ago. All relevant municipal codes, the City's Comprehensive Plan, and the Commercial Development Design Standards and Guidelines have not changed since the original approval of the PUD and staff finds the proposal continues to meet the policies and regulations set forth in these documents.

**STAFF RECOMMENDATION:**

Staff recommends approval of Resolution 21, Series 2019; recommending approval of the request for a three-year extension of the Coal Creek Corporate Center 1 PUD Amendment A to February 21, 2023.

**ATTACHMENTS:**

1. Resolution 21, Series 2019
2. Application Materials
3. Resolution 13, Series 2017
4. Original PUD, 1998
5. PUD Amendment A, 2017
6. City Council staff report, February 21, 2017

**RESOLUTION NO. 21  
SERIES 2019**

**A RESOLUTION RECOMMENDING APPROVAL OF A REQUEST FOR A THREE-YEAR EXTENSION OF THE APPROVAL OF THE COAL CREEK CORPORATE CENTER 1 PLANNED UNIT DEVELOPMENT AMENDMENT A**

**WHEREAS**, there has been submitted to the Louisville Planning Commission an application for a request for a three-year extension of the approval of the Coal Creek Corporate Center 1 PUD Amendment A; and

**WHEREAS**, City staff has reviewed the information submitted and found that the application complies with the Louisville zoning regulations and other applicable sections of the Louisville Municipal Code; and

**WHEREAS**, the Planning Commission has considered the application at a duly noticed public hearing on December 12, 2019, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission staff report dated December 12, 2019 ; and

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a request for a three-year extension of the approval of the Coal Creek Corporate Center 1 PUD Amendment A.

**PASSED AND ADOPTED** this 12<sup>th</sup> day of December, 2019.

By: \_\_\_\_\_  
Steve Brauneis, Chairperson  
Planning Commission

Attest: \_\_\_\_\_  
Debra Williams, Secretary  
Planning Commission

**LAND USE APPLICATION**

**CASE NO.** \_\_\_\_\_

**APPLICANT INFORMATION**

Firm: Davis Partnership Architects

Contact: Kevin Gzym

Address: 2901 Blake Street, Suite 100  
Denver, CO 80205

Mailing Address: Same as above

Telephone: 303.861.8555

Fax: 303.861.3027

Email: kevin.gzym@davispartnership.com

**OWNER INFORMATION**

Firm: TFG Coal Creek Property, LLC

Contact: Todd Twombly

Address: 60 State Street, 22nd Floor  
Boston, Massachusetts 02109

Mailing Address: Same as above

Telephone: 781.222.5931

Fax: -

Email: ttwombly@tritowerfinancial.com

**REPRESENTATIVE INFORMATION**

Firm: Davis Partnership Architects

Contact: Kevin Gzym

Address: 2901 Blake Street, Suite 100  
Denver, CO 80205

Mailing Address: Same as above

Telephone: 303.861.8555

Fax: 303.861.3027

Email: kevin.gzym@davispartnership.com

**PROPERTY INFORMATION**

Common Address: 826 Coal Creek Circle

Legal Description: Lot 2, Parcel 1 Blk

Subdivision Coal Creek Business Park

Area: 253,955 +/- (existing) Sq. Ft.

**TYPE (S) OF APPLICATION**

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: \_\_\_\_\_
- CMRS Facility: \_\_\_\_\_
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

**PROJECT INFORMATION**

Summary: This application is seeking a PUD Extension of the previously approved PUD Amendments and Variance requests.

NOV 01 2019

Current zoning: CB Proposed zoning: CB

**SIGNATURES & DATE**

Applicant: \_\_\_\_\_

Print: Tritower Financial Group

Owner: TFG Coal Creek LLC

Print: \_\_\_\_\_

Representative: Todd Twombly

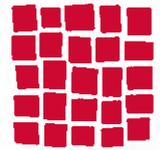
Print: \_\_\_\_\_

**CITY STAFF USE ONLY**

- Fee paid: \_\_\_\_\_
- Check number: \_\_\_\_\_
- Date Received: \_\_\_\_\_

October 25, 2019

City of Louisville  
Planning and Building Safety  
City Hall  
749 Main Street  
Louisville, CO 80027



**DAVIS**  
PARTNERSHIP  
ARCHITECTS

**Re: Coal Creek Corporate Center I Expansion – PUD Extension**

Dear Planning and Building Safety Staff:

As the Applicant and Representative on behalf of the Owner, TFG Coal Creek Property, LLC, please accept this Application for extension to the PUD(s) Approved by City Council on February 21, 2017. This request is being submitted due to unforeseen circumstances stemming from the building tenant's expansion timelines which has delayed the submittal for building permit. This application is requesting extension to all associated Variances approvals and amendments for the maximum period to allow for development of building permit documents.

In the attached documents, you will find the Land Use Application and associated fee.

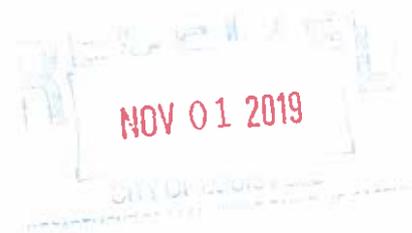
Sincerely,

Kevin Gzym, Architect  
Davis Partnership Architects. PC

**DENVER OFFICE**

2901 Blake Street, Suite 100  
Denver, CO 80205-2303  
T 303.861.8555  
F 303.861.3027

[www.davispartnership.com](http://www.davispartnership.com)



**RESOLUTION NO. 13  
SERIES 2017**

**A RESOLUTION APPROVING AN AMENDED PLANNED UNIT DEVELOPMENT FOR COAL CREEK BUSINESS PARK AND AMENDED PLANNED UNIT DEVELOPMENT FOR CORPORATE CENTER I COAL CREEK BUSINESS PARK FOR A 40,000 SQ. FT. OFFICE EXPANSION (LOT 2 AND TRACT B COAL CREEK BUSINESS PARK)**

**WHEREAS**, there has been submitted to the Louisville Planning Commission an application for approval of an amended Planned Unit Development for Coal Creek Business Park and Amended Planned Unit Development for Corporate Center I Coal Creek Business Park for a 40,000 sq. ft. office expansion on Lot 2 and Tract B Coal Creek Business Park; and

**WHEREAS**, the City Council has reviewed the information submitted and found that, subject to conditions, the application complies with the Louisville zoning regulations and other applicable sections of the Louisville Municipal Code; and

**WHEREAS**, after a duly noticed public hearing on January 12, 2017, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated January 12, 2017, the Planning Commission recommended approval with conditions.

**NOW THEREFORE, BE IT RESOLVED** that the City Council of the City of Louisville, Colorado does hereby approve Resolution No. X, Series 2017, a resolution approving an Amended Planned Unit Developments for Coal Creek Business Park and Amended Planned Unit Development for Corporate Center I Coal Creek Business Park for a 40,000 sq. ft. office expansion with the following conditions:

1. Prior to recordation of the PUDs and issuance of building permits, the applicant shall provide access easements in a form satisfactory to the City Attorney and Parks and Recreation Department for the trail connections.
2. Prior to recordation of the PUDs and issuance of building permits, the applicant shall amend the plans to include construction of a sign at the trailhead in accordance with the City of Louisville Open Space, Parks and Trail Wayfinding Plan

**PASSED AND ADOPTED** this 21<sup>ST</sup> day of February, 2017.

By. Robert P. Muckle  
Robert P. Muckle, Mayor

Attest. Meredyth Muth  
Meredyth Muth, City Clerk



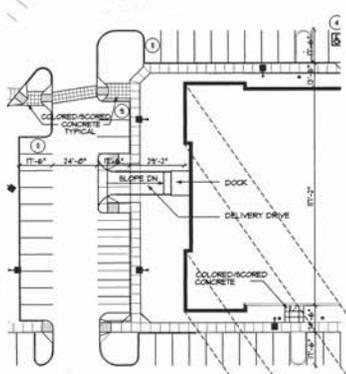
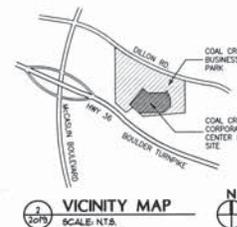


FINAL PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I**  
 COAL CREEK BUSINESS PARK  
 LOT 2, COAL CREEK BUSINESS PARK  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

SEM Architects Inc

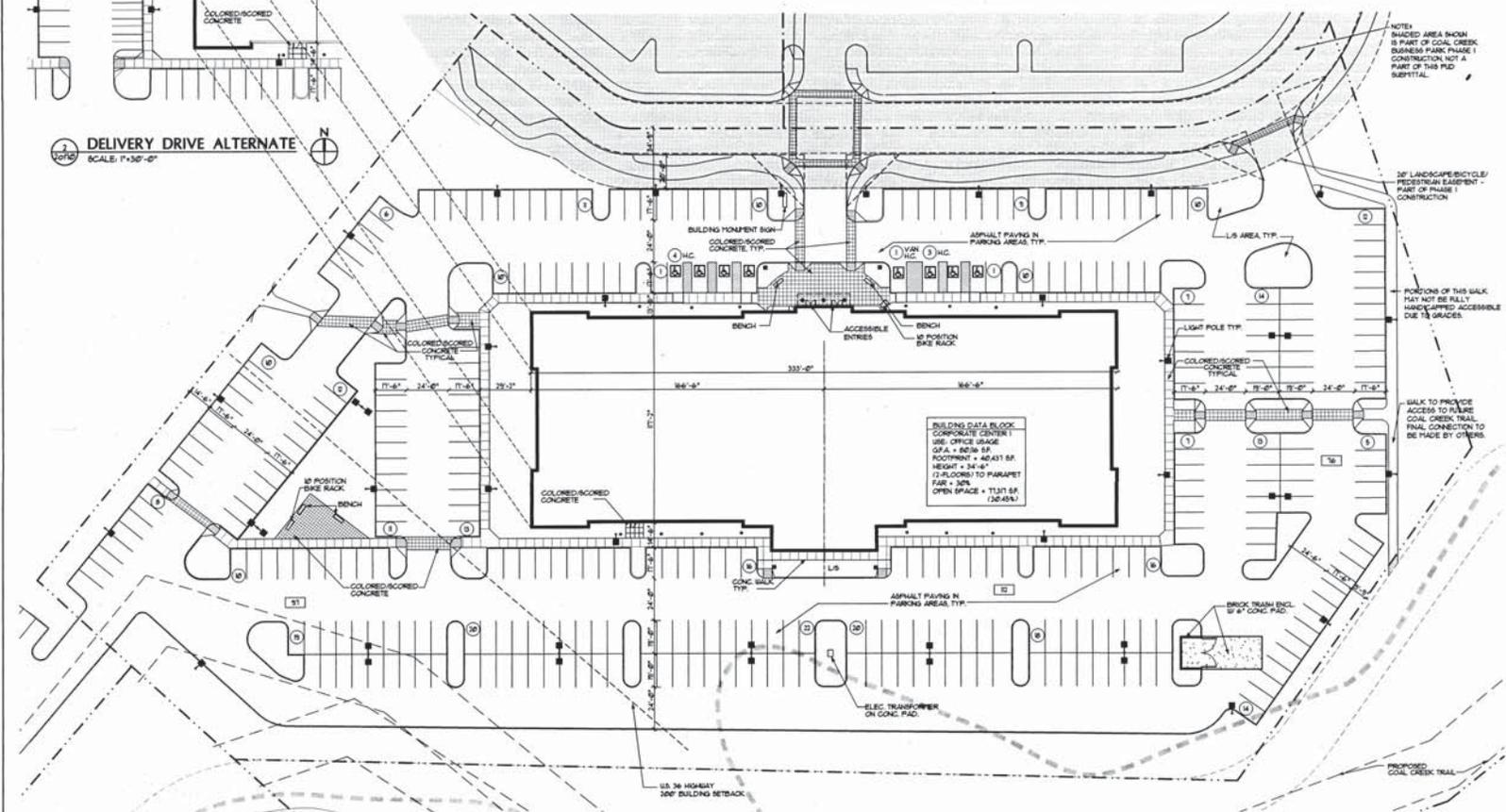
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677 South Colorado Blvd.  
 Suite 300  
 Denver, Colorado 80246  
 (303) 220-8900  
 (303) 220-0198 Fax



DELIVERY DRIVE ALTERNATE  
 SCALE: 1"=30'-0"

DRAWING PATH: T:\190222.00 Coal Creek Corp Ctr (V)PUD  
 DRAWING NAME: T:\190222.00 Coal Creek Corp Ctr (V)PUD\3110.DWG  
 PLOT DATE: Jan 18 09:46:22 WED 1998  
 PLOTTED BY: OTT



SITE PLAN  
 SCALE: 1"=30'-0"

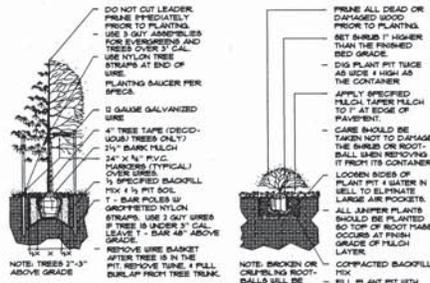
CORPORATE CENTER I  
 COAL CREEK BUSINESS PARK  
 LOUISVILLE, COLORADO  
 TRAMMELL CROW COMPANY

Date - 4/29/98  
 Proj No - 98022.01  
 Drawn - BBT  
 Checked - JEA

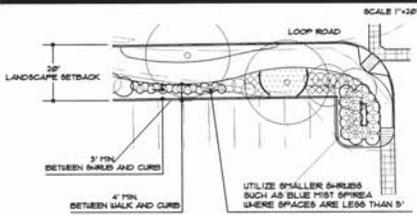
Date - Issue  
 2/23/98 - PUD SUBMITTAL  
 4/29/98 - FINAL PUD SUBMITTAL  
 5/19/98 - City Council Submittal  
 5/28/98 - FINAL PUD

Title - SITE PLAN

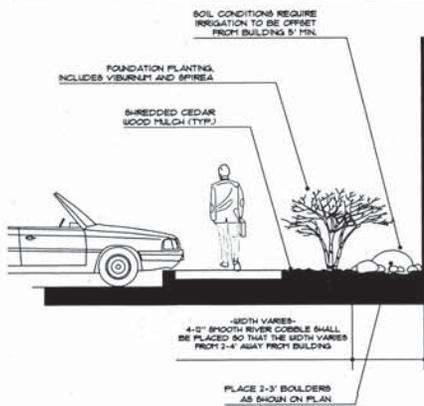
## PLANTING DETAILS



## LANDSCAPE SETBACK



## FOUNDATION LANDSCAPE



# FINAL PLANNED UNIT DEVELOPMENT

## COAL CREEK CORPORATE CENTER I

### COAL CREEK BUSINESS PARK

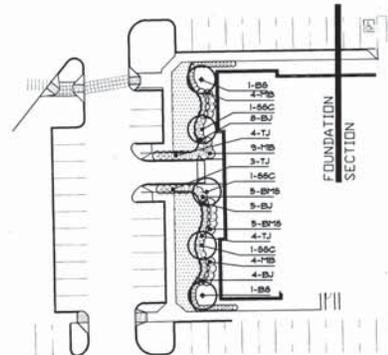
#### LOT 2, COAL CREEK BUSINESS PARK

#### CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

## LANDSCAPE NOTES

- REFER TO PLANS AND SPECIFICATIONS FOR INFORMATION REGARDING LANDSCAPE INSTALLATION.
- DO NOT DISTURB THE EXISTING LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS NOTED ON THE PLANS.
- SHRUB BEDS ARE TO BE CONTAINED BY 1/2" X 1/4" INTERLOCKING TYPE STEEL EDGER. NO EDGER IS REQUIRED WHEN BED IS ADJACENT TO CURBS, WALLS OR SLOPE.
- ALL TREE PITS AND SHRUB BEDS ARE TO RECEIVE 3" DEPTH OF SHREDDED CEDAR MULCH OVER LIVED CONTROL FABRIC. NO EDGER IS REQUIRED AROUND TREE PITS UNLESS OTHERWISE NOTED ON PLANS. INSTALL 4"-12" RIVER CORNICLE AND 3'-3' BOULDERS ADJACENT TO ALL STRUCTURES FOR A VARYING WIDTH OF 2'-4'.
- REFER TO SITE PLAN FOR GRADING, SIDE WALK, DRAINAGE, AND RIMP-RAP INFORMATION AND LOCATION.
- ALL LANDSCAPED AREAS ARE TO RECEIVE THE APPROPRIATE SOIL PREPARATION AS REQUIRED BY THE CITY OF LOUISVILLE.
- ALL TREES ARE TO BE STAKED OR GUYED PER DETAILS FOR A PERIOD OF ONE YEAR.
- PRIOR TO COMMENCEMENT OF WORK, VERIFY THAT ALL GRADES ARE CORRECT AND THAT TOP SOIL HAS BEEN SPREAD OVER ALL AREAS TO BE SEEDED AND/OR PLANTED.
- CONSTRUCTION OF SIDEWALKS SHALL BE ACCORDING TO CITY OF LOUISVILLE REQUIREMENTS.
- THE QUALITY OF PLANT MATERIAL SELECTED WILL FOLLOW THE GUIDELINES OF THE 'AMERICAN STANDARDS FOR NURSERY STOCK' BY THE AMERICAN ASSOCIATION OF NURSERMEN UNLESS OTHERWISE INDICATED.
- ALL LANDSCAPED AREA SHALL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN A HEALTHY AND GROWING CONDITION. THE PARCEL DEVELOPER SHALL REPLACE PLANT MATERIAL IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY WHEN NECESSARY, AND KEEP THE GROUNDS FREE OF REFUSE AND DEBRIS.
- FINAL LANDSCAPE AND IRRIGATION CONSTRUCTION DRAWINGS SHALL BE SUBMITTED TO THE CITY OF LOUISVILLE FOR REVIEW AND APPROVAL.
- WHERE PLANTABLE SPACE IS LESS THAN 8' ALONG THE LOOP ROAD, NO EVERGREEN TREE PLANTING SHALL OCCUR. THE EVERGREEN STREET TREES ARE INTENDED TO BE LINED UP WHERE INTERFERENCE WITH SIDEWALKS MAY OCCUR. UTILIZATION OF PINON PINE ALONG THE STREET CORRIDOR SHALL ALSO LESSEN THEIR INTERFERENCE WITH SIDEWALKS.
- ALL RETAINING WALLS SHALL BE CONSTRUCTED OF BUFF COLORED PRECAST MODULAR BLOCKS, KEYSTONE OR EQUAL.

## ALTERNATE LOADING AREA



## LANDSCAPE PLANT LIST

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
<b>DECIDUOUS TREES</b>				
1	RO	RED OAK	QUERCUS RUBRA	3" CAL. B&B SPECIFEN
36	PH	SHAG BASTER HONEYLOCUST PATMORE ASH	ALBICOR TRACARDUS HENRIUS 'SHAG BASTER' FRAXINUS PENN. 'PATMORE'	3" CAL. B&B SPECIFEN
<b>EVERGREEN TREES</b>				
31	AP	AUSTRIAN PINE	PINUS NORA	NOTE: 25% TO BE 8' HT. 6'-8' HT. SPECIFEN
10	BS	COLORADO BLUE SPRUCE	PICEA PUNGENS VAR. GLAUCA	6'-8' HT. SPECIFEN
3	CS	COLORADO SPRUCE	PICEA PUNGENS	6'-8' HT. SPECIFEN
<b>ORNAMENTAL TREES</b>				
11	SC	SPRING SHOU CRAB	MALUS 'SPRING SHOU'	2" CAL. B&B SPECIFEN
3	AM	FLAME AMUR MAPLE	ACER TATARICUM GINNALA 'FLAME'	8'-10" CLUMP. B&B SPECIFEN
1	JL	JAPANESE TREE LILAC	8'-10" CLUMP. B&B SPECIFEN	
8	CR	CANADA RED CHERRY	PRUNUS VIRGINIANA RELANCOGARA 'HARDY'	2" CAL. B&B SPECIFEN
1	TH	THORNLESS COCKSPUR Hawthorne	CRATAEGUS CRUS-GALLI VAR. NERITA	2" CAL. B&B SPECIFEN
<b>EVERGREEN SHRUBS</b>				
231	BU	BUFFALO JAMPER	JUNIPERUS SABINA 'BUFFALO'	1 1/2" @ 25% min.
64	TJ	TAPPY JUNIPER	JUNIPERUS CHINENSIS TAMARISCOPOLIA	1 1/2" @ 25% min.
<b>DECIDUOUS SHRUBS</b>				
165	AW	ANTHONY WATERER SPIREA	SPIREA JAPONICA 'ANTHONY WATERER'	1 1/2" @ 25% min.
28	BY	BLUE YEW SPIREA	CARYOPHTERIS X CLAUDONENSIS	1 1/2" @ 25% min.
148	BR	BAILEY REDTIG DOGWOOD	CORNUS SERICEA 'BAILEY'	1 1/2" @ 25% min.
62	CP	CISTENA PLUM	PRUNUS CISTENA	1 1/2" @ 25% min.
36	DK	DWARF KOREAN LLAC	BYRONIA 'TETENS'	1 1/2" @ 25% min.
2	MB	MENTOR BARBERRY	BENBERGIA X MENTONENSIS	1 1/2" @ 25% min.
26	RS	YELLOW SHRUB ROSE	ROSA X 'GOLDEN BRAG'	1 1/2" @ 25% min.
14	PK	PURPLE-RED SHUB ROSE	ROSA X 'NANA'	1 1/2" @ 25% min.
16	RB	RABBIT BRUSH	CHRYSOTHEMUM NAUSEOSUS ALBICALLIS	1 1/2" @ 25% min.
75	VB	VANHOUTE'S SPIREA	SPIREA VANHOUTEI	1 1/2" @ 25% min.
51	VD	AMRWOOD VIBURNUM	VIBURNUM DENTATUM	1 1/2" @ 25% min.
<b>PERENNIAL FLOWERS</b>				
80	TYC	TALL COPPON YARROW	ACHILLEA FILIPENDULINA 'PARKERS VARIETY'	1 GAL. CONT.
25	GF	GAYFEATHER	Liatris	1 GAL. CONT.
82	DDC	DWARF DOUBLE CORNOPSIS	CORNOPSIS GRANDIFLORA 'DUNKAY'	1 GAL. CONT.
48	RD	RED DAYLILY	HEMEROCALLIS SP.	1 GAL. CONT.
20	DD	DOUBLE SHASTA DAISY	LEUCANTHEMUM X SUPERBUM 'AGLALA'	1 GAL. CONT.
24	BB	BLACK EYED SUSAN	RUDBECKIA PULGIDA 'GOLDSTARY'	1 GAL. CONT.

- IRRIGATED TALL FESCUE SOD \_\_\_\_\_ 50% FESCUE/BLUEGRASS MIX \_\_\_\_\_
- NON-IRRIGATED NATIVE SEED \_\_\_\_\_
- EXISTING LANDSCAPE (PHASE ONE) \_\_\_\_\_
- 17- BOULDERS \_\_\_\_\_

SEM Architects Inc



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 (303) 220-8708 Fax

COAL CREEK CORPORATE CENTER I  
 COAL CREEK BUSINESS PARK  
 LOUISVILLE, COLORADO

TRAMMELL CROW COMPANY

Date: 1-4-88  
 Proj. No.: 480222-01  
 Drawn: JDS  
 Checked: JH

Date: Issue  
 2-28-88 - FINAL P.U.D.  
 4-2-88 - REVISED P.F.U.D.  
 4-15-88 - FINAL P.U.D.  
 5-7-88 - REVISED P.F.U.D.  
 5-11-88 - CITY COUNCIL SUBM.  
 5-28-88 - CITY COUNCIL REV.  
 6-4-88 - CITY COUNCIL REV.2

Title: LANDSCAPE PLAN





DRAWING PATH: T:\180222.00 Coal Creek Corp. CH (V)DWG  
 DRAWING NAME: T:\180222.00 Coal Creek Corp. CH (V)DWG\6110\_400.dwg

PLOTTED BY: DTT

PLOT DATE: Jun 15 11:46:46 AM 1998

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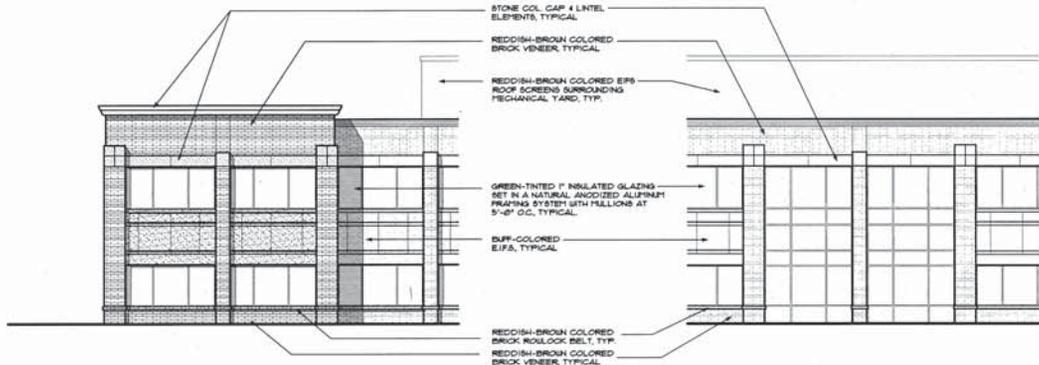
677 South Colorado Blvd.  
 Suite 200  
 Denver, Colorado 80246  
 (303) 220-8900  
 (303) 220-0708 Fax



**ENLARGED MAIN ENTRY ELEVATION**  
 SCALE: 1/8" = 1'-0"



**ENLARGED ELEVATION**  
 SCALE: 1/8" = 1'-0"



**ENLARGED CORNER ELEVATION**  
 SCALE: 1/8" = 1'-0"

**ENLARGED FULL HEIGHT GLASS BAY**  
 SCALE: 1/8" = 1'-0"

**CORPORATE CENTER I  
 COAL CREEK BUSINESS PARK**

LOUISVILLE, COLORADO

TRAMMELL CROW COMPANY

Date - 07/9/97  
 Proj. No. - 980222.01  
 Drawn - DTT  
 Checked - JEA

Date - Issue  
 2/23/98 - PUD SUBMITTAL  
 4/13/98 - PUD SUBMITTAL  
 5/28/98 - FINAL PUD

Title - ENLARGED EXTERIOR ELEVATIONS

**6 of 10**

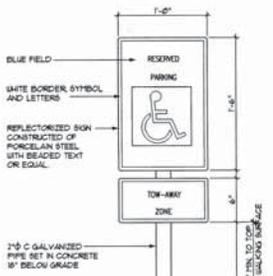
COAL CREEK BUS PARK  
 CO CORPORATE CENTER I  
 6 OF 10

FINAL PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I**  
 COAL CREEK BUSINESS PARK  
 LOT 2, COAL CREEK BUSINESS PARK  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

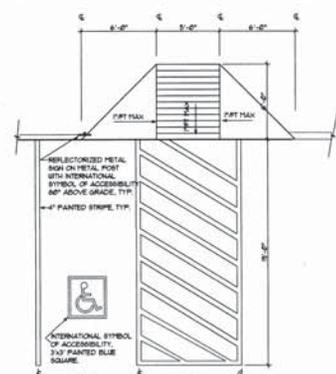
SEM Architects Inc

Architecture  
 Planning  
 Engineering

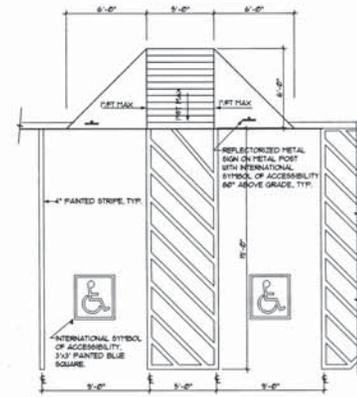
677 South Colorado Blvd  
 Suite 200  
 Denver, Colorado 80246  
 (303) 220-8900  
 (303) 220-0708 Fax



**HANDICAPPED SIGN**  
 SCALE: NTS  
 RE: SITE PLAN FOR LOCATIONS



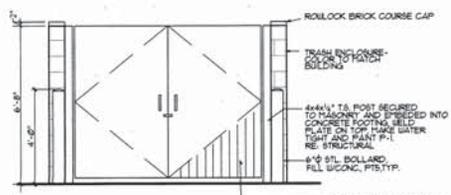
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 SCALE: NTS



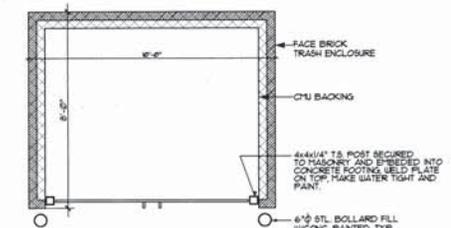
**TYPICAL ACCESSIBLE PARKING**  
 SCALE: NTS



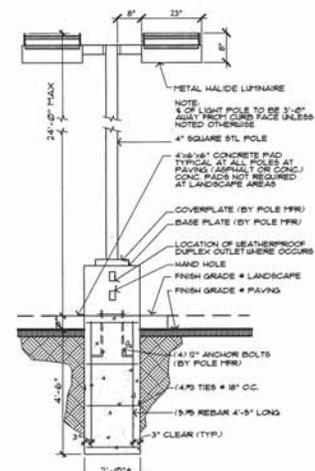
**MONUMENT SIGN**  
 SCALE: NTS



**TRASH ENCLOSURE ELEVATION**  
 SCALE: NTS



**TRASH ENCLOSURE PLAN**  
 SCALE: NTS



**LIGHT DETAIL**  
 SCALE: NTS

PROPOSED MATERIALS AND COLORS	SCHEME
MASONRY AND/OR BRICK	DOVER RED
EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)	BUFF
CONCRETE TILE ROOF	COLORADO BLEND
TRIM	CLASSIC COPPER AGED COPPER
STOREFRONT	CLEAR ANODIZED ALUMINUM

**MATERIALS & COLORS**  
 SCALE: NTS

CORPORATE CENTER I  
 COAL CREEK BUSINESS PARK  
 LOUISVILLE, COLORADO  
 TRAMMELL CROW COMPANY

Date - 2/26/98  
 Proj. No. - 98022.01  
 Drawn - BRW/DTT  
 Checked - JEA

Date - Issue  
 2/23/98 - PUD SUBMITTAL  
 4/13/98 - PUD SUBMITTAL  
 5/26/98 - FINAL PUD  
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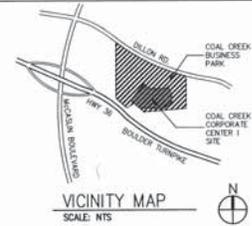
Title - SITE DETAILS

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 DRAWING NAME: T:\98022.01 Coal Creek Corp. Ch. 1\1001\101.DWG  
 PLOT DATE: Jun 15 11:54:22 AM 1998  
 PLOTTED BY: DTT



PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I**  
 COAL CREEK BUSINESS PARK

A PART OF THE N.W. 1/4 SECTION 19 AND THE S.W. 1/4 OF SECTION 18  
 T.1 S., R.69 W., OF THE 6TH P.M.  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

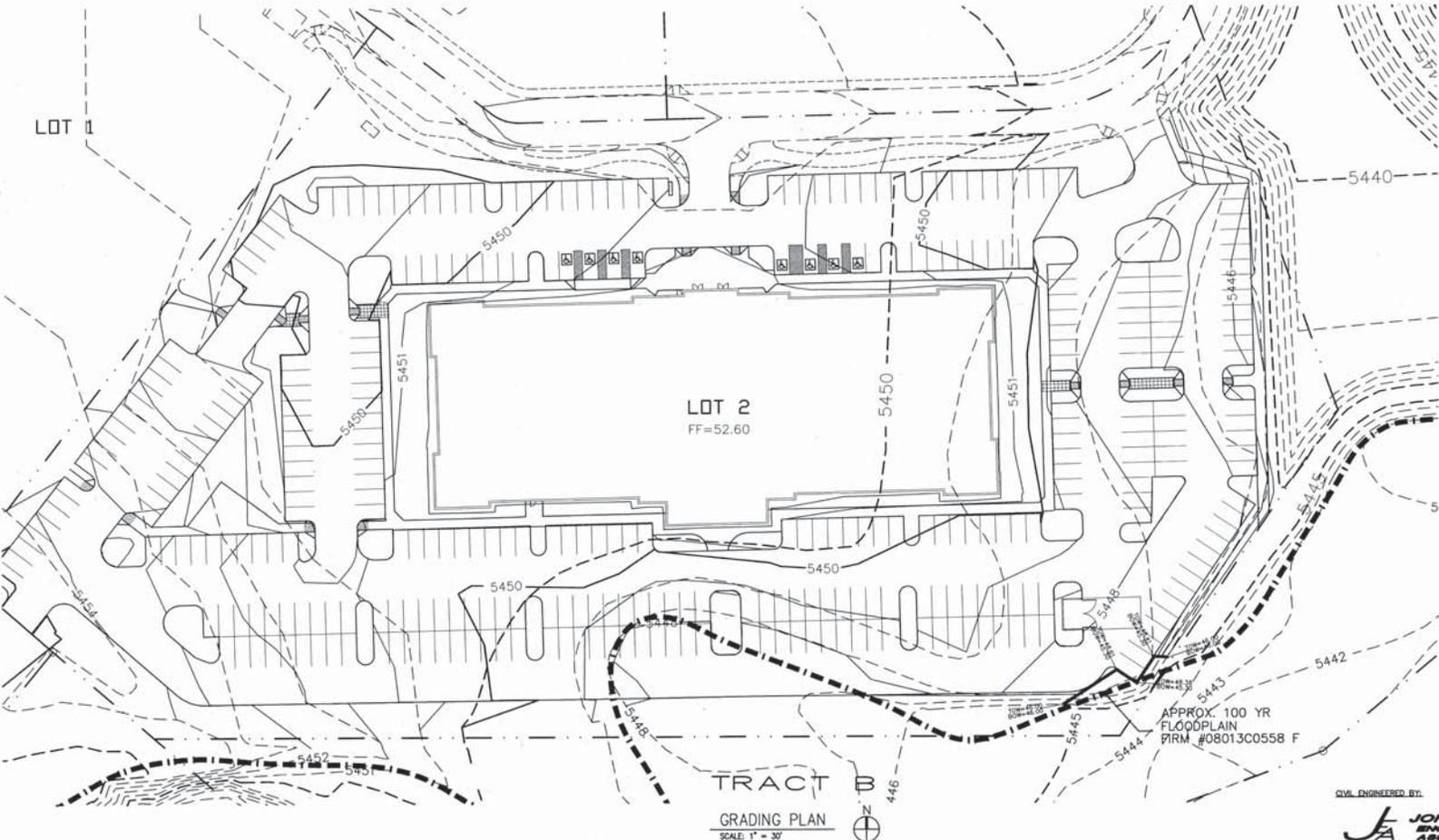


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677 South Colorado Blvd.  
 Suite 200  
 Denver, Colorado 80246  
 (303) 220-6900  
 (303) 220-0708 Fax

VICINITY MAP  
 SCALE: NTS



**LEGEND**

- PROPERTY LINE
- - - EASEMENT LINE
- - - FIRE LANE (FD)
- - - EXIST. CONTOUR LINE
- - - NEW CONTOUR LINE
- ▨ PAVED STRIPING (GROSS MARK)
- △ H.C. CURB RAMP

TRACT B  
 GRADING PLAN  
 SCALE: 1" = 30'

CIVIL ENGINEERED BY:  
  
**JOHNSTON ENGINEERING ASSOCIATES, INC.**  
 215 UNION BOULEVARD SUITE 301 LAKEWOOD, COLORADO 80238  
 (303) 969-9001 (TEL) (303) 969-9019 (FAX)

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**CORPORATE CENTER I  
 COAL CREEK BUSINESS PARK**  
 LOUISVILLE, COLORADO  
 TrammellCrowCompany

Date: FEBRUARY 20, 1998  
 Proj No: 98023.01  
 Drawn: PRW/JCA  
 Checked: PRW/JCA

Date: Issue  
 2/23/98: PLD Submittal  
 4/12/98: Revised per comments  
 5/11/98: City Council Submittal

Title: GRADING PLAN

9 of 10

COAL CREEK BUS PARK  
 CO CORPORATE CENTER I  
 9 OF 10

PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I**  
 COAL CREEK BUSINESS PARK

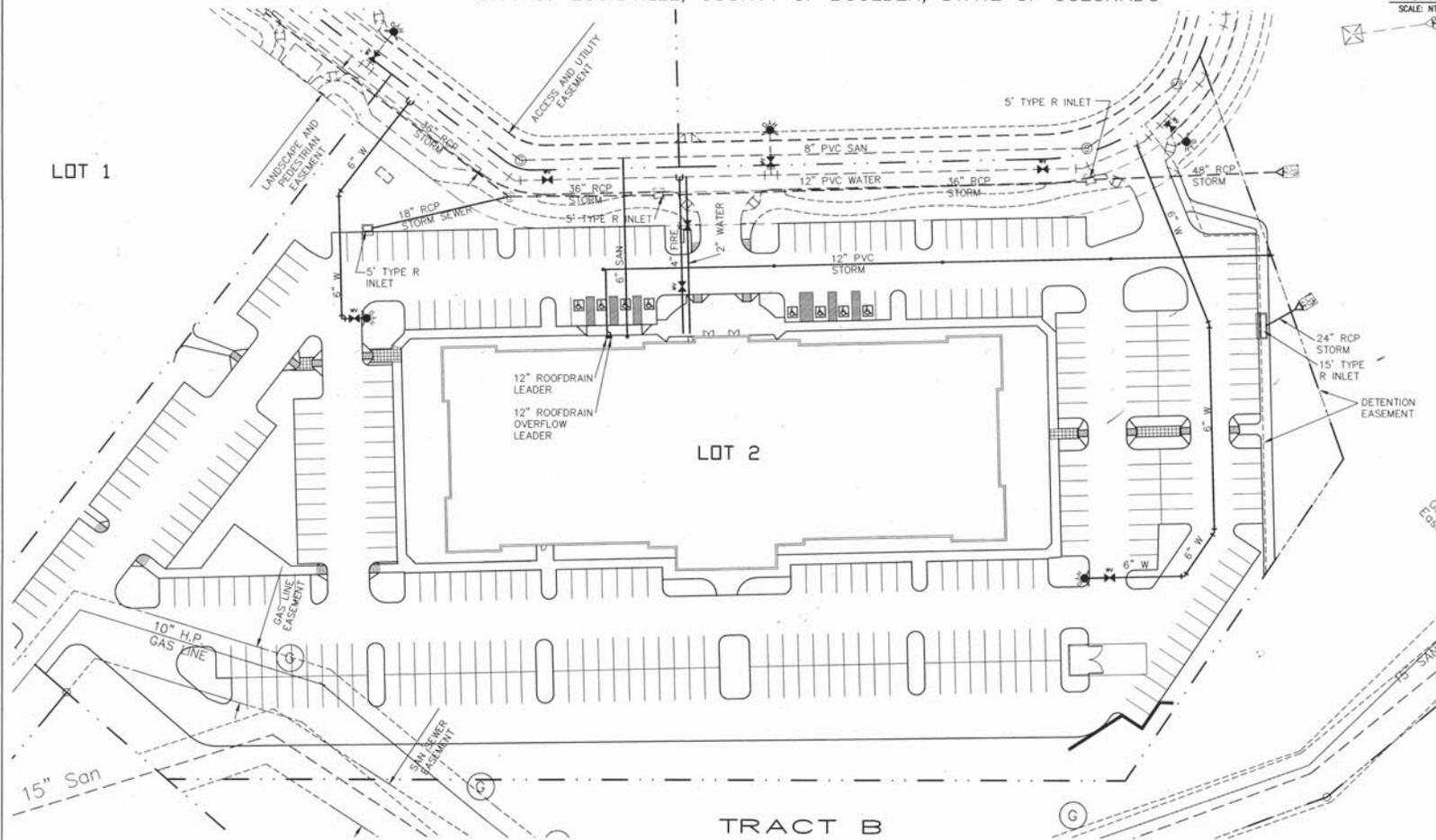
A PART OF THE N.W. 1/4 SECTION 19 AND THE S.W. 1/4 OF SECTION 18  
 T.1 S., R.69 W., OF THE 6TH P.M.  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



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LOT 1



UTILITY PLAN  
 SCALE: 1" = 30'

TRACT B

**LEGEND**

---	PROPERTY LINE
- - -	EASEMENT LINE
12" PVC	EX. WATER LINE W/ VALVE AND FAL
18" RCP	EX. SANITARY SEWER W/ MANHOLE
36" RCP	EX. STORM SEWER W/ INLET AND FES
48" RCP	EX. STORM SEWER MANHOLE
10" H.P.	EX. GAS LINE W/ MARKER
12" W	NEW WATER LINE W/ VALVE AND FAL
12" SAN	NEW SANITARY SEWER W/ MANHOLE
12" RCP	NEW STORM SEWER W/ INLET AND FES
12" RCP	NEW STORM SEWER MANHOLE
○	CLEANOUT

**CORPORATE CENTER I**  
**COAL CREEK BUSINESS PARK**  
 LOUISVILLE, COLORADO  
 TrammellCrowCompany

Date: FEBRUARY 20, 1998  
 Proj. No.: 98022.01  
 Drawn: PRW/JEA, INC.  
 Checked: PRW/JEA, INC.

Date: issue  
 2/23/98 - PUD Submittal  
 4/12/98 - Revised per comments  
 5/11/98 - City Council Submittal

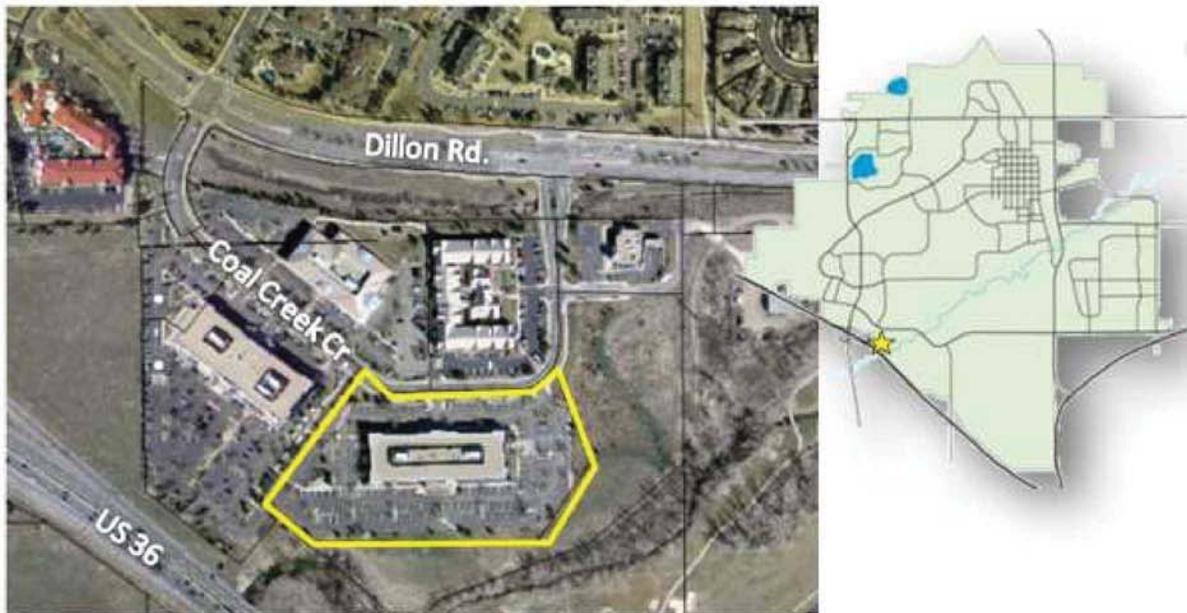
Title: UTILITY PLAN

CIVIL ENGINEERED BY:  
**JOHNSTON**  
**ENGINEERING**  
**A-SERVICES INC.**  
 CIVIL ENGINEERING AND LAND SURVEYING  
 215 UNION BOULEVARD SUITE 301 LAWRENCE, COLORADO 80028  
 (303) 968-8001 (TELE) (303) 968-8016 (FAX)

**SUBJECT:** RESOLUTION NO. 7, SERIES 2017 – A RESOLUTION APPROVING AN AMENDED PLANNED UNIT DEVELOPMENT FOR COAL CREEK BUSINESS PARK AND AMENDED PLANNED UNIT DEVELOPMENT FOR CORPORATE CENTER I COAL CREEK BUSINESS PARK FOR A 40,000 SQ. FT. OFFICE EXPANSION (LOT 2 AND TRACT B COAL CREEK BUSINESS PARK) – MEDTRONIC EXPANSION

**DATE:** FEBRUARY 21, 2017

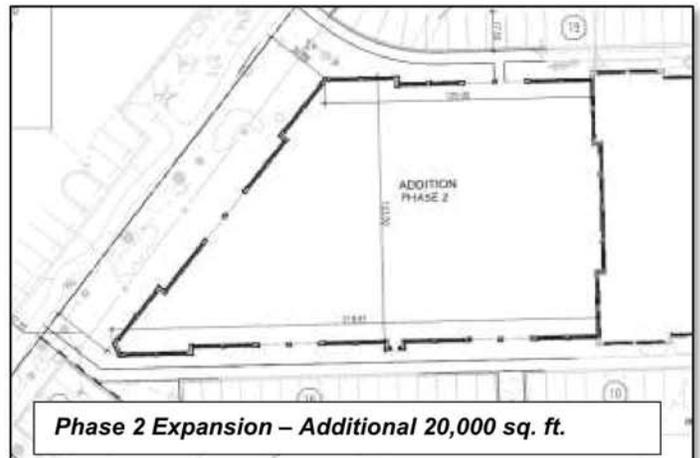
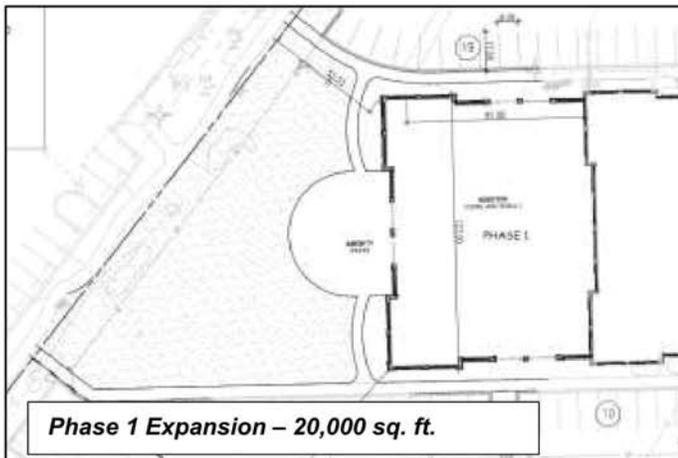
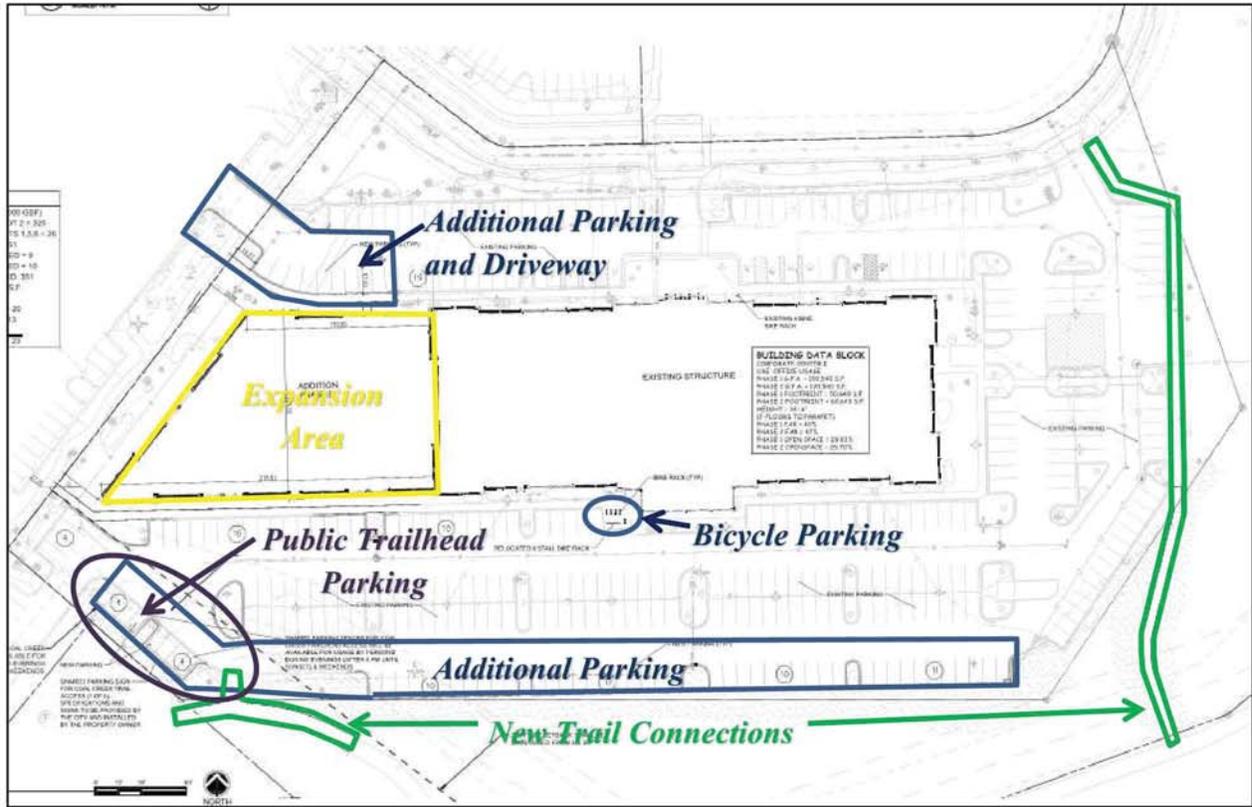
**PRESENTED BY:** ROBERT ZUCCARO, PLANNING AND BUILDING SAFETY DIRECTOR



**PROPOSAL:**

The applicant, Davis Partnership Architects, requests approval of amended Planned Unit Developments (PUDs) for Coal Creek Business Park and Corporate Center 1 Coal Creek Business Park for a 40,000 sq. ft. expansion of the existing 79,533 sq. ft. office building. The current tenant, Medtronic, requests the expansion be done in two phases, a 20,000 sq. ft. initial expansion with the option for a second 20,000 sq. ft. expansion if Medtronic were to need additional space in the future. The proposal also includes removal of parking on the west side of the existing office building to accommodate the expansion; the addition of parking on the north side of the expansion area and along the southern lot boundary; additional bicycle parking at the building entrance;

establishment of public trail head parking for the Coal Creek Trail; trail improvements and connections to the Coal Creek Trail within the adjacent open space parcel; and drainage and water quality improvements for the new development.



The property is governed by two PUDs – a PUD that covers the entire office park (Coal Creek Business Park PUD), and a site specific PUD for this office building (Corporate Center I PUD). Approval of the project requires amendments to both PUDs.

*Coal Creek Business Park PUD*

The applicant requests increases to the Coal Creek Business Park PUD Maximum Building Area for both the business park as a whole and for the subject parcel to accommodate the proposed expansion. The proposal is to increase the building area for Lot 2 from 32% of lot area to 47.5% of lot area; and to increase the maximum area for the office park from 280,000 sq. ft. of gross area and 250,000 sq. ft. of net leasable area to 318,000 sq. ft. of gross area and 284,000 sq. ft. of net leasable area. The original PUD allows unused density to be transferred to other parcels. However, the unused area (approximately 8,600 sq. ft.) is not enough to accommodate the proposed expansion.

**MAXIMUM BUILDING AREA: *Existing PUD***

DEVELOPABLE LOTS		
LOT #	ACRES	CAP/LOT
1	5.14	34%
2	5.83	32%
3	1.38	10%
4	2.98	50%
5	3.86	32%
6	0.95	10%
OPEN/PUBLIC SPACES		
TRACT A	0.15	N/A
TRACT B	5.02	N/A
R.O.W.	0.18	N/A
TOTALS	25.49	

ALL LOTS SUBJECT TO LOUISVILLE CITY STANDARDS AND GUIDELINES. NOTWITHSTANDING THOSE GUIDELINES, THE FOLLOWING CONDITIONS SHALL APPLY:

1. MAXIMUM BUILDING AREA IN THE DEVELOPMENT IS LIMITED TO 280,000 SQUARE FEET BASED ON APPROXIMATELY 250,000 SQUARE FEET OF NET LEASABLE AREA.
2. MAXIMUM DENSITY/LOT SHALL NOT EXCEED CAP WITHOUT APPROVAL OF ALL REMAINING UNDEVELOPED LOT OWNERS.
3. UNUSED DENSITY ON AN INDIVIDUAL LOT MAY BE TRANSFERRED TO ANY OTHER LOT

**MAXIMUM BUILDING AREA: *Proposed PUD***

DEVELOPABLE LOTS			EXISTING CONSTRUCTED SIZE <sup>1</sup>
LOT #	ACRES	CAP/LOT	AREA (GROSS SQ. FT.)
1	5.14	34%	78,422
2	5.83	47.5%	79,533
3	1.38	10%	6,119
4	2.98	50%	60,704
5	3.86	32%	52,734
6	0.95	10%	COMBINED WITH LOT 1
OPEN/PUBLIC SPACES			
TRACT A	0.15	N/A	N/A
TRACT B	5.02	N/A	N/A
R.O.W.	0.18	N/A	N/A
TOTALS	25.49		

ALL LOTS SUBJECT TO LOUISVILLE CITY STANDARDS AND GUIDELINES. NOTWITHSTANDING THOSE GUIDELINES, THE FOLLOWING CONDITIONS SHALL APPLY:

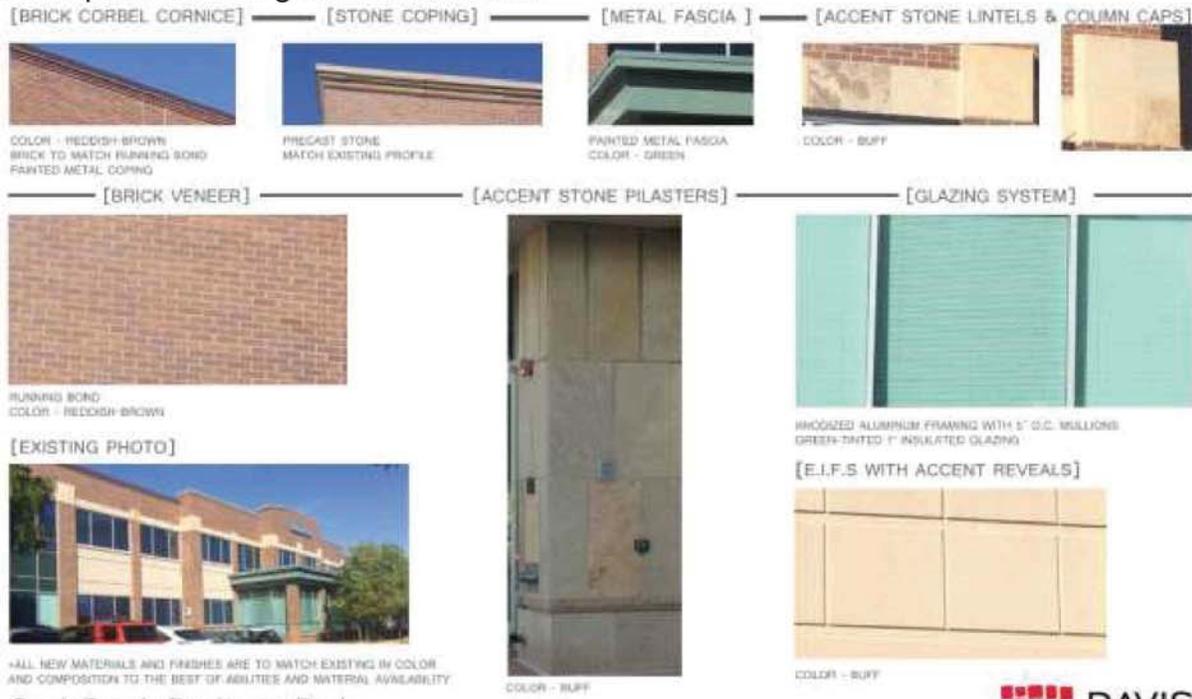
1. MAXIMUM BUILDING AREA IN THE DEVELOPMENT IS LIMITED TO 318,000 SQUARE FEET BASED ON APPROXIMATELY 284,000 SQUARE FEET OF NET LEASABLE AREA.
2. MAXIMUM DENSITY/LOT SHALL NOT EXCEED CAP WITHOUT APPROVAL OF ALL REMAINING UNDEVELOPED LOT OWNERS.
3. UNUSED DENSITY ON AN INDIVIDUAL LOT MAY BE TRANSFERRED TO ANY OTHER LOT
4. AS OF 11/10/2016 TOTAL EXISTING CONSTRUCTED AREA EQUALS 277,512 GROSS SQUARE FEET, OBTAINED FROM THE BOULDER COUNTY ACCESSOR.

*Corporate Center I PUD*

The amendments to the Corporate Center I PUD include the site-specific details for the proposed development. The plans include two site plans showing both proposed phases of expansion (Sheets 2 and 3). The site plans also show the parking expansion areas, trailhead and trail expansions. With the reduction of existing parking and additional parking provided, there is a net increase of one parking space. The trailhead parking proposal includes signs allowing public parking in eight stalls on weekends and from 5pm to sunset on weekdays.

The trail expansions extend into Parcel B of the subdivision. Both Lot 2 and Parcel B are under the same ownership and Parcel B includes a conservation easement to the City. The conservation easement requires the area to be preserved in a natural condition and allows passive recreation, trails and drainage facilities. Part of the Coal Creek Trail system currently runs through Tract B, and the proposed trail connections from Lot 2 will connect to the existing trail system. If approved, the applicant will need to provide access easements for the trail connections on Lot 2 and record such easements concurrently with the PUD.

The amendments include a landscape plan showing landscaping for both phases of development and additional landscaping along the south property boundary to buffer the parking (Sheets 4-7). The plans include architectural elevations for both phases of building expansion (Sheets 8-10). The expansion matches the design and materials of the existing building and includes red/brown brick, tan EIFS, stone and brick coping, stone pilasters and green metal fascia.



Coal Creek Business Park  
TFG Coal Creek Property, LLC



The remaining plan sheets address parking details, utilities, grading and lighting plans for the expansion (Sheets 11-16). The plans include parking lot lighting at 24 feet in height to match the design and height of existing lighting.

*Waivers*

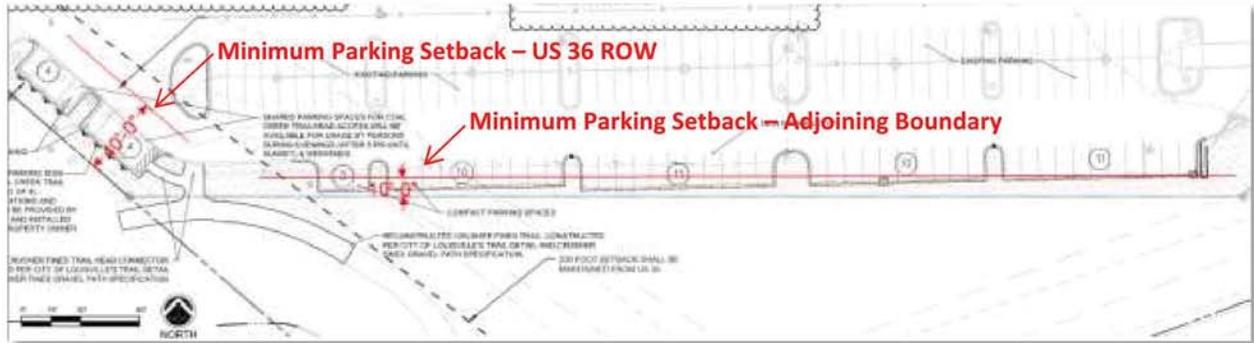
The applicant requests three waivers detailed below:

1. Max. Lot Coverage/Min. Open Space – The applicant requests the maximum lot coverage increase from 70% to 74.4% of lot area at Phase II buildout. At Phase I, building coverage would total 70.1%. The applicant requests a reduction in the corresponding minimum open space requirement of 30% to 25.6% at Phase II buildout and 29.9% at Phase I. The applicant notes that overall open space coverage for the office park would remain over 30%.

2. Minimum Parking – The applicant requests a reduction in the required parking from 4 spaces per 1,000 sq. ft. to 2.7 spaces per 1,000 square feet. At Phase I, the parking ratio would be 3.23 spaces per 1,000 sq. ft. The applicant notes that there is an existing shared parking and access agreement allowing parking on adjacent lots and currently the subject property and surrounding properties are not fully utilizing existing parking. According to the applicant, there are currently 26 spaces on adjacent lots above the minimum code requirements. Counting these additional spaces, the parking ratio equals 3.49 spaces per 1,000 sq. ft. at Phase I and 2.91 spaces per 1,000 square feet at Phase II.

Phase I - Required Parking	403 Spaces (4 spaces/1,000 sq. ft.)
Phase I - Provided Parking	327 Spaces (3.23 spaces/1,000 sq. ft.)
Phase II - Required Parking	483 Spaces (4 spaces/1,000 sq. ft.)
Phase II - Provided Parking	327 Spaces (2.7 spaces/1,000 sq. ft.)

3. Minimum Parking Setbacks – The applicant requests a 10' setback for a portion of the lot adjacent to the US 36 right of way where the code requires a minimum 40' setback. The right of way widens significantly adjacent to this short portion of the lot (see aerial below). The applicant also requests a setback ranging from 2' to 10' for the new parking isle on the south property boundary where the code requires a 10' minimum setback. The applicant notes that the new parking layout helps to improve an inefficient design and that there is still a large setback to US 36 and the southern property is adjacent to open space.



As justification for all waivers, the applicant states that development provides a benefit to the public through the proposal for public trailhead parking and expansion of trail connections to Coal Creek Trail. The applicant also notes that the parking reduction is justified by the trail connections and existing bicycle parking that will enhance multi-modal access to the site and that the property is with close proximity to the Coal Creek Trail and approximately ½ mile from the McCaslin Station Transit Center. The traffic study submitted with the application also addresses the parking waiver request in more detail and notes that the parking provided 2.7 spaces per 1,000 sq. ft. is close to the Institute of Transportation Engineers current parking manual average parking count for office buildings of 2.84 spaces per 1,000 sq. ft.

Waivers may be granted as part of a PUD when the City finds that “the development plan contains areas allocated for usable open space in common park area in excess of public use dedication requirements or that the modification or waiver is warranted by the design and amenities incorporated in the development plan....”

**BACKGROUND:**

The subject property is zoned Commercial Business (CB) and is part of the Coal Creek Business Park consisting of five office/commercial developments all zoned CB. The City approved the Coal Creek Business Park PUD the Corporate Center I PUD in 1998. Parcel B of the development includes stormwater detention for the development and a conservation easement, as was previously discussed. US 36 right of way borders the development to the south and west, Coal Creek Golf Course is located to the southeast and the Meadow Ridge and Centennial Greens apartments are located to the north of office park across Dillon Rd.

**ANALYSIS:**

*Compliance with the CDDSG*

The development is subject to the Commercial Development Design Standards and Guidelines (CDDSG).

Site Planning

Minimum setbacks for the building expansion are 10' from the internal property boundaries and 15' from a street boundary. The proposed expansion complies with these setback requirements. The proposal does not meet the parking setbacks of 40' from US 36 and 10' from an internal property boundary and the applicant requests waivers. The proposal is to set back the parking 10' from the US 36 right of way and between 2 and 10' from the internal south property boundary. Staff notes that the US 36 right of way is irregularly shaped in this area and the actual setback from US 36 is significantly greater than the adjacent lot to the west. The applicant is also able to provide sufficient landscape buffering between the parking expansion and the Tract B open space despite the narrow setback. Staff finds that the design and amenities proposed with the application justifies the waivers, including an improved parking lot design that creates a more efficient layout for the trailhead parking, extensive landscape buffering and trail improvements that result in significant design amenities and improved access to open space and trails.

The proposal does not meet maximum building coverage and minimum open space requirements and the applicant request waivers. The request is to allow a lot coverage of up to 74.4%, above the 70% maximum allowed, and open space coverage of 25.6%, below the 30% minimum coverage allowed. For the overall business park, open space coverage would exceed 30%. Staff finds that the design and amenities proposed with the application justifies the waivers, including the public trailhead and connections for the public and office park employees to the existing Coal Creek trail network and by providing improved multimodal access to a transit site that is approximately ½ mile from the development.

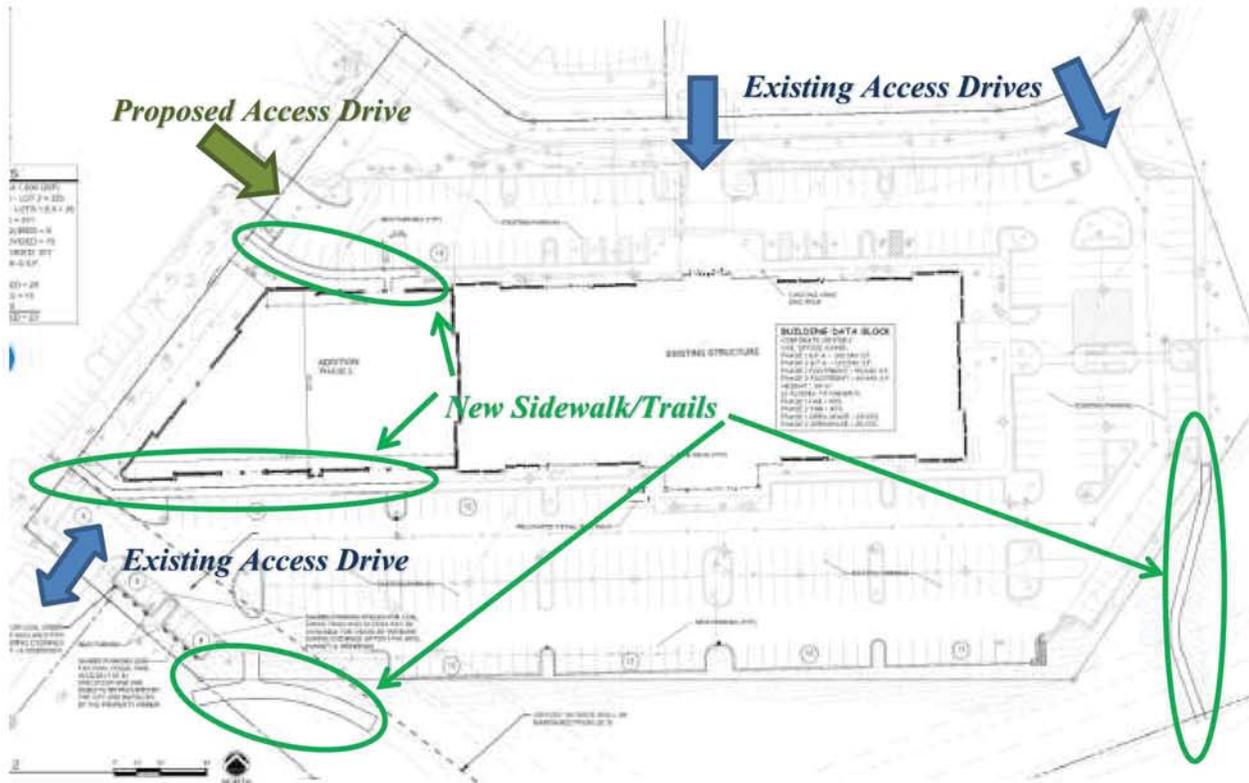
With waivers, staff finds that the proposal complies with the CDDSG site planning requirements.

Vehicular, Pedestrian and Bicycle Circulation

There are currently two vehicular access points to the property from Coal Creek Cr. and a cross access drive on the southwest side of the site with the adjacent property to the west. The proposal includes an additional driveway connecting to the adjacent property to the west. Staff finds that the site access and circulation meets the standards of the CDDSG.

The proposal provides additional pedestrian and bicycle connections. These include internal sidewalks connecting an existing sidewalk on the west side of the property to the building expansion and the proposed trail connections to Coal Creek Trail in Parcel B.

Staff finds that the proposal complies with the CDDSG vehicle, pedestrian and bicycle requirements.



Parking

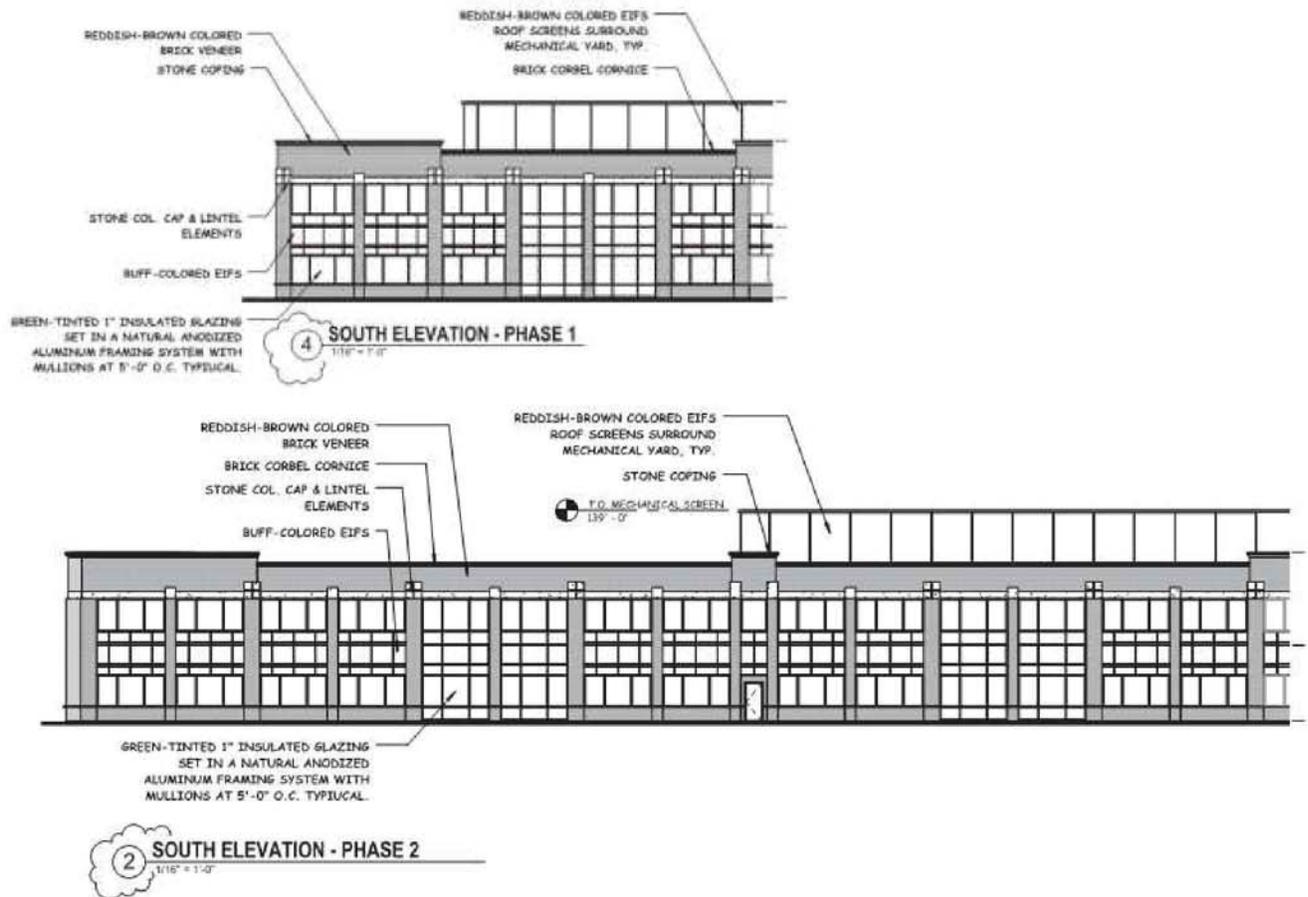
The proposal does not meet the requirement of four parking spaces per 1,000 sq. ft. of office development. The applicant requests a waiver from this standard to allow for 2.7 spaces per 1,000 sq. ft. Staff finds the proximity of the property to multimodal transportation infrastructure, including the Coal Creek Trail, US 36 Trail and McCaslin Station bus stop provides support for the parking waiver request. The proximity of these amenities will help reduce the demand for parking and the site design includes

enhanced connections to take advantage of the trail network and nearby transit. In addition, the trailhead parking and trail improvements result in significant design amenities and create access to open space and trails. The parking lot design also provides internal pedestrian connections, landscape bumpout islands and landscape screening in compliance with the CDDSG.

With the parking waiver, staff finds that the proposal complies with the CDDSG parking requirements.

Architecture

The architecture will match the current design of the building, which is compatible with the existing development in the office park. The height of the structure is 31' to the parapet and 39' to the mechanical screen. Maximum allowed height is 35' to the parapet and 42' to the mechanical screen. The architectural design includes horizontal and vertical elements with brick, EIFS and stone with muted colors.

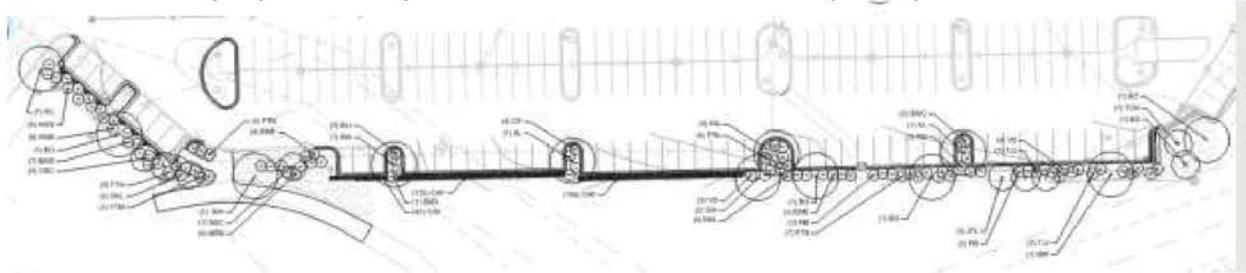


Staff finds that the proposal complies with the CDDSG architectural requirements.

Landscape Design

The proposal includes landscaping for both phases of development. The landscaping includes buffer landscaping for the new parking areas and a patio with lawn area on the west side of the addition for Phase I. Although the landscape buffer between the southern parking area and Tract B is narrow, the applicant proposes a mix of trees, shrubs and exceeds the required number of parking lot shade trees per the CDDSG.

Staff finds the proposal complies with the CDDSG landscape requirements.



Signs

The plans do not include any changes to the sign plan shown on the existing PUD.

Lighting

The proposal is to provide 24-foot tall parking lot lights to match the existing lights. The lights have a full cutoff fixture and meet the maximum height permitted of 24'. The plans also include photometrics demonstrating compliance with the CDDSG.

Staff finds the proposal complies with the CDDSG lighting requirements.

Traffic Impact

The applicant has provided a traffic impact evaluation included in the attached application materials. The evaluation notes that the proposed expansion would lead to about 450 more trips per day on the surrounding road network. This represents an increase of 11% in daily trips from the business park daily and 12-14% during peak travel times. The evaluation concludes that the surrounding road network is sufficient to accommodate the expansion and no new infrastructure is required.

Drainage Impact

The applicant has provided a drainage report and plan included in the attached application materials. The report finds that there is adequate volume in the existing detention pond to accommodate the proposed expansion. However, modifications to the outlet structure will be required.

*Compliance with the PUD Criteria*

Section 17.28.120 of the Louisville Municipal Code lists 13 criteria for Planned Unit Developments (PUDs) that must be satisfied or found not applicable for the City to approve the PUD. Staff finds that the proposal meets all applicable criteria. Staff is in support of the requested waivers as discussed above. With waiver, the proposal meets

all the requirements of the CDDSG and the proposed development is located in an existing office park with compatible development.

**FLOODPLAIN DEVELOPMENT PERMIT:**

The building expansion is located within the 100-year floodplain. Therefore, a floodplain development permit is required for this development. The City's Board of Adjustment reviews and has approval authority for floodplain permits. The Board of Adjustment reviewed the Floodplain Development Permit request on November 16, 2016 and granted approval. The Floodplain Development Permit includes provisions for floodproofing the portions of the structure below the floodplain elevation. The floodplain study in support of the permit found that the development would not alter the watercourse or cause a rise in flood elevations.

**PLANNING COMMISSION REVIEW:**

The Planning Commission reviewed this request at their January 12, 2017 meeting (minutes attached.). The Commission voted three in favor and one against approval with the following condition:

1. Prior to the City Council hearing the applicant shall provide a fire access plan showing the fire department apparatus can negotiate all turns in the development. Such plan shall be approved by the Louisville Fire District.

*The applicant has submitted the required fire access plan. The fire district has reviewed and approved the plan.*

**OPEN SPACE ADVISORY BOARD:**

The Open Space Advisory Board reviewed the trail alignments, trailhead and shared public parking request at their February 8<sup>th</sup> meeting and voted to recommend approval with a condition that the applicant provide an information sign at the trailhead in accordance with the Open Space, Parks and Trails Wayfinding Plan.

**PUBLIC INPUT:**

Staff has not received any public comment on this item.

**FISCAL ANALYSIS:**

The proposed development will add up to 40,000 square feet of office space to the Coal Creek Business Park. If approved, the expansion would add new jobs and employees into the local economy. Staff does not anticipate a negative fiscal impact associated with this request.

**STAFF RECOMMENDATION:**

Staff finds that the proposal complies with the CDDSG and PUD approval criteria in LMC Section 17.28.120 and recommends approval of Resolution No. XX, Series 2017, a resolution approving an Amended Planned Unit Development for Coal Creek Business

**SUBJECT: RESOLUTION 7, SERIES 2017**

**DATE: FEBRUARY 21, 2017**

**PAGE 12 OF 12**

Park and Amended Planned Unit Development for Corporate Center I Coal Creek Business Park for a 40,000 sq. ft. office expansion with the following conditions:

1. Prior to recordation of the PUDs and issuance of building permits, the applicant shall provide access easements in a form satisfactory to the City Attorney and Parks and Recreation Department for the trail connections.
2. Prior to recordation of the PUDs and issuance of building permits, the applicant shall amend the plans to include construction of a sign at the trailhead in accordance with the City of Louisville Open Space, Parks and Trail Wayfinding Plan.

**ATTACHMENTS:**

1. Resolution 7, Series 2017
2. [Link to Application Materials](#)
3. Coal Creek Business Park PUD
4. Corporate Center I PUD
5. November 16, 2016 Board of Adjustment Minutes
6. January 12, 2017 Planning Commission Minutes
7. Planning Commission Resolution 1, Series 2017
8. February 8, 2017 Parks and Recreation Department Review Letter
9. Presentation



FINAL PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I, AMENDMENT A**  
 COAL CREEK BUSINESS PARK  
 LOT 2, COAL CREEK BUSINESS PARK  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



DAVIS PARTNERSHIP ARCHITECTS  
 1000 N. GARDEN ST. SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 FAX: 303.733.1101  
 WWW.DAVISPARTNERSHIPARCHITECTS.COM

**CORPORATE CENTER I, AMENDMENT A**  
**LOT 2, COAL CREEK BUSINESS PARK**  
 LOUISVILLE, COLORADO  
 TPO COAL CREEK PROPERTY, LLC

DATE: 12/2018  
 PLOT NO.: 1018-01-000

Revised/Issued	DATE
Pre-Design	08/2018
Pre-Phase 1	09/2018
Phase 1	12/2018
Phase 2	01/2019
Phase 3	02/2019
Phase 4	03/2019
Phase 5	04/2019
Phase 6	05/2019
Phase 7	06/2019
Phase 8	07/2019
Phase 9	08/2019
Phase 10	09/2019
Phase 11	10/2019
Phase 12	11/2019
Phase 13	12/2019
Phase 14	01/2020
Phase 15	02/2020
Phase 16	03/2020
Phase 17	04/2020
Phase 18	05/2020
Phase 19	06/2020
Phase 20	07/2020
Phase 21	08/2020
Phase 22	09/2020
Phase 23	10/2020
Phase 24	11/2020
Phase 25	12/2020
Phase 26	01/2021
Phase 27	02/2021
Phase 28	03/2021
Phase 29	04/2021
Phase 30	05/2021
Phase 31	06/2021
Phase 32	07/2021
Phase 33	08/2021
Phase 34	09/2021
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Phase 93	08/2026
Phase 94	09/2026
Phase 95	10/2026
Phase 96	11/2026
Phase 97	12/2026
Phase 98	01/2027
Phase 99	02/2027
Phase 100	03/2027



- LEGEND**
- DW- DOMESTIC WATER
  - F- FIRE (DOMESTIC)
  - WL- WATER LINE
  - UPN- SUTRY BESEK
  - SUN- SUTRY BESEK
  - BT- SUTRY BESEK
  - FH- FIRE HYDRANT
  - LP- PARKING LOT LIGHT
  - AP- ACCESSIBLE PARKING
  - PCN- PARKING COUNT NO.
  - P- PARKING TALLY
  - PL- PROPERTY LINE
  - EL- EASEMENT LINE
  - FL- FIRE LANE
  - 50- EXIST. CONTOUR LINE
  - N- NEW CONTOUR LINE
  - ST- 30' SIGHT TRIANGLE
  - CC- COLORED/COURED CONCRETE (CROSS WALK)
  - GR- H.C. CURB RAMP

**PARKING ABBREVIATIONS**

HC = HC ACCESSIBLE = 3' x 12'  
 20' x 8' ACCESSIBLE

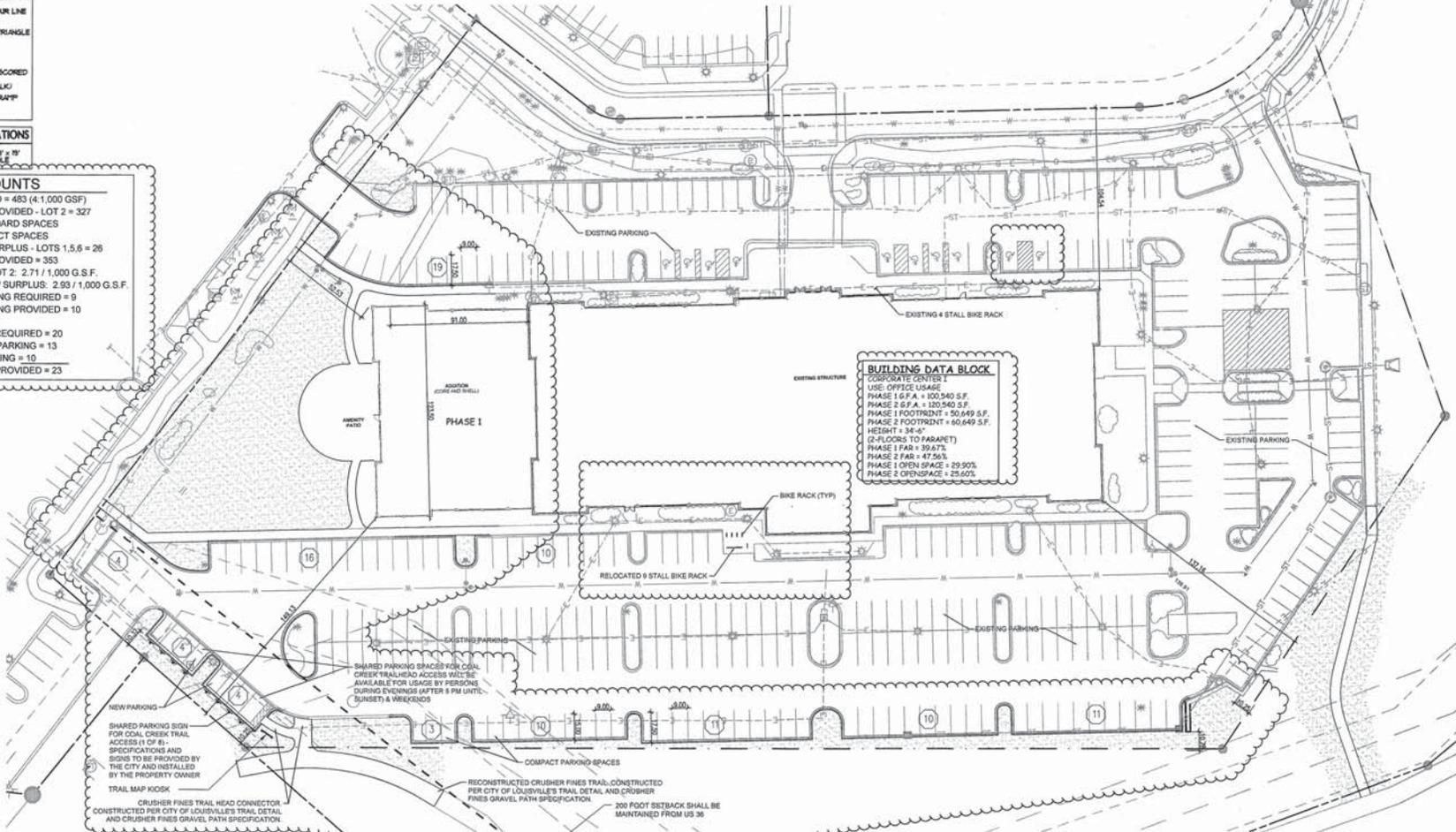
**PARKING COUNTS**

PARKING REQUIRED = 483 (4,100 G.S.F.)  
 TOTAL PARKING PROVIDED - LOT 2 = 327  
 314 STANDARD SPACES  
 13 COMPACT SPACES  
 TOTAL PARKING SURPLUS - LOTS 1,5,6 = 26  
 TOTAL PARKING PROVIDED = 353  
 PARKING RATIO - LOT 2: 2.71 / 1,000 G.S.F.  
 PARKING RATIO - VW SURPLUS: 2.93 / 1,000 G.S.F.  
 ACCESSIBLE PARKING REQUIRED = 9  
 ACCESSIBLE PARKING PROVIDED = 10

BICYCLE PARKING REQUIRED = 20  
 EXISTING BICYCLE PARKING = 13  
 NEW BICYCLE PARKING = 10  
 BICYCLE PARKING PROVIDED = 23

**BUILDING DATA BLOCK**

CORPORATE CENTER I  
 USE: OFFICE USAGE  
 PHASE 1 G.F.A. = 100,540 S.F.  
 PHASE 2 G.F.A. = 100,540 S.F.  
 PHASE 1 FOOTPRINT = 50,649 S.F.  
 PHASE 2 FOOTPRINT = 50,649 S.F.  
 HEIGHT = 34'-4"  
 (2-FLOORS TO PARAPET)  
 PHASE 1 FAR = 39.67%  
 PHASE 2 FAR = 47.56%  
 PHASE 1 OPEN SPACE = 29.50%  
 PHASE 2 OPEN SPACE = 29.50%



**SITE PLAN PHASE 1**  
 SCALE: 1" = 30'-0"



FINAL PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I, AMENDMENT A**  
 COAL CREEK BUSINESS PARK  
 LOT 2, COAL CREEK BUSINESS PARK  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



DAVIS PARTNERSHIP ARCHITECTS  
 1500 17th Street, Suite 100  
 Boulder, CO 80502  
 Phone: 303.440.1234  
 Fax: 303.440.1235  
 Website: www.davispartnership.com

**CORPORATE CENTER I, AMENDMENT A**  
**LOT 2, COAL CREEK BUSINESS PARK**  
 LOUISVILLE, COLORADO  
 TFG COAL CREEK PROPERTY, LLC

Date: 12/08  
 Plot No.: 18108.01.000

Revised/Issued	DATE
Rev. 1	08/08
Rev. 2	09/08
Rev. 3	09/08
Rev. 4	09/08
Rev. 5	09/08
Rev. 6	09/08
Rev. 7	09/08
Rev. 8	09/08
Rev. 9	09/08
Rev. 10	09/08
Rev. 11	09/08
Rev. 12	09/08
Rev. 13	09/08
Rev. 14	09/08
Rev. 15	09/08
Rev. 16	09/08
Rev. 17	09/08
Rev. 18	09/08
Rev. 19	09/08
Rev. 20	09/08
Rev. 21	09/08
Rev. 22	09/08
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Rev. 24	09/08
Rev. 25	09/08
Rev. 26	09/08
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Rev. 28	09/08
Rev. 29	09/08
Rev. 30	09/08
Rev. 31	09/08
Rev. 32	09/08
Rev. 33	09/08
Rev. 34	09/08
Rev. 35	09/08
Rev. 36	09/08
Rev. 37	09/08
Rev. 38	09/08
Rev. 39	09/08
Rev. 40	09/08
Rev. 41	09/08
Rev. 42	09/08
Rev. 43	09/08
Rev. 44	09/08
Rev. 45	09/08
Rev. 46	09/08
Rev. 47	09/08
Rev. 48	09/08
Rev. 49	09/08
Rev. 50	09/08

DRAWING TITLE: SITE PLAN PHASE 2  
 SHEET NUMBER:

**03**  
 03 of 16  
 AMENDMENT 1

- LEGEND**
- DM — DOWNSIC WATER
  - F — FIRE (DOWNSIC)
  - WTR — WATER LINE
  - SAN — SANITARY SEWER
  - ST — STORM SEWER
  - FM — FIRE HYDRANT
  - PL — PARKING LOT LIGHT
  - AP — ACCESSIBLE PARKING
  - PC — PARKING COUNT NO.
  - LT — PARKING TALLY
  - PL — PROPERTY LINE
  - EL — EASEMENT LINE
  - FL — FIRE LINE
  - EC — EXIST. CONTOUR LINE
  - NC — NEW CONTOUR LINE
  - BT — 30' BIGHT TRIANGLE
  - CC — COLORED/SCORED CONCRETE (CROSS WALK)
  - CR — H.C. CURB RAMP



**PARKING ABBREVIATIONS**

HC = H.C. ACCESSIBLE + 8' x 11' STALL ACCESSIBLE

**PARKING COUNTS**

PARKING REQUIRED = 483 (4,1,000 GSF)  
 TOTAL PARKING PROVIDED - LOT 2 = 327  
 314 STANDARD SPACES  
 13 COMPACT SPACES

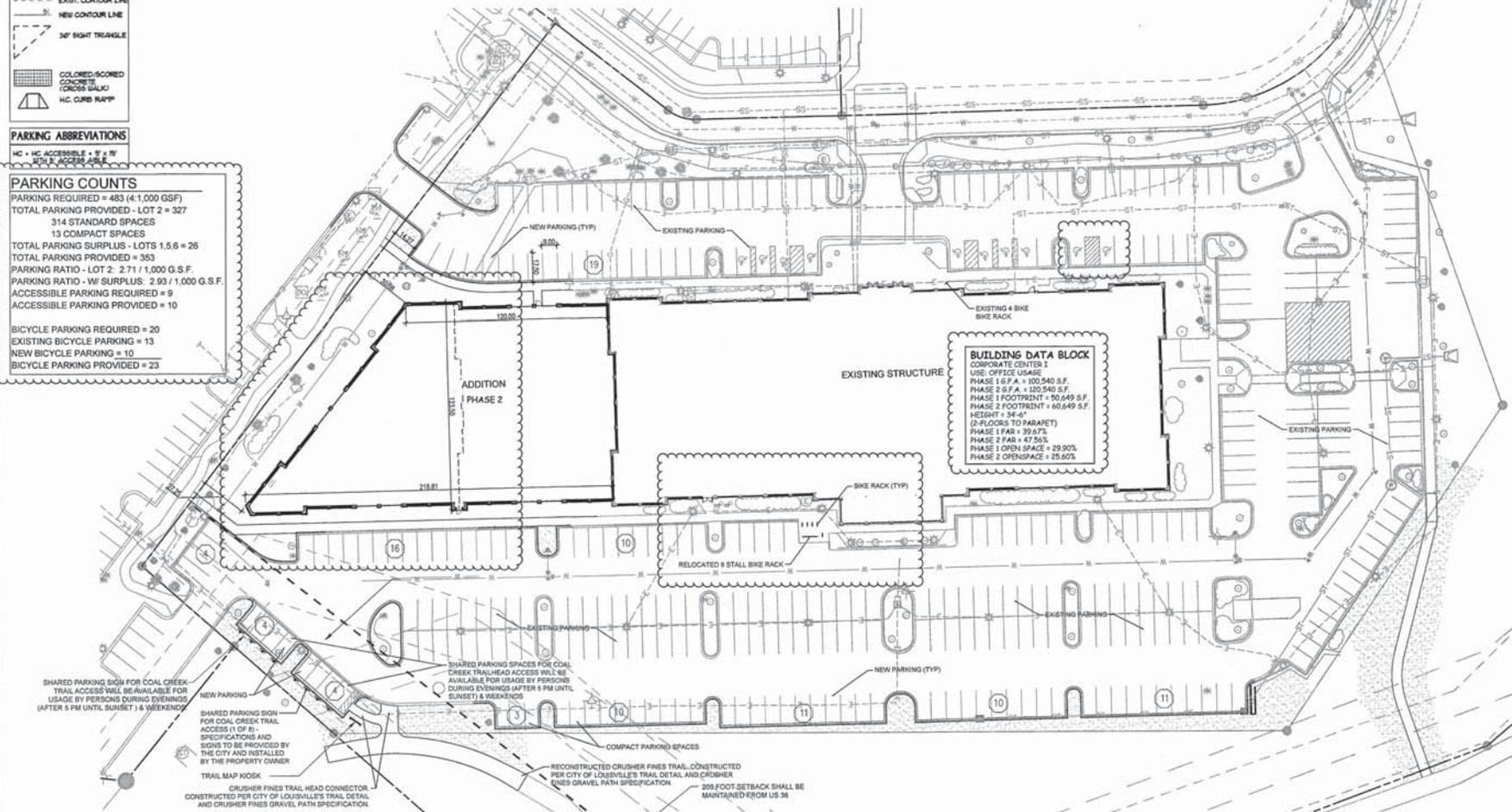
TOTAL PARKING SURPLUS - LOTS 1,5,6 = 26  
 TOTAL PARKING PROVIDED = 353

PARKING RATIO - LOT 2: 2.71 / 1,000 G.S.F.  
 PARKING RATIO - W/ SURPLUS: 2.93 / 1,000 G.S.F.

ACCESSIBLE PARKING REQUIRED = 9  
 ACCESSIBLE PARKING PROVIDED = 10

BICYCLE PARKING REQUIRED = 20  
 EXISTING BICYCLE PARKING = 13  
 NEW BICYCLE PARKING = 10  
 BICYCLE PARKING PROVIDED = 23

**BUILDING DATA BLOCK**  
 CORPORATE CENTER I  
 USE: OFFICE USAGE  
 PHASE 1 F.P.A. = 100,540 S.F.  
 PHASE 2 F.P.A. = 120,540 S.F.  
 PHASE 1 FOOTPRINT = 80,649 S.F.  
 PHASE 2 FOOTPRINT = 60,649 S.F.  
 HEIGHT = 34'-6"  
 (2 FLOORS TO PARAPET)  
 PHASE 1 FAR = 39.67%  
 PHASE 2 FAR = 47.56%  
 PHASE 1 OPEN SPACE = 29.90%  
 PHASE 2 OPEN SPACE = 25.60%



**SITE PLAN PHASE 2**  
 SCALE: 1" = 30'-0"

NORTH



FINAL PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I, AMENDMENT A**  
 COAL CREEK BUSINESS PARK  
 LOT 2, COAL CREEK BUSINESS PARK  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



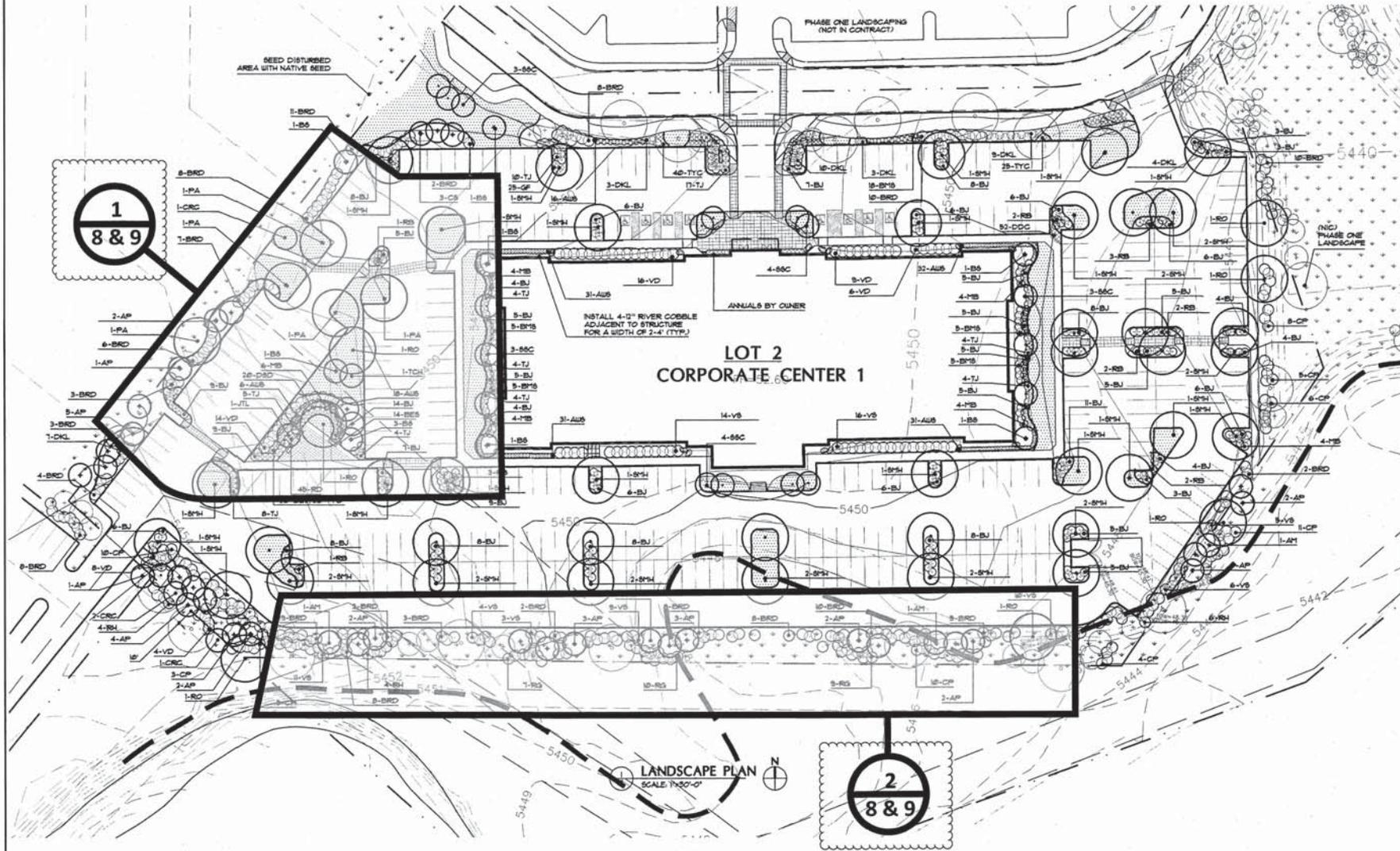
PROJECT: COAL CREEK CORPORATE CENTER I, AMENDMENT A  
 LOCATION: COAL CREEK BUSINESS PARK, LOT 2, BOULDER COUNTY, COLORADO  
 DATE: 05/18/2005  
 SHEET NO.: 05 OF 18

**CORPORATE CENTER I, AMENDMENT A**  
**LOT 2, COAL CREEK BUSINESS PARK**  
 LOUISVILLE, COLORADO  
 TFG COAL CREEK PROPERTY, LLC

DATE: 05/18/2005  
 TIME: 10:00 AM

REVISION	DATE
1	05/18/05
2	05/18/05
3	05/18/05
4	05/18/05
5	05/18/05
6	05/18/05
7	05/18/05
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44	05/18/05
45	05/18/05
46	05/18/05
47	05/18/05
48	05/18/05
49	05/18/05
50	05/18/05

05  
 05 of 18  
 AMENDMENT 1



1  
 8 & 9

2  
 8 & 9

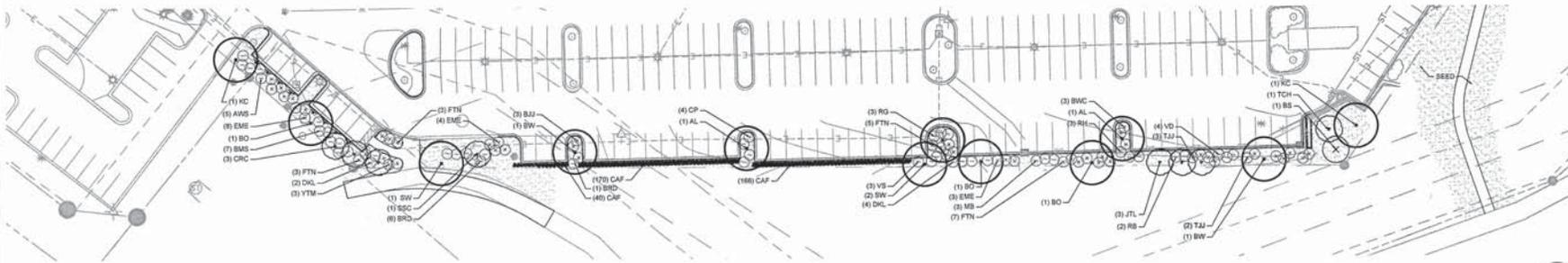
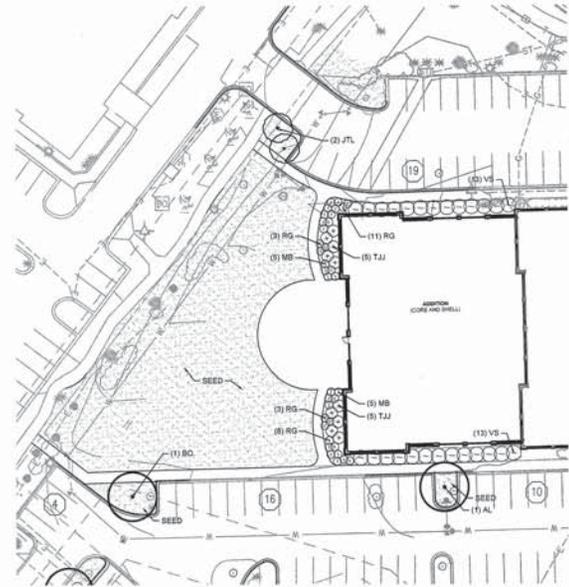
LANDSCAPE PLAN  
 SCALE: 1/8"=1'-0"



FINAL PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I, AMENDMENT A**  
 COAL CREEK BUSINESS PARK  
 LOT 2, COAL CREEK BUSINESS PARK  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

**LANDSCAPE PLANT LIST**

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
<b>DECIDUOUS TREES</b>				
2	KC	KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICA	3" CAL. 888. SPECIMEN
2	BW	BLACK WALNUT	JUGLANS NIGRA	3" CAL. 888. SPECIMEN
3	AL	AMERICAN LINDEN	TILIA AMERICANA	3" CAL. 888. SPECIMEN
3	SW	SWAMP WHITE OAK	QUERCUS BICOLOR	3" CAL. 888. SPECIMEN
4	BO	BUR OAK	QUERCUS MACROCARPA	3" CAL. 888. SPECIMEN
<b>EVERGREEN TREES</b>				
1	BS	COLORADO BLUE SPRUCE	PICEA PUNGENS VAR. GLAUCA	NOTE: 25% TO BE 6" HT. 6-8" HT. SPECIMEN
<b>ORNAMENTAL TREES</b>				
1	SSC	SPRING SNOW CRAB	MALUS 'SPRING SNOW'	3" CAL. 888. SPECIMEN
3	JTL	JAPANESE TREE LILAC	SYRINGA RETICULATA	8-10" CLUMP 888. SPECIMEN
3	CRC	CANADA RED CHERRY	PRUNUS VIRGINIANA MELANOCARPA	3" CAL. 888. SPECIMEN
1	TCH	THORNLESS COCKSPUR HAWTHORNE	CRATAEGUS CRUS-GALLIVAR. INERMIS	3" CAL. 888. SPECIMEN
<b>EVERGREEN SHRUBS</b>				
10	YTH	YEW	TAXUS X MEDIA 'HICKSII'	30" HT. 5 GALLON CONT.
18	FTN	FIRETHORN	PYRAECANTHA COCCINEA	30" HT. 5 GALLON CONT.
15	EMS	EUONYMUS MANHATTAN	EUONYMUS KAUZSCHOVICUS 'MANHATTAN'	30" HT. 5 GALLON CONT.
3	BWC	BIGLEAF WINTERCREEPER	EUONYMUS FORTUNEI 'SARCOXIE'	30" HT. 5 GALLON CONT.
3	BJ	BUFFALO JUNIPER	JUNIPER SABINA 'SUFFALD'	30" HT. 5 GALLON CONT.
20	TJ	TAMMY JUNIPER	JUNIPER CHINESE 'TAMANSICIFOLIA'	30" HT. 5 GALLON CONT.
<b>DECIDUOUS SHRUBS</b>				
5	AVS	ANTHONY WATERER SPIREA	SPIREA JAPONICA 'ANTHONY WATERER'	24" HT. 5 GALLON
7	BMS	BLUE HST SPIREA	CARYOPTERIS X CLANDONENSIS	24" HT. 5 GALLON
7	BRD	BAILEY REDTIP WOOD	CORNUS SERICEA 'BAILEY'	24" HT. 5 GALLON
4	CP	CISTENA FLUX	PRUNUS CISTENA	24" HT. 5 GALLON
6	DKL	DWARF KOREAN LILAC	SYRINGA MEYERI	24" HT. 5 GALLON
10	MB	MENTOR HARBESBY	Berberis X MENTORENSIS	24" HT. 5 GALLON
28	RG	YELLOW SHRUB ROSE	ROSA X 'GOLDEN WINGS'	24" HT. 5 GALLON
3	RH	PURPLE-RED SHRUB ROSE	ROSA X 'HANGA'	24" HT. 5 GALLON
2	RB	RABBIT BRUSH	CHRYSOTHAMUS MAUSEOUSUS ALBICAULIS	24" HT. 5 GALLON
29	VS	VANHOUTEES SPIREA	SPIREA VANHOTTETI	24" HT. 5 GALLON
4	VD	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	24" HT. 5 GALLON
<b>ORNAMENTAL GRASSES</b>				
376	CAF	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'	5 GALLON



DAVIS PARTNERSHIP ARCHITECTS  
 1500 WEST 10TH AVENUE  
 SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 FAX: 303.733.1101  
 WWW.DAVISARCHITECTS.COM

**CORPORATE CENTER I, AMENDMENT A**  
**LOT 2, COAL CREEK BUSINESS PARK**  
 LOUISVILLE, COLORADO  
 TFG COAL CREEK PROPERTY, LLC

Date: 1/28/08  
 Proj. No.: 08108.01.000

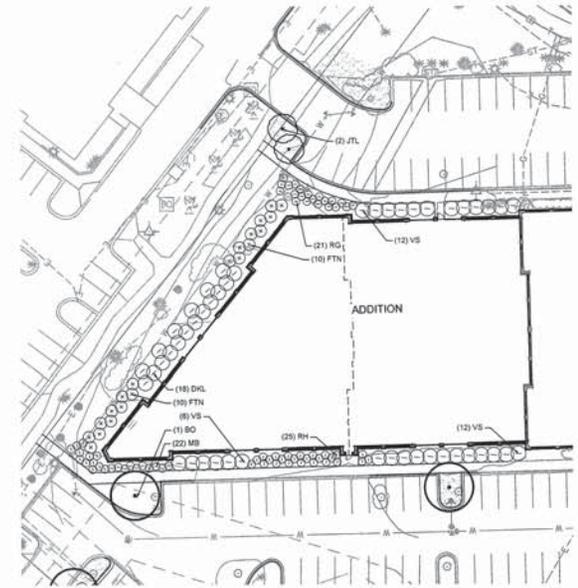
Revised/Issued	DATE
PGI: Landscape	01/28/08
PGI: Site	01/28/08
PGI: Civil	01/28/08
PGI: Structural	01/28/08
PGI: Mechanical	01/28/08
PGI: Electrical	01/28/08
PGI: Sanitary	01/28/08
PGI: Traffic	01/28/08
PGI: Survey	01/28/08
PGI: Other	01/28/08

06  
 06 of 16  
 AMENDMENT 1

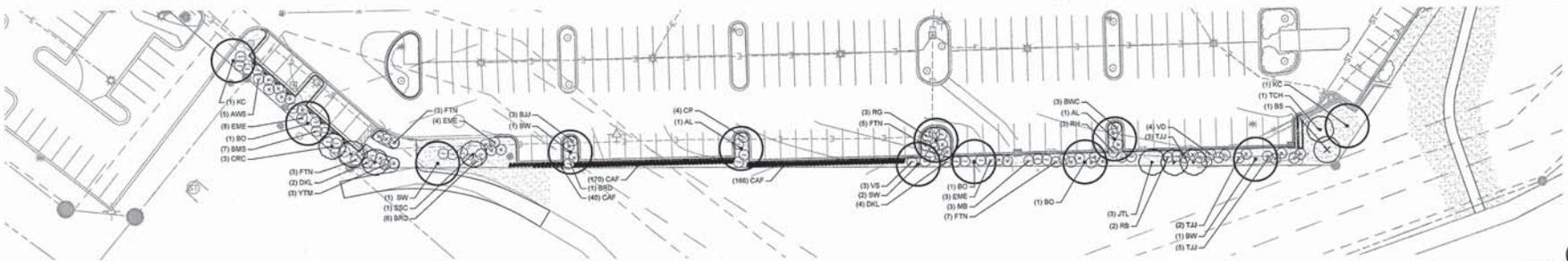
FINAL PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I, AMENDMENT A**  
 COAL CREEK BUSINESS PARK  
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 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

**LANDSCAPE PLANT LIST**

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION
<b>DECIDUOUS TREES</b>				
2	KC	KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICA	3" CAL. 888 SPECIMEN
2	BW	BLACK WALNUT	JUGLANS NIGRA	3" CAL. 888 SPECIMEN
3	AL	AMERICAN LINDEN	TELA AMERICANA	3" CAL. 888 SPECIMEN
3	SW	SWAMP WHITE OAK	QUERCUS BICOLOR	3" CAL. 888 SPECIMEN
4	BO	BUR OAK	QUERCUS MACROCARPA	3" CAL. 888 SPECIMEN
<b>EVERGREEN TREES</b>				
1	BS	COLORADO BLUE SPRUCE	PICEA FUNGENS VAR GLAUCA	NOTE: 25% TO BE 6" HT. 6-8" HT. SPECIMEN
<b>ORNAMENTAL TREES</b>				
1	SSC	SPRING SNOW CRAB	MALUS 'SPRING SNOW'	2" CAL. 888 SPECIMEN
5	JTL	JAPANESE TREELILAC	SYRINGA RETICULATA	8-10" CLUMP 888 SPECIMEN
1	CRC	CANADA RED CHERRY	PRUNUS VIRGINIANA MELANOCARPA	2" CAL. 888 SPECIMEN
1	TCH	THORNLESS COCKSPUR HAWTHORNE	CRATAEGUS CRUS-GALLI VAR. INERMIS	2" CAL. 888 SPECIMEN
<b>EVERGREEN SHRUBS</b>				
10	YTH	YEW	TAXUS X MEDIA 'HICKSII'	30" HT. 5 GALLON CONT.
38	FTN	PIRETHORN	PIRACANTHA COCCINEA	30" HT. 5 GALLON CONT.
15	BWE	EUONYMUS MANHATTAN	EUONYMUS KNAUTHSCHORICUS 'MANHATTAN'	30" HT. 5 GALLON CONT.
3	BWC	BIGLEAF WINTERCREEPER	EUONYMUS FORTUNEI 'SARCOKE'	30" HT. 5 GALLON CONT.
3	BJ	BUFFALO JUNIPER	JUNIPER SABINA 'BUFFALO'	30" HT. 5 GALLON CONT.
10	TJ	TAMM'S JUNIPER	JUNIPER CHINENSIS 'TAMMISIFOLIA'	30" HT. 5 GALLON CONT.
<b>DECIDUOUS SHRUBS</b>				
5	AW5	ANTHONY WATERER SPIREA	SPIREA JAPONICA 'ANTHONY WATERER'	24" HT. 5 GALLON
7	BMS	BLUE HOLE SPIREA	CARYOPTERIS X CLANDONENSIS	24" HT. 5 GALLON
7	BRD	BAILEY REDTOWIG DOGWOOD	CORNUS SERICEA 'BAILEY'	24" HT. 5 GALLON
4	CP	CISTENA PALM	PRUNUS CISTENA	24" HT. 5 GALLON
24	DKL	DWARF KOREAN LILAC	SYRINGA MEYER	24" HT. 5 GALLON
25	PH	PEINTON HARBERRY	BESSEYIA X HEMTONGENSIS	24" HT. 5 GALLON
24	RG	YELLOW SHRUB ROSE	ROSA X 'GOLDEN WINGS'	24" HT. 5 GALLON
28	RH	PURPLE-RED SHRUB ROSE	ROSA X 'HANSER'	24" HT. 5 GALLON
18	RB	RABBIT BRUSH	CHRYSOTHAMUS MAUISESIUS ALBICAILUS	24" HT. 5 GALLON
33	VS	VANHOUTTE'S SPIREA	SHREAVANHOUTTEI	24" HT. 5 GALLON
4	VO	ASHBARKWOOD VIBURNUM	VIBURNUM DENTATUM	24" HT. 5 GALLON
<b>ORNAMENTAL GRASSES</b>				
376	CAF	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'	5 GALLON



**1 40,000 SF ADDITION NORTH LANDSCAPE PLAN**  
 SCALE: 1" = 30'-0"  
 NORTH



**2 40,000 SF ADDITION SOUTH LANDSCAPE PLAN**  
 SCALE: 1" = 30'-0"  
 NORTH



DAVIS PARTNERSHIP ARCHITECTS  
 1500 17TH AVENUE, SUITE 100  
 BOULDER, CO 80502  
 TEL: 303.440.1100  
 FAX: 303.440.1101  
 WWW.DAVISARCHITECTS.COM  
 LICENSE NO. 100000001  
 LICENSE NO. 100000002  
 LICENSE NO. 100000003  
 LICENSE NO. 100000004  
 LICENSE NO. 100000005  
 LICENSE NO. 100000006  
 LICENSE NO. 100000007  
 LICENSE NO. 100000008  
 LICENSE NO. 100000009  
 LICENSE NO. 100000010

**CORPORATE CENTER I, AMENDMENT A**  
**LOT 2, COAL CREEK BUSINESS PARK**  
 LOUISVILLE, COLORADO  
 TRG COAL CREEK PROPERTY, LLC

REVISION	DATE
1	07/15/2010
2	07/15/2010
3	07/15/2010
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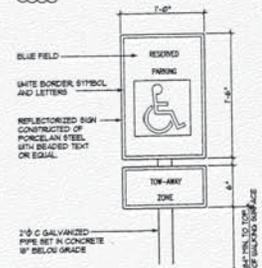


FINAL PLANNED UNIT DEVELOPMENT  
**COAL CREEK CORPORATE CENTER I, AMENDMENT A**  
 COAL CREEK BUSINESS PARK  
 LOT 2, COAL CREEK BUSINESS PARK  
 CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

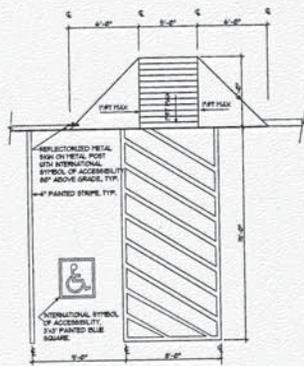


NOTE: CONCEPTUAL ELEVATION - FINAL DESIGN AND LOCATION AT TRAILHEAD TO BE COORDINATED WITH CITY OF LOUISVILLE PARKS AND OPEN SPACE

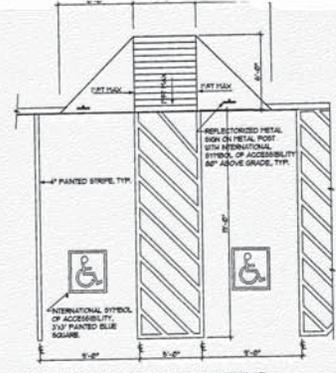
**CONCEPTUAL TRAIL MAP KIOSK**  
 SCALE: NTS



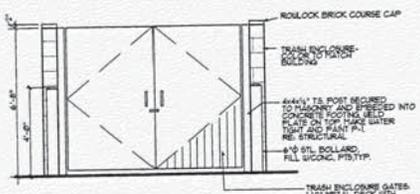
**HANDICAPPED SIGN**  
 SCALE: NTS  
 RE: SITE PLAN FOR LOCATIONS



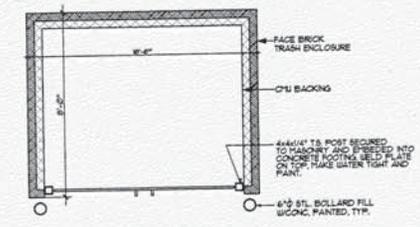
**VAN ACCESSIBLE PARKING**  
 SCALE: NTS



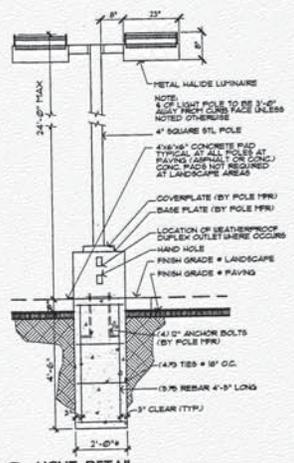
**TYPICAL ACCESSIBLE PARKING**  
 SCALE: NTS



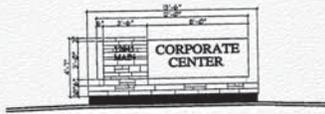
**TRASH ENCLOSURE ELEVATION**  
 SCALE: NTS



**TRASH ENCLOSURE PLAN**  
 SCALE: NTS



**LIGHT DETAIL**  
 SCALE: NTS



**MONUMENT SIGN**  
 SCALE: NTS

PROPOSED MATERIALS AND COLORS	SCHEME
MASONRY AND/OR BRICK	DOVER RED
EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)	BUFF
CONCRETE TILE ROOF	COLORADO BLEND
TRIM	CLASSIC COPPER AGED COPPER
STOREFRONT	CLEAR ANODIZED ALUMINUM

**MATERIALS & COLORS**  
 SCALE: NTS



**DAVIS PARTNERSHIP ARCHITECTS**  
 1000 W. 10TH AVENUE, SUITE 1000  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 FAX: 303.733.1101  
 WWW.DAVISARCHITECTS.COM

**CORPORATE CENTER I, AMENDMENT A**  
**LOT 2, COAL CREEK BUSINESS PARK**  
 LOUISVILLE, COLORADO  
 TFG COAL CREEK PROPERTY, LLC

REVISION	DATE
1	10/10/21
2	10/10/21
3	10/10/21
4	10/10/21
5	10/10/21
6	10/10/21
7	10/10/21
8	10/10/21
9	10/10/21
10	10/10/21











**ITEM:** Case #PUD-0264-2019

**PLANNER:** Lisa Ritchie, AICP, Senior Planner

**APPLICANT:** Bridgette Cole  
Marathon Construction Management, LLC

**OWNERS:** DELO West, LLC

**EXISTING ZONING:** Mixed Use Residential (MU-R)

**LOCATION:** Southeast corner of Griffith Street and Cannon Street  
DeLo Lofts Subdivision

**TOTAL SITE AREA:** 4.39 acres

**REQUEST:** Approval of Resolution No. 22, Series 2019, a resolution recommending approval of a request for a three-year extension of the approval of the DeLo Lofts PUD

**VICINITY MAP:**

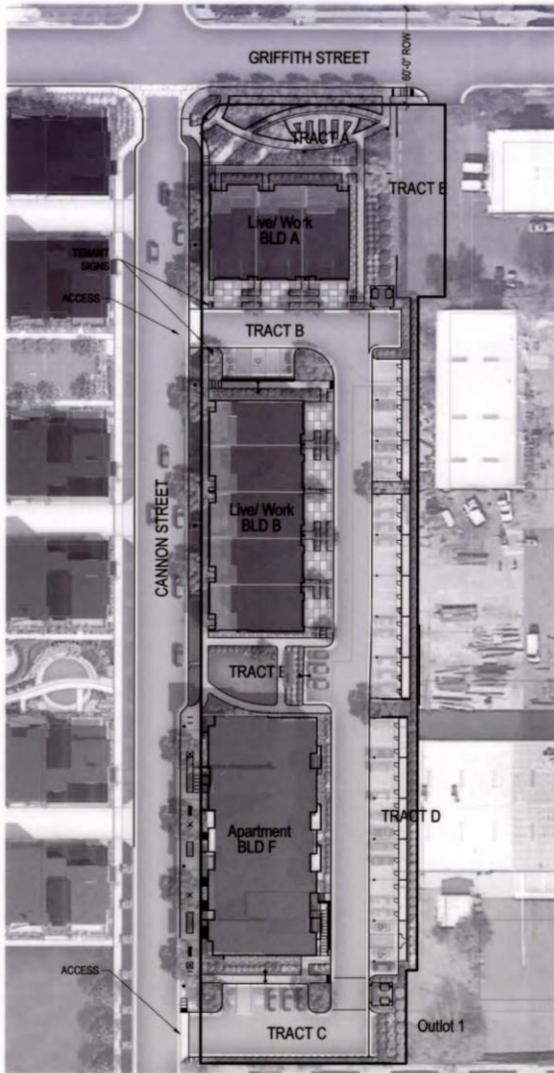


**SUMMARY:**

The applicant requests approval of a three-year extension to the Planned Unit Development (PUD). Due to unforeseen restructuring of the ownership's management, the owners have delayed finalization of construction documents and building permit. Louisville Municipal Code (LMC) Section 17.28.200 states that the City may not issue building permits for work covered by a PUD more than 36 months following City Council approval of the PUD unless the City Council grants an extension. The City approved the original PUD on December 6, 2016. The applicants are requesting a three-year extension to December 6, 2022 to allow new management additional time to prepare for construction.

**BACKGROUND:**

The property is located within the Highway 42 Revitalization Area which was adopted in 2003 and is designated for residential mixed use development. In 2007, the City adopted the Mixed Use Overlay District and the Mixed Use Development Design Standards and Guidelines. In 2015, the City approved a rezoning of the property to Mixed Use-Residential, a preliminary plat and a preliminary PUD under the name DeLo Flats. In 2016, the City approved a final plat, a final PUD, and a Special Review Use (SRU) and renamed to project as the DeLo Lofts development. The PUD authorized construction of 33 residential apartment/condos and eight live/work units in two buildings. To date, the City has not issued any building permits for the project.



**ANALYSIS:**

LMC Sec. 17.28.200 limits the timeframe for when the City may issue a building permit following the approval of a PUD to 36 months. Extension requests must follow the same public hearing procedures for a PUD Amendment application, including a public hearing before the Planning Commission and review by the City Council. The criteria for extension are the same criteria under which the City approved the original PUD.

Some of the reasons for having a 36-month limitation are to ensure that infrastructure is installed in a reasonable time frame and the development remains consistent with City policy and regulations. For example, City comprehensive plans, design standards and codes will change over time and a project meeting those standards at one point in time may not meet future policies and regulations. The expiration allows the City to reevaluate a project against current plans, policies and codes.

In this case, staff reviewed the PUD extension request against current City policy and regulations to understand if conditions have changed since the original approval three years ago. All relevant municipal codes, the City's Comprehensive Plan, the Highway 42 Revitalization Area Framework Plan, and the Mixed Use Development Design Standards and Guidelines have not changed since the original approval of the PUD and staff finds the proposal continues to meet the policies and regulations set forth in these documents.

**STAFF RECOMMENDATION:**

Staff recommends approval of Resolution 22, Series 2019; recommending approval of the request for a three-year extension of the DeLo Lofts PUD to December 6, 2022.

**ATTACHMENTS:**

1. Resolution 22, Series 2019
2. Application Materials
3. Resolution 71, Series 2016
4. Original PUD, 2016
5. City Council staff report, October 13, 2016

**RESOLUTION NO. 22  
SERIES 2019**

**A RESOLUTION RECOMMENDING APPROVAL OF A REQUEST FOR A THREE-YEAR EXTENSION OF THE APPROVAL OF THE DELO LOFTS PLANNED UNIT DEVELOPMENT**

**WHEREAS**, there has been submitted to the Louisville Planning Commission an application for a request for a three-year extension of the approval of the DeLo Lofts PUD; and

**WHEREAS**, City staff has reviewed the information submitted and found that the application complies with the Louisville zoning regulations and other applicable sections of the Louisville Municipal Code; and

**WHEREAS**, the Planning Commission has considered the application at a duly noticed public hearing on December 12, 2019, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission staff report dated December 12, 2019 ; and

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a request for a three-year extension of the approval of the DeLo Lofts PUD.

**PASSED AND ADOPTED** this 12<sup>th</sup> day of December, 2019.

By: \_\_\_\_\_  
Steve Brauneis, Chairperson  
Planning Commission

Attest: \_\_\_\_\_  
Debra Williams, Secretary  
Planning Commission

**LAND USE APPLICATION**

**CASE NO.** \_\_\_\_\_

**APPLICANT INFORMATION**

Firm: SAME AS REPRESENTATIVE

Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

**OWNER INFORMATION**

Firm: DeLo West, LLC

Contact: \_\_\_\_\_

Address: 21 S Sunset  
Longmont, CO

Mailing Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

**REPRESENTATIVE INFORMATION**

Firm: Marathon Construction Management, LLC

Contact: Bridgette Cole

Address: 907 Columbia Place  
Boulder, CO 80305

Mailing Address: \_\_\_\_\_

Telephone: 720-270-1492

Fax: \_\_\_\_\_

Email: bridgette@marathon-cm.com

**PROPERTY INFORMATION**

Common Address: \_\_\_\_\_

Legal Description: Lot \_\_\_\_\_ Blk \_\_\_\_\_

Subdivision \_\_\_\_\_

Area: \_\_\_\_\_ Sq. Ft.

**TYPE (S) OF APPLICATION**

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: \_\_\_\_\_
- CMRS Facility: \_\_\_\_\_
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

**PROJECT INFORMATION**

Summary: PUD Extension Request  
for additional 3 years

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Current zoning: \_\_\_\_\_ Proposed zoning: \_\_\_\_\_

**SIGNATURES & DATE**

Applicant: \_\_\_\_\_

Print: Bridgette Cole 11/19/19

Owner: \_\_\_\_\_

Print: \_\_\_\_\_

Representative: \_\_\_\_\_

Print: \_\_\_\_\_

**CITY STAFF USE ONLY**

- Fee paid: \_\_\_\_\_
- Check number: \_\_\_\_\_
- Date Received: \_\_\_\_\_

November 19, 2019

**Via Email**

City of Louisville  
Planning and Building Safety  
749 Main Street  
Louisville, CO 80027

Re: DeLo Lofts | PUD Extension

Dear Planning and Building Safety Staff:

As the Applicant and Representative on behalf of the Owner, DeLo West, LLC, please accept this Application for extension to the PUD, Approved by City Council on December 6, 2016.

This request is due to the unforeseen restructuring of the Ownership's Management which has delayed finalization of construction documents and Building Permit application. This application is requesting extension to all associated variances, approvals, and amendments for the maximum period to allow for development of building permit documents.

Please let me know if you have any further questions or concerns.

Regards,

Bridgette Cole,  
Agent for DeLo West, LLC

Marathon Construction Management, LLC  
(720) 270-1492  
[bridgette@marathon-cm.com](mailto:bridgette@marathon-cm.com)

**RESOLUTION NO. 71  
SERIES 2016**

**A RESOLUTION APPROVING A FINAL PLAT FOR 4.39 ACRES WHICH INCLUDES A 1.91 ACRE FINAL PUD AND A SPECIAL REVIEW USE (SRU) WITHIN THE CORE AREA OF THE HWY 42 REVITALIZATION DISTRICT FOR 33 APARTMENTS AND 8 LIVE-WORK UNITS; A PORTION OF LOTS 2 THROUGH 5, BLOCK A, INDUSTRIAL AREA SUBDIVISION; LOT 101, LOUISVILLE TRADE CENTER; AND A PORTION OF LOT 4, BLOCK 13, CALEDONIA PLACE**

**WHEREAS**, there has been submitted to the Louisville City Council an application for approval of a replat for 4.39 acres which includes a 1.91 acre final PUD, and a Special Review Use (SRU) within the core area of the HWY 42 Revitalization District for 33 apartments and 8 live-work units; and

**WHEREAS**, the subject property is in the Highway 42 Revitalization Area; and

**WHEREAS**, the City Staff has reviewed the information submitted and found it to comply with the applicable regulations and design guidelines including LMC Sec. 16.12.030, Sec. 17.14.090, and Sec. 17.28.120; and

**WHEREAS**, after duly noticed public hearings on October 13, 2016 and November 10, 2016 where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Reports dated October 13, 2016 and November 10, 2016, the Planning Commission forwarded a recommendation of approval to the City Council for the Delo Lofts SRU, Final Subdivision Plat, and Final PUD Plan, with the following conditions:

1. The proposed signage shall be modified to comply with the Downtown Sign Manual.
2. The applicant shall address all issues in the Department of Public Works October 4, 2016 memo prior to the City Council hearing.
3. Prior to City Council approval, the plat shall be revised to include the reception numbers for the Louisville Tire Center plat and PUD.
4. Prior to City Council approval, the PUD shall be revised to include a note, where applicable, that the "Commercial Live Work Area – Final Condition is conceptual only, is not approved by this PUD and is subject to further review and approval, disapproval or modification through a separate PUD Amendment process".
5. Prior to City Council approval, the PUD shall be revised to remove the proposed parking improvements from the east side of the Live/Work Building A structure. Additionally, the joint parking and access easement shown on the Louisville Trade Center PUD and Replat shall be clearly delineated on the plat and PUD with references made to that document and reception number.

**NOW THEREFORE, BE IT RESOLVED** that the City Council of the City of Louisville, Colorado does hereby approve a SRU, Final Subdivision Plat, and Final PUD for the Delo Lofts Subdivision with the following condition:

1. Prior to the recordation of the Final PUD and Final Plat, the plans shall be revised to the satisfaction of the Public Works Department.

**PASSED AND ADOPTED** this 6<sup>th</sup> day of December, 2016.

By:   
Robert P. Muckle, Mayor

Attest:   
Meredyth Muth, City Clerk





# delo Final Planned Unit Development

## LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado

### LEGAL DESCRIPTION

LOT 101, LOUISVILLE TRADE CENTER AND A PORTION OF LOT 2, BLOCK A, LOT 3, BLOCK A, LOT 4, BLOCK A AND LOT 5, BLOCK A, INDUSTRIAL AREA SUBDIVISION LOCATED IN THE NORTHEAST ¼ OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 101;  
THENCE NORTH 90°00'00" EAST A DISTANCE OF 152.50 FEET ALONG THE SOUTH RIGHT-OF-WAY LINE OF GRIFFITH STREET TO THE NORTHEAST CORNER OF SAID LOT 101;  
THENCE SOUTH 00°00'00" EAST, 120.00 FEET ALONG THE EAST LINE OF SAID LOT 101 TO THE SOUTHEAST CORNER OF SAID LOT 101 BEING A POINT ON THE NORTH LINE OF SAID LOT 5 TO THE SOUTHWEST CORNER OF SAID LOT 101;  
THENCE NORTH 90°00'00" WEST, 16.90 FEET ALONG THE SOUTH LINE OF SAID LOT 101;  
THENCE SOUTH 00°00'00" EAST A DISTANCE OF 268.90;  
THENCE NORTH 90°00'00" WEST, 11.89 FEET;  
THENCE SOUTH 00°00'00" EAST A DISTANCE OF 100.70 FEET;  
THENCE NORTH 90°00'00" WEST, 4.95 FEET;  
THENCE SOUTH 00°00'00" EAST A DISTANCE OF 110.40 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 5;  
THENCE NORTH 90°00'00" WEST, 129.00 FEET ALONG THE SOUTH LINE OF SAID LOT 5 TO THE SOUTHWEST CORNER OF SAID LOT 5;  
THENCE NORTH 00°00'00" WEST, 600.00 FEET ALONG THE WEST LINE OF SAID LOTS 5, 4, 3, 2 AND 101 TO THE NORTHWEST CORNER OF SAID LOT 101, THE POINT OF BEGINNING.

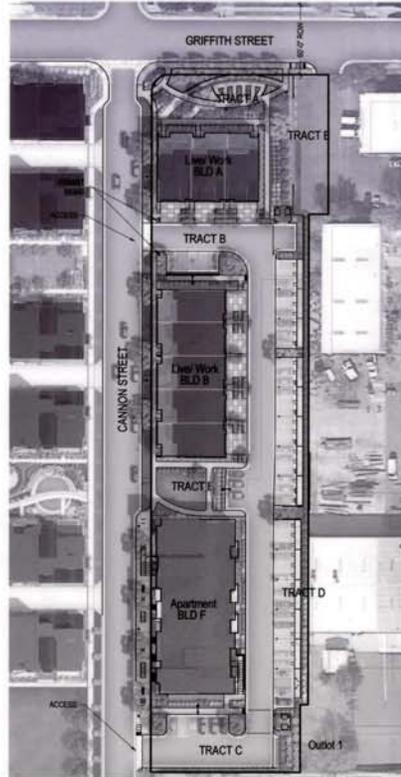
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

AREA = 1.87 ACRES  
(SURVEY BY ROCK CREEK, DATED AUGUST 29th 2013)

### PROJECT DESCRIPTION

PLATTED AREA: #4.28 AC.  
TOTAL GROSS PROJECT AREA: #1.91 AC.

CURRENT ZONING: MIXED USE RESIDENTIAL (MU-R)  
PROPOSED ZONING: MIXED USE RESIDENTIAL (MU-R)  
ACCESS: CANNON STREET (FULL MOVEMENT)



1 MASTER PLAN - DELO LOFTS



### OWNERSHIP AND LAND USE SUMMARY

PARCEL	TOTAL AREA (AC)	OWNERSHIP	PRIMARY USES	MAINTENANCE
TRACT A	0.14	DELO WEST, LLC	PRIVATE UTILITIES, DRY UTILITY EASEMENTS, DRAINAGE, OUTDOOR USES, PUBLIC ACCESS, MONUMENTATION AND DRAINAGE	DELO LOFTS OA
TRACT B	0.38	DELO WEST, LLC	PRIVATE UTILITIES, DRY UTILITY EASEMENTS, DRAINAGE, OUTDOOR USES AND PUBLIC ACCESS	DELO LOFTS OA
TRACT C	0.55	DELO WEST, LLC	PRIVATE UTILITIES, PRIVATE PARKING, ACCESS, DRY UTILITY EASEMENTS, MONUMENTATION AND DRAINAGE	DELO LOFTS OA
TRACT D	0.04	DELO WEST, LLC	PRIVATE UTILITIES AND PARKING, DRY UTILITY EASEMENTS, DRAINAGE, OUTDOOR USES AND PUBLIC ACCESS	DELO LOFTS OA
TRACT E	0.08	DELO WEST, LLC	PRIVATE UTILITIES, DRY UTILITY EASEMENTS, DRAINAGE, OUTDOOR USES AND PUBLIC ACCESS, PARKING	DELO LOFTS OA
OUTLOT 1	0.17	BOOM, LLC	PRIVATE UTILITIES, DRY UTILITY EASEMENTS, DRAINAGE, AND PUBLIC ACCESS	DELO LOFTS OA

NOTE: EXISTING ENCUMBRANCES AND USES ARE NOTED ON THE DRAWINGS AND ARE NOT SUPERSEDED BY THE OWNERSHIP USE TABLE.

### SHEET TITLE

## PROJECT INTRODUCTION

SUBMITTAL	no	date	description
1	03.11.2016	Initial Submittal	
2	07.29.2016	Second Submittal	
3	09.16.2016	Third Submittal	
4	11.16.2016	Fourth Submittal	
5	05.19.2017	For Approval	



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FOUNDRY BUILDERS



sheet  
2 OF 10

# delo Final Planned Unit Development

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado

LOFTS

## USE CHART

PRINCIPAL USE GROUP	USES <sup>1</sup>	LOCATION
RESIDENTIAL	MULTI-UNIT DWELLING APARTMENTS/CONDOMINIUMS	LOT 9
COMMERCIAL / LIVE WORK	PROFESSIONAL / BUSINESS OFFICES, RETAIL AND LIVE WORK	LOT 1-B

<sup>1</sup> ALL USES PER TABLE 1 OF SECTION 17.14(B)(4) ARE ALLOWED, WHICH MAY FURTHER DIVERSIFY THE RANGE OF USES WITHIN THE PROJECT.

## DENSITY SUMMARY

TOTAL GROSS PROJECT AREA:	43.39 AC. <sup>1</sup>		
GROSS LAND AREA:	42.36 AC. <sup>2</sup>		
		UNITS	DENSITY <sup>3</sup>
TOTAL:	42.36 AC.	41 DU	17.37 DU/ACRE
		COMMERCIAL USE	15,840 sf <sup>4</sup>

<sup>1</sup> THE DENSITY CALCULATION IS CONSISTENT WITH CITY OF LOUISVILLE CODE SECTION 17.14(B)(1)(A).

<sup>2</sup> TOTAL GROSS PROJECT AREA INCLUDES ALL PLATTED AREA PLUS ONE HALF OF HEIGHT OF ANY AREA FOR THE DIRECTLY ADJACENT STREETS. GROSS LAND AREA IS SYNCHRONOUS WITH THE AREA CONSISTENT WITH CODE OUTLINED IN FOOTNOTE 1.

<sup>3</sup> SQUARE FOOTAGE IS BASED ON 8 LIVE WORK UNITS USING 60% OF THE SPACE AS A COMMERCIAL USE.

## BULK & DIMENSION STANDARDS

	COMMERCIAL / LIVE WORK	RESIDENTIAL
MIN. LOT AREA	1,500 SF	NA
MIN. LOT WIDTH	25'	NA
MIN. LOT COVERAGE	40%	40%
MIN. LANDSCAPE COVERAGE	10%	10%
MAX. FOOTPRINT	15,000 SF <sup>4</sup>	15,000 SF <sup>4</sup>
MAX. LENGTH ALONG STREET	200'	200'
MIN. % STREET FRONTAGE	60%	60%
BUILDING SETBACKS		
MIN. & MAX. PUBLIC STREET TRACY <sup>11</sup> SETBACK (PRINCIPAL USES)	MAXIMUM 50' MINIMUM 0'	MAXIMUM 50' MINIMUM 0'
MIN. SIDE YARD SETBACK <sup>12</sup> (PRINCIPAL & ACCESSORY USES)	0'	0'
MIN. STREET SIDE YARD SETBACK (PRINCIPAL & ACCESSORY USES)	0'	0'
MIN. REAR YARD SETBACK <sup>13</sup> (PRINCIPAL USES)	20'	0'
MIN. REAR YARD SETBACK <sup>14</sup> (ACCESSORY USES)	0'	0'
MAX. BUILDING HEIGHT		
PRINCIPAL USES <sup>15</sup>	MIN. 2 STORES/20'	MIN. 2 STORES/30'
ACCESSORY USES <sup>16</sup>	MAX. 3 STORES/40'	MAX. 3 STORES/45'
PARKING SETBACK		
GRIFFITH ST. & CANNON ST. R.O.W.	15'	
PROPERTY LINE	5'	

<sup>11</sup> FOR SIMPLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.

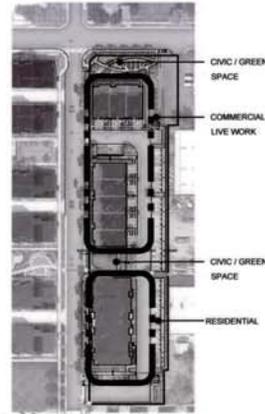
<sup>12</sup> ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES SHALL BE SUBJECT TO MUDGOS, SECTION 8, RESIDENTIAL PROTECTION AND TRANSITIONAL STANDARDS.

<sup>13</sup> SHALL BE SUBJECT TO MUDGOS, SECTION 8, RESIDENTIAL PROTECTION AND TRANSITIONAL STANDARDS.

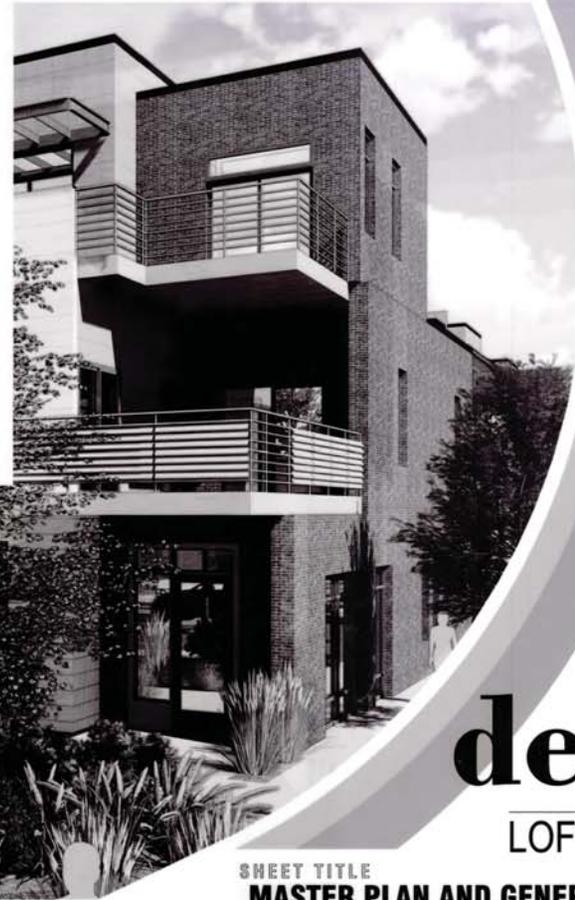
<sup>14</sup> TO BE ADHERED TO ONLY AS A FRONT SETBACK.

<sup>15</sup> REAR SETBACKS SHALL BE MEASURED FROM EXTERNAL PROPERTY LINES OF THE DEVELOPMENT.

<sup>16</sup> A SRU IS REQUIRED FOR BUILDING FOOTPRINTS OVER 10,000 SF.



1 BULK & DIMENSION KEY MAP



## GENERAL NOTES AND STANDARDS

- DELO LOFTS IS A MASTER PLANNED DEVELOPMENT AND IS COMPRISED OF TWO SEPARATE AND DISTINCT PRODUCT TYPES: RESIDENTIAL MULTI-UNIT DWELLING APARTMENTS (AND/OR CONDOMINIUMS), AND COMMERCIAL / LIVE WORK SPACE.
- ANY AND ALL TRACTS, AS DEPICTED ON THE PROJECT PLAT, SHALL BE MAINTAINED BY THE HOA. THE DEVELOPER MAY CONDUCT ACTIVITIES (INCLUDING BUT NOT LIMITED TO GRADING) ON ALL DEDICATED LANDS FOR THE PURPOSE OF CONSTRUCTING PUBLIC AND PRIVATE IMPROVEMENTS.
- ENTRY MONUMENTS, PROJECT IDENTITY AND WAY-FINDING SIGNAGE ARE CONCEPTUAL IN NATURE AT THE LOCATIONS SHOWN WITHIN THIS DEVELOPMENT PLAN. FINAL LOCATIONS SHALL BE DETERMINED DURING THE CONSTRUCTION DOCUMENTATION PROCESS, BUT SHALL CONFORM TO THE STANDARDS WITHIN THIS DEVELOPMENT PLAN AND SHALL BE LOCATED ON PRIVATE PROPERTY.
- THERE ARE NO HISTORIC STRUCTURES WITHIN THE DELO LOFTS PROJECT AREA.
- ACCESSIBLE SIDEWALKS AND PEDESTRIAN WAYS SHALL BE PROVIDED THAT MEET ADA STANDARDS FOR RUNNING SLOPE AND CROSS SLOPE.
- AMENITY / RECREATION STRUCTURES, IF ANY, ARE NOT INCLUDED IN DENSITY CALCULATIONS, HOWEVER MAY BE INCLUDED IN LOT COVERAGE CALCULATIONS. SUCH STRUCTURES ARE SUBJECT TO BULK AND DIMENSION STANDARDS SPECIFIED FOR ACCESSORY STRUCTURES AS DESCRIBED IN THIS DEVELOPMENT PLAN.
- PARKING STRUCTURES, CARPORTS, AND PARKING GARAGES, WHEN DETACHED, SHALL BE APPROVED AS ACCESSORY STRUCTURES AND USES NECESSARY AND CUSTOMARILY INCIDENTAL TO THE RESIDENTIAL USE, SUBJECT TO BULK AND DIMENSION STANDARDS AS DESCRIBED IN THIS DEVELOPMENT PLAN. PARKING STRUCTURES, GARAGES AND SIMILAR STRUCTURES ARE NOT INCLUDED IN DENSITY CALCULATIONS, HOWEVER ARE INCLUDED IN LOT COVERAGE CALCULATIONS. FURTHERMORE, IT IS UNDERSTOOD THAT LIVING SPACES ARE NOT PERMITTED IN OR ABOVE DETACHED GARAGES, OR AS AN ACCESSORY USE.
- NO RESTRICTIONS ARE IMPOSED WITH REGARD TO PROJECT PHASING OTHER THAN AS EXPRESSLY SET FORTH IN THIS DEVELOPMENT PLAN OR IN ANY DEVELOPMENT AGREEMENT BETWEEN THE OWNER AND THE CITY.
- THE GROUND FLOOR PROGRAM MAY BE RESIDENTIAL SUBJECT TO THE SRU CRITERIA, AND/OR COMMERCIAL, AND SHALL BE INTERCHANGEABLE, PROVIDED THAT THE TOTAL NUMBER OF DWELLING UNITS DOES NOT EXCEED THE MAXIMUM NUMBER OF DWELLING UNITS DESCRIBED HEREIN.
- RESIDENTIAL MULTI-UNIT DWELLING APARTMENTS SHALL BE ALLOWED TO TRANSITION TO CONDOMINIUMS, AT THE SOLE DISCRETION OF THE DEVELOPER, WITHOUT ADDITIONAL REQUIREMENTS.
- THE LIGHTING CONFIGURATION, DESIGN, FIXTURE TYPES, ETC. AS DEPICTED HEREIN IS SUBJECT TO FURTHER ANALYSIS, DESIGN AND AVAILABILITY, AND AS SUCH MAY VARY FROM THE FINAL PUD TO FINAL CONSTRUCTION DOCUMENTS WHILE PROVIDING ILLUMINATION LEVELS SUBSTANTIALLY SIMILAR TO THOSE APPROVED IN THE PHOTOMETRIC PLAN. PROPOSED LIGHTING WILL INCLUDE DIRECTIONAL COVERS AND SHALL BE DIRECTED AWAY FROM THE RESIDENCES.
- DELO LOFTS PROJECT CALCULATIONS, INCLUDING LANDSCAPING AND PARKING SHALL BE CALCULATED ON THE AGGREGATE DELO LOFTS PROJECT AREAS, EXCLUDING LOT 10.
- STREETSCAPE TREES AND THEIR PLANTING LOCATIONS SHALL RESPECT ALL PROPOSED AND EXISTING UTILITIES AND BE INSTALLED TO AVOID ANY AND ALL SERVICE LINES.
- ALL IMAGERY IS CONCEPTUAL IN NATURE.
- THE PROJECT MAY BE BULTPHASED IN ANY ORDER OF CONSTRUCTION SO LONG AS TWO POINTS OF ACCESS ARE PROVIDED.

## SHEET TITLE MASTER PLAN AND GENERAL NOTES

SUBMITTAL	no	date	description
	1	03.11.2014	Initial Submittal
	2	07.29.2014	Second Submittal
	3	09.14.2014	Third Submittal
	4	11.14.2014	Fourth Submittal
	5	06.19.2017	For Approval

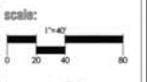
designed by: **sla**  
drawn by: **km**  
checked by: **gms**  
project #: **8675309**

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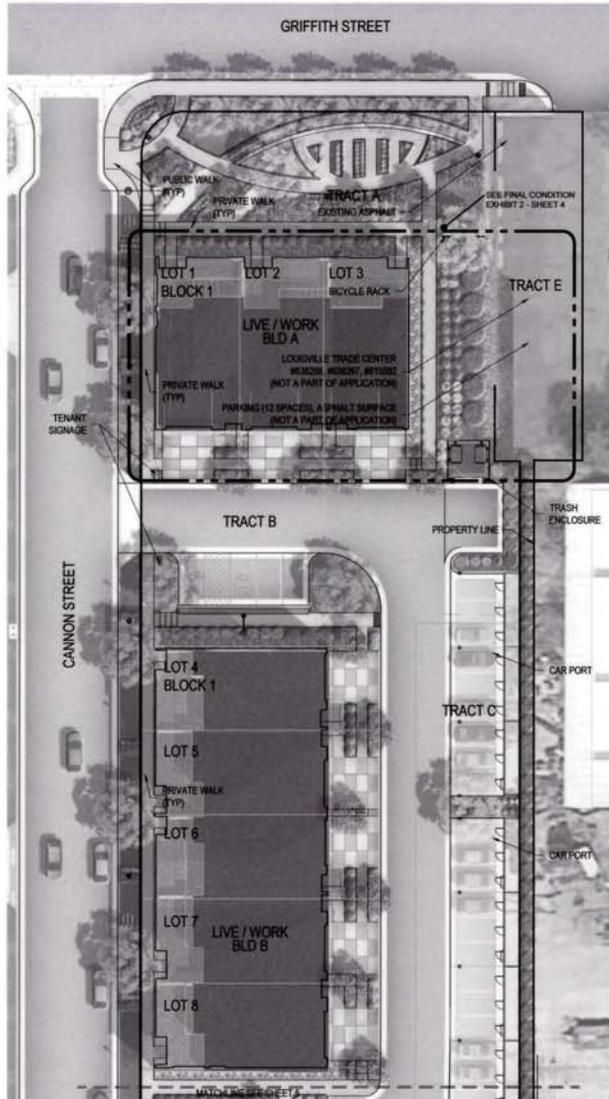
sheet  
3 of 21

delo  
LOFTS

# delo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



1 COMMERCIAL / LIVE WORK AREA-INTERIM CONDITION

### BULK & DIMENSION STANDARDS - COMMERCIAL / LIVE WORK

	STANDARD	PROVIDED <sup>1</sup>
MIN. LOT AREA	1,500 SF	2,392.5 SF
MIN. LOT WIDTH	25'	29'
MIN. LOT COVERAGE	40%	70%
MIN. LANDSCAPE COVERAGE <sup>2</sup>	10%	16.5%
MAX. FOOTPRINT	15,000 SF <sup>3</sup>	8,414 SF
MAX. LENGTH ALONG STREET	200'	145'
MIN. % STREET FRONTAGE	70%	62% <sup>4</sup>
<b>BUILDING SETBACKS</b>		
MIN. & MAX. PUBLIC STREET TRACT <sup>5,4</sup> SETBACK (PRINCIPAL USES)	MAXIMUM 10'	MAXIMUM 10'
	MINIMUM 0'	MINIMUM 0'
MIN. SIDE YARD SETBACK <sup>1,3</sup> (PRINCIPAL & ACCESSORY USES)	0'	5'
MIN. STREET SIDE YARD SETBACK (PRINCIPAL & ACCESSORY USES)	0'	5'
MIN. REAR YARD SETBACK <sup>1</sup> (PRINCIPAL USES)	20'	20'
MIN. REAR YARD SETBACK <sup>1</sup> (ACCESSORY USES)	0'	4'
<b>MAX. BUILDING HEIGHT</b>		
PRINCIPAL USES <sup>1</sup>	MIN. 2 STORES SQF	3 STORES / 3F
ACCESSORY USES <sup>1</sup>	MAX. 3 STORES SQF	
<b>PARKING SETBACK</b>		
GRIFFITH ST. & CANNON ST. R.O.W	10'	13'
PROPERTY LINE	5'	1.5'

1. FREE SIMPLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.
2. ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES.
3. SHALL BE SUBJECT TO MUDCOG, SECTION 8 RESIDENTIAL PROTECTION AND TRANSITIONAL STANDARDS.
4. TO BE ADMINISTERED SEPARATELY AS A FRONT SETBACK.
5. REAR SETBACKS SHALL BE MEASURED FROM EXTERNAL PROPERTY LINES OF THE DEVELOPMENT.
6. A SRU IS REQUIRED FOR BUILDING FOOTPRINTS OVER 10,000 SF.
7. LANDSCAPE COVERAGE IS BASED ON TOTAL PROJECT AREA.
8. MINIMUM % OF STREET FRONTAGE IS BASED ON A TOTAL SITE CALCULATION AND NOT TRIMMED BY USES.

### USE CHART

PRINCIPAL <sup>1</sup> USE GROUP	USES <sup>2</sup>	LOCATION	UNITS
COMMERCIAL / LIVE WORK	PROFESSIONAL / BUSINESS OFFICE / RETAIL / LIVE WORK	LOT 1-8	8

1. THE ANTICIPATED PRINCIPAL USES EXCEED THE MINIMUM REQUIREMENTS OF THIS USES AND PROVIDES A PUBLIC TRINITY.
2. ALL USES FOR TABLE 1 OF SECTION 14 ARE ALLOWED, WHICH MAY FURTHER DIVERSIFY THE RANGE OF USES WITHIN THE PROJECT.

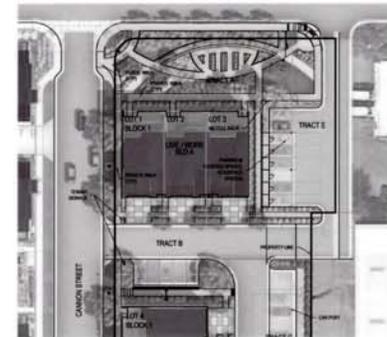
### PARKING SUMMARY

COMMERCIAL & LIVE WORK CRITERIA	GROSS LEASEABLE AREA (GLA)	REQUIRED	INTERIM	PROVIDED	FINAL CONDITION
COMMERCIAL 1 SP / 300 SF	1,430 SF per UNIT <sup>3</sup>	32	OFF STREET= 11 ON STREET= 14	OFF STREET= 24 ON STREET= 14	INDOOR / OUTDOOR= 32 BICYCLE= 4
LIVE WORK	2,770 per UNIT <sup>3</sup>	16	INDOOR / OUTDOOR= 32 BICYCLE= 4	INDOOR / OUTDOOR= 32 BICYCLE= 4	INDOOR / OUTDOOR= 32 BICYCLE= 4
TOTAL	33,600 SF	48 <sup>4,5</sup>	57 <sup>3,4</sup>	70 <sup>3,4</sup>	RATIO: 1.455 SF <sup>6</sup>

1. GLA IS ASSIGNED TO BE 80% OF TOTAL COMMERCIAL AREA AS PROPOSED.
2. THE COMMERCIAL / LIVE WORK BUILDINGS ARE COMPATIBLE WITH THE OVERALL USES WITHIN DELO SUBDIVISION AND MAY ALSO SHARE EXISTING PARKING FROM DELO PHASE 1, PHASE 2A, AND PHASE 4.
3. SQUARE FOOTAGE FOR COMMERCIAL AND LIVE WORK UNITS ARE BASED ON AN ANTICIPATED AVERAGE AND NOT A REQUIRED OR ALLOWABLE AMOUNT SO LONG AS THE MAXIMUM AMOUNT OF RESIDENTIAL AREA DOES NOT EXCEED 80% OF THE TOTAL ALLOWABLE SQUARE FOOTAGE.
4. ALL PARKING FOR DELO LOFTS SHALL BE CALCULATED ON AN AGGREGATE BASIS FOR THE PROJECT AND NOT BY INDIVIDUAL UNITS.

### COMMERCIAL / LIVE WORK AREA NOTES

1. THE COMMERCIAL / LIVE WORK BUILDINGS ARE ORGANIZED AROUND TWO PRIMARY POINTS OF ACCESS KNOWN AS CANNON STREET. ADDITIONALLY THIS SITE LAYOUT ENHANCES ACCESS TO EXISTING AND FUTURE PUBLIC PLAZAS, GREEN SPACES, GREENWAYS, AND MULTI-MODAL TRANSPORTATION OPPORTUNITIES.
2. REFER TO THE LAND USE SUMMARY AND/OR SUBDIVISION AGREEMENT FOR TRACT OWNERSHIP AND GENERAL MAINTENANCE INFORMATION INCLUDING DELINEATION OF MAINTENANCE RESPONSIBILITIES.
3. USES ALLOWED BY RIGHT, ALL USES AS PERMITTED IN THE LOUISVILLE MUNICIPAL CODE SECTION 17.14.050A, TABLE 1 IN ADDITION TO THOSE NOTED ON THE MASTER PLAN AND GENERAL NOTES.
4. BUILDINGS MAY BE BUILT AT TWO OR THREE STORY HEIGHTS, OR COMBINATIONS THEREOF AND MAY INCLUDE OUTDOOR LIVING SPACES.
5. LANDSCAPING WILL MEET THE INTENT OF THE APPROVED PLAN AND WITH MUDCOG REQUIREMENTS.
6. THE PROPOSED COMMERCIAL AND LIVE WORK BUILDINGS SHALL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM THAT SHALL BE OFF A LOOPED MAIN SUCH THAT NO MORE THAN ONE SERVICE IS OFF A END-END LINE.
7. ALL BUILDING HEIGHTS RELATIVE TO ASSOCIATED GRADE SHALL BE MEASURED PER THE CITY OF LOUISVILLE MUNICIPAL CODE.



2 COMMERCIAL / LIVE WORK AREA-FINAL CONDITION SCALE: 1"=40' Conceptual Plan

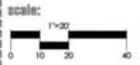
FINAL CONDITION IS CONCEPTUAL ONLY, IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.

# delo

LOFTS

## SHEET TITLE COMMERCIAL / LIVE WORK AREA

SUBMITTAL	no	date	description
	1	02.11.2016	initial Submittal
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	3	09.16.2016	Third Submittal
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FOUNDRY

# delo Final Planned Unit Development

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado

LOFTS



### BULK & DIMENSION STANDARDS - RESIDENTIAL

	STANDARD	PROVIDED <sup>1</sup>
MIN. LOT AREA	NA	12,641.5 SF
MIN. LOT WIDTH	NA	82'
MIN. LOT COVERAGE	40%	77%
MIN. LANDSCAPE COVERAGE <sup>2</sup>	10%	22%
MAX. FOOTPRINT	15,000 SF <sup>3</sup>	9,828 SF
MAX. LENGTH ALONG STREET	200'	151'
MIN. % STREET FRONTAGE	70%	62% <sup>4</sup>
<b>BUILDING SETBACKS</b>		
MIN. & MAX. PUBLIC STREET <sup>5</sup> TRACT <sup>1,4</sup> SETBACK (PRINCIPAL USES)	MAXIMUM 10' MINIMUM 0'	4.9'
MIN. SIDE YARD SETBACK <sup>1,5</sup> (PRINCIPAL & ACCESSORY USES)	0'	0'
MIN. STREET SIDE YARD SETBACK <sup>1,5</sup> (PRINCIPAL & ACCESSORY USES)	0'	NA
MIN. REAR YARD SETBACK <sup>1</sup> (PRINCIPAL USES)	0'	63'
MIN. REAR YARD SETBACK <sup>2</sup> (ACCESSORY USES)	0'	0'
MAX. BUILDING HEIGHT		
PRINCIPAL USES <sup>6</sup>	MIN. 3 STOREYS/5'	3 STOREYS/45'
ACCESSORY USES <sup>6,7</sup>	20' MAX.	11'
<b>PARKING SETBACK</b>		
GRIFFITH ST. & CANNON ST. R.O.W.	10'	13'
PROPERTY LINE	5'	9'

<sup>1</sup> PER SIMPLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.  
<sup>2</sup> ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES.  
<sup>3</sup> SHALL BE SUBJECT TO MUDDSG. SECTION 8, RESIDENTIAL PROTECTION AND TRANSITIONAL STANDARDS.  
<sup>4</sup> TO BE ADMINISTERED SOLELY AS A FRONT SETBACK.  
<sup>5</sup> REAR SETBACKS SHALL BE MEASURED FROM EXTERNAL PROPERTY LINES OF THE DEVELOPMENT.  
<sup>6</sup> A SFU IS REQUIRED FOR BUILDING FOOTPRINTS OVER 10,000 SF.  
<sup>7</sup> LANDSCAPE COVERAGE IS BASED ON TOTAL PROJECT AREA.  
<sup>8</sup> MINIMUM % OF STREET FRONTAGE IS BASED ON A TOTAL SITE CALCULATION AND NOT ITEMIZED BY USES.  
<sup>9</sup> THE INFORMATION PROVIDED IS DEPICTING GENERAL INTENT AND MAY VARY WITHIN THE CONSTRUCTION DOCUMENTS, BUT SHALL NOT DEVIATE FROM THE STANDARDS SET FORTH AS PRESCRIBED WITHIN THIS FINAL PUD.

### USE CHART

PRINCIPAL USE GROUP	USES <sup>1</sup>	LOCATION
RESIDENTIAL	MULTI-UNIT DWELLING APARTMENTS/CONDOMINIUMS	LOT 9

<sup>1</sup> ALL USES PER TABLE 1 OF SECTION 17.14.000 ARE ALLOWED, WHICH MAY FURTHER DIVERSIFY THE RANGE OF USES WITHIN THE PROJECT.

### PARKING SUMMARY

RESIDENTIAL CRITERIA	DWELLING UNITS	REQUIRED	PROVIDED	PARKING RATIO
STUDIO / 1 BR X 1 SP / DU	STUDIO / 1 BR : 27	27	OFF STREET+40	
2 & 3 BR X 2 SP / DU	2 & 3 BR X 2 : 6	12	LOADING-1	
GUEST 1 SP / 8 DU		4	BICYCLE-6	
TOTAL	33 UNITS	43	43	1.3

### RESIDENTIAL NOTES AND STANDARDS

- THE RESIDENTIAL (MULTI DWELLING UNITS) WILL BE ORGANIZED AROUND TWO PRIMARY POINTS OF ACCESS KNOWN AS CANNON STREET. THIS SITE LAYOUT ENHANCES ACCESS TO PUBLIC PLAZAS, GREEN SPACES, GREENWAYS, AND MULTI-MODAL TRANSPORTATION OPPORTUNITIES.
- REFER TO THE LAND USE SUMMARY AND/OR SUBDIVISION AGREEMENT FOR TRACT OWNERSHIP AND GENERAL MAINTENANCE INFORMATION INCLUDING DELINEATION OF MAINTENANCE RESPONSIBILITIES.
- USES ALLOWED BY RIGHT: ALL USES AS PERMITTED IN THE LOUISVILLE MUNICIPAL CODE SECTION 17.14.000, TABLE 1 IN ADDITION TO THOSE NOTED ON THE MASTER PLAN AND GENERAL NOTES.
- BUILDINGS MAY BE BUILT AT TWO OR THREE STORY HEIGHTS, OR COMBINATIONS THEREOF AND MAY INCLUDE OUTDOOR LIVING SPACES.
- THE PROPOSED RESIDENTIAL (MULTI DWELLING UNITS) SHALL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM THAT SHALL BE OFF A LOOPED MAIN SUCH THAT NO MORE THAN ONE SERVICE IS OFF A DEAD-END LINE.
- BLOCKS AND TRACTS DO NOT CONSTITUTE A FIRM DELINEATION OF PARKING AND SHALL BE SHARED BETWEEN RESIDENTIAL AND COMMERCIAL / LIVE WORK USES.
- LANDSCAPING WILL MEET THE INTENT OF THE APPROVED PLAN AND WITH THE MUDDSG REQUIREMENTS.
- ALL SNOW REMOVAL SHALL BE THE RESPONSIBILITY OF THE OWNERS ASSOCIATION AND SNOW REMOVAL FROM THE WALK WITHIN RIGHT-OF-WAY AND IN PUBLIC ACCESS EASEMENT ON PRIVATE PROPERTY SHALL BE CONSISTENT WITH THE REQUIREMENTS OF THE CITY CODE.
- FINAL CONDITION IS CONCEPTUAL ONLY, IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.



delo  
LOFTS

SHEET TITLE

RESIDENTIAL AREA

1 RESIDENTIAL AREA

SUBMITTAL	no	date	description
designed by: sha	1	03.11.2016	Initial Submittal
drawn by: km	2	07.29.2016	Second Submittal
checked by: pms	4	11.16.2016	Third Submittal
project #: 8675309	5	05.19.2017	Fourth Submittal for Approval



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3003 Larimer Street  
Denver, CO 80205  
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Engineering Consultants  
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Suite 206  
Louisville, CO 80027  
Phone (720) 975-0177  
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foundry Builders, Inc.  
21 South Sunset Street  
Longmont, CO 80501  
Phone (720) 524-3600

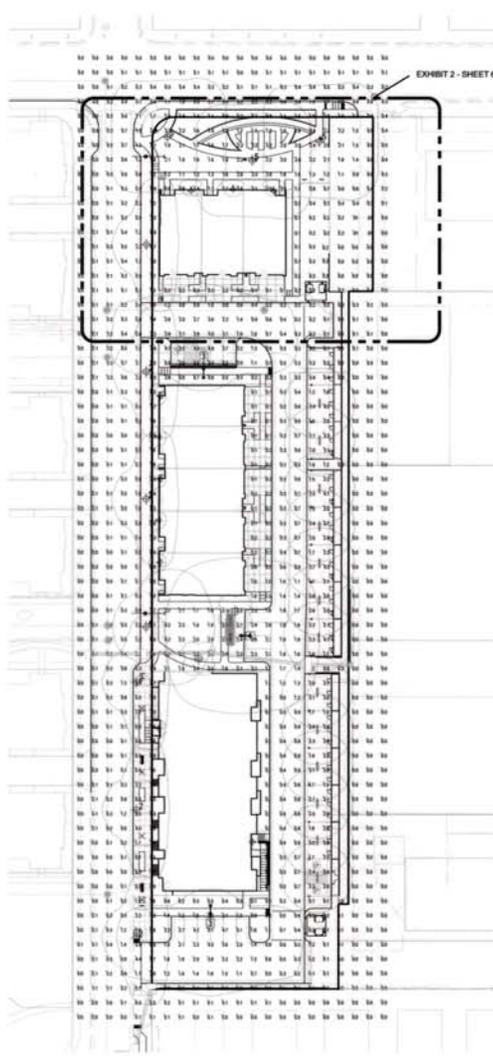
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north  
sheet  
5 of 21

PUD 17.14.000 - Final PUD - 05/19/2017

# delo Final Planned Unit Development

## LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



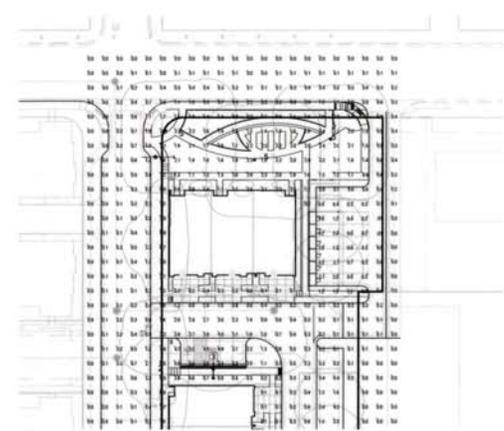
1 PHOTOMETRIC PLAN - INTERIM SITE PLAN CONDITION  
SCALE: 1"=40'

Luminaire Schedule							
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
⊕	10	Euroline Vello Wall Sconce	0.900	26262-013	5.1	189	8'
⊕	2	Landscape Forms Boltard	0.900	HW-012LS-035F-40K	15.44	718	3'
⊕	3	Lumec Metroscape Type 5	0.900	MPTR-80W48LED4K-T-LES	81	7138	12'
⊕	13	EELP Canopy Light	0.750	_VR4-70M-QT	95	3754	10'
⊕	6	Lumec Metroscape Type 2	0.900	MPTR-80W48LED4K-T-LE2	81	6833	12'
⊕	1	Lumec Metroscape Type 4	0.900	MPTR-80W48LED4K-T-LE4	81	6784	12'
⊕	2	Garcoo SlenderForm Type 3	0.900	SFRA-3-130LA-8053-NW	127.9	11174	20'
⊕	1	Garcoo SlenderForm Type 5	0.900	SFRA-SW-130LA-8053-NW	128.6	12495	20'

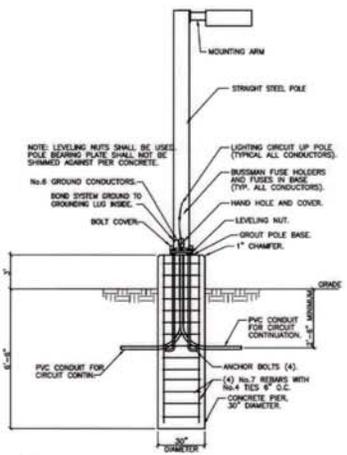
2 LUMINAIRE SCHEDULE - INTERIM SITE CONDITION

Luminaire Schedule							
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
⊕	10	Euroline Vello Wall Sconce	0.900	26262-013	5.1	189	8'
⊕	2	Landscape Forms Boltard	0.900	HW-012LS-035F-40K	15.44	718	3'
⊕	3	Lumec Metroscape Type 5	0.900	MPTR-80W48LED4K-T-LES	81	7138	12'
⊕	15	EELP Canopy Light	0.750	_VR4-70M-QT	95	3754	10'
⊕	6	Lumec Metroscape Type 2	0.900	MPTR-80W48LED4K-T-LE2	81	6833	12'
⊕	1	Lumec Metroscape Type 4	0.900	MPTR-80W48LED4K-T-LE4	81	6784	12'
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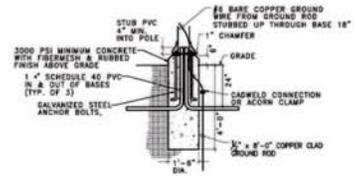
3 LUMINAIRE SCHEDULE - FINAL SITE CONDITION



4 PHOTOMETRIC PLAN - FINAL SITE CONDITION  
SCALE: 1"=40'  
FINAL CONDITION IS CONCEPTUAL ONLY. IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL, OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.



2 TALL POLE DETAIL  
N.T.S.



3 SHORT POLE DETAIL  
N.T.S.

NOTES  
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# delo

## LOFTS

### SHEET TITLE

#### PHOTOMETRIC PLAN

SUBMITTAL	no	date	description	scale:
designed by:	1	03.11.2016	Initial Submittal	1"=40' 0 20 40 80
drawn by:	2	07.29.2016	Second Submittal	
checked by:	3	09.14.2016	Third Submittal	
project #:	4	11.16.2016	Fourth Submittal	
	5	05.19.2017	For Approval	

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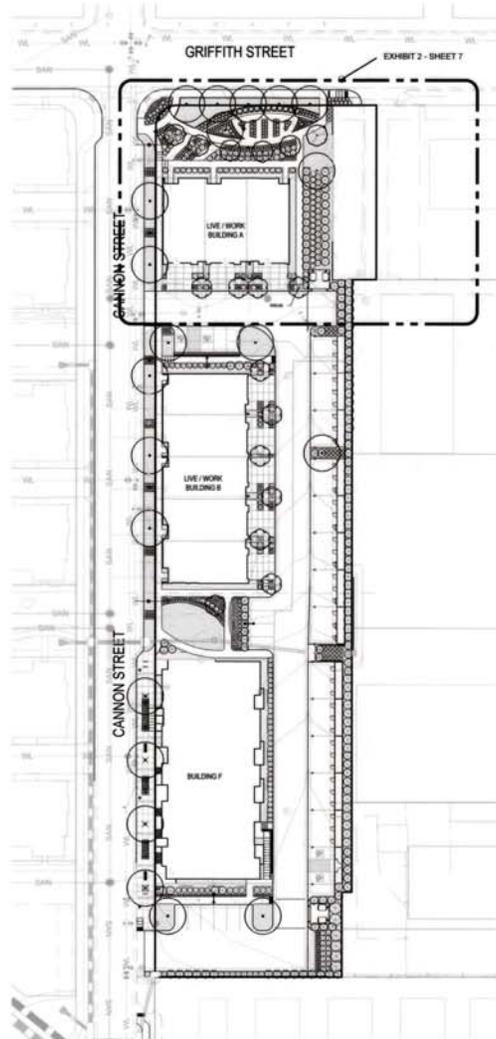
owner's representative  
Foundry Builders, Inc.  
21 South Sunset Street  
Longmont, CO 80501  
Phone (720) 324-3600



# delo Final Planned Unit Development

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado

LOFTS



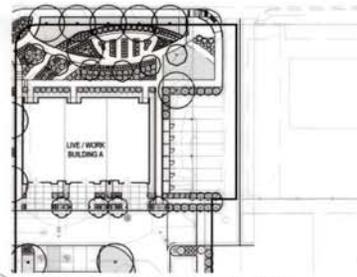
### SUGGESTED PLANT PALETTE:

BOTANICAL NAME	COMMON NAME
ACER MIYABEI STATE STREET	STATE STREET MAPLE
CECIDIUM TREES	
CELTIS OCCIDENTALIS	WESTERN HACKBERRY
DRYAS BLANDA SARATOGA	MADEIRA TREE
OLEFETA TRICANTHOS IMPERIAL	IMPERIAL HONEYLOCUST
TILIA CORDATA GREENSPICE	GREENSPICE LITTLELEAF LINDEN
ULMUS X FRONTIER	FRONTIER ELM
EVERGREEN TREES	
PRUNUS HELDREICH	BOGIAN PINE
PRUNUS NODI	AUSTRIAN BLACK PINE
ORNAMENTAL TREE	
ACER GINNALA FLAME	FLAME ANGER MAPLE
AMELANCHIER CANADENSIS AUTUMN BRILLIANCE	AUTUMN BRILLIANCE SERVICEBERRY
PRUNUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR
DECIDUOUS SHRUBS	
AMELANCHIER ALFOLIA REGENT	SASKATOON SERVICEBERRY
BERBERIS THUNBERGII HELMOND PILLAR	COLUMBIA BARBERRY
CARYOPTERIS X CLANDONENSIS DARK KNIGHT	BLUE MET SPIREA
CORNUS SERICEA SAMMI	SMITH REDDOGD OGDWOOD
CORNUS SERICEA KELSEY	KESEY DOGWOOD
EUONYMUS ALATUS COMPACTUS	COMPACT BURNING BUSH
HYDRANGEA HYDRANGEICENSIS ANNABELLE	ANNABELLE SMOOTH HYDRANGEA
PHYSCOCARPUS OPAULIFOLIS DART'S GOLD	YELLOW NINEBARK
RHUS TRILOBATA GLO LOW	SHRUBBY SUMAC
ROSA X FRANKENKÖNIG	ROSA
SPRAEA JAPONICA ANTHONY WATERER	SPREA
VERBURNUM LENTAGO	NANYSBERRY
EVERGREEN SHRUBS	
EUONYMUS FORTUNEI COLORATA	PURPLE-LEAF WINTER GREENER
JUNIPERUS CHINENSIS HOLBERT	HOLBERT JUNIPER
JUNIPERUS HORIZONTALIS BLUE CHIP	BLUE CHIP JUNIPER
JUNIPERUS HORIZONTALIS HUGHES	HUGHES JUNIPER
JUNIPERUS SABINA ARCADIA	ARCADIA JUNIPER
JUNIPERUS SCOPULORUM COLOGREEN	COLOGREEN JUNIPER
JUNIPERUS SCOPULORUM MCKENZIE	MCKENZIE JUNIPER
JUNIPERUS X MEDIA SEA GREEN	SEA GREEN JUNIPER
TAXUS X MEDIA TAUNTON	TAUNTON YEW
GRASSES	
CALAMAGROSTIS BRACHYTRICHA	REED GRASS
CALAMAGROSTIS X ACUTYPLOEA KARL FORSTER	FEATHER REED GRASS
HELICTESCORONIA SENPERSWENSIS	BLUE OAT GRASS
MISCANTHUS SINENSIS MORNING LIGHT	EULALIA GRASS
MISCANTHUS SINENSIS YANGI JMA	DWARF MAIDEN GRASS
PENNISETUM ALPELCOUREDES HANELY	HANELY DWARF FOUNTAIN GRASS
PENNISETUM ALPELCOUREDES RED HEAD	RED HEAD FOUNTAIN GRASS
ANNUALS/PERENNIALS	
ACHILLEA X MOONSHINE	MOONSHINE YARROW
COREOPSIS VERTICILLATA MOONBEAM	THREADED COREOPSIS
ECHINACEA PURPUREA WAGONS	MAGNUS PURPLE CONEFLOWER
HEMEROCALLIS X STELLA DE GR	STELLA DE GR DODDLEY
RUDECKIA FLUCCIDA GOLDSTURM	GOLDSTURM BLACK-EYED SUSAN

### LANDSCAPE KEY

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- SOIL - IRRIGATED
- ROCK MULCH - NON IRRIGATED
- WOOD MULCH - IRRIGATED
- CRUSHER FINES-GRAY
- EDGER - PERFORATED
- FENCE

1 LANDSCAPE PLAN  
SCALE: 1"=40'



2 LANDSCAPE PLAN AREA-FINAL CONDITION  
SCALE: 1"=40' Conceptual Plan  
(THIS CONCEPTUAL PLAN IS NOT APPROVED BY THE PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL, OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.)

### LANDSCAPE REQUIREMENTS

STREET TREES	REQUIREMENT	LF	REQUIRED	PROVIDED
GRIFFITH STREET	1 TREE / 20 L.F.	116	6	3 WITHIN ROW 1 ON SITE
CANNON STREET	1 TREE / 20 L.F.	512	26	15 WITHIN ROW 16 ON SITE
PARKING LOT	REQUIREMENT	INTERIOR S.F.	REQUIRED	PROVIDED
INTERIOR	5% OF THE TOTAL INTERIOR AREA LANDSCAPED	30,824	1,546 S.F.	2,307 S.F.
TREES	1 TREE/20 S.F. OF INTERNAL LANDSCAPED AREA	1,546	6	6
SITE TOTAL*		REQUIRED	PROVIDED (INTERNAL CONC)	PROVIDED (PARK CONC)
TREES	38	44		
SHRUBS	NA	68	68	618
PERENNIALS/GRASSES	NA	423		423

\*SITE TOTAL INCLUDES TREES LOCATED WITHIN THE ROW, PARKING LOT ISLANDS AS WELL AS THE PROPOSED GREEN SPACES, WHICH MEETS AND EXCEEDS THE TREE AND SHRUB REQUIREMENTS FOR THE SITE PER THE CITY OF LOUISVILLE'S MUDOGS.

### GENERAL LANDSCAPE NOTES:

- FINAL CONSTRUCTION DOCUMENTS SHALL CONFORM TO THE REQUIREMENTS OUTLINED WITHIN THIS PUD SUBMITTAL.
- LANDSCAPE PLANS ARE SCHEMATIC IN NATURE AND ARE SUBJECT TO MODIFICATIONS TO MEET THE CITY'S REQUIREMENTS, THE DEVELOPER'S PROGRAM, THE BUILDING AND ARCHITECTURE AND TARGET DEMOGRAPHIC OR OTHER NECESSARY REQUIREMENTS.
- THE LOCATION OF LANDSCAPE PLANTINGS MAY BE ALTERED TO PROVIDE ADEQUATE CLEARANCE FROM THE FINAL LOCATION OF UNDERGROUND UTILITIES, HOWEVER SHALL NOT BE USED AS A MEANS OF REDUCING THE NUMBER OF TREES AND SHRUBS AS REQUIRED PER THE MUDOGS. THE BASE OF EVERGREEN TREES SHALL BE PLANTED NO CLOSER THAN 9' FROM ALL WET UTILITIES UNLESS OTHERWISE DIRECTED BY THE CITY.
- GRASS AREAS DESIGNATED AS IRRIGATED TURF SHALL BE SEED OR SODED WITH A DROUGHT TOLERANT GRASS MIXTURE.
- THE SIZE OF DECIDUOUS TREES SHALL BE A MINIMUM OF 2 1/2" CALIPER AND THE SIZE OF EVERGREEN TREES SHALL BE A MINIMUM OF 8" @ IN HEIGHT.
- THE SIZE OF DECIDUOUS AND EVERGREEN SHRUBS SHALL BE A MINIMUM OF 5 GALLONS.
- WHENEVER POSSIBLE, MECHANICAL DEVICES SHALL BE SCREENED WITH LANDSCAPE MATERIAL.
- SITE MONUMENTATION AND AMENITIES THROUGHOUT THE DEVELOPMENT WILL BE CONSTRUCTED IN CONCERT WITH ASSOCIATED PARKING IMPROVEMENTS.
- RIGHT OF WAY, PRIVATE PARKING AND THEIR ASSOCIATED IMPROVEMENTS WILL BE PRIVATELY MAINTAINED BY THE OWNERS ASSOCIATION WHICH SHALL INCLUDE LANDSCAPE MAINTENANCE AND SNOW REMOVAL. OTHER PUBLIC OR PRIVATE IMPROVEMENTS, INCLUDING CAPITAL IMPROVEMENTS TO THE ROW AND THEIR ASSOCIATED MAINTENANCE SHALL BE FURTHER DEFINED IN THE SUBDIVISION AGREEMENT.
- ALL LANDSCAPE IMPROVEMENTS SHALL BE DESIGNED AND INSTALLED WITH THE INTENT TO PRESERVE THE PEDESTRIAN EXPERIENCE WHILE ENSURING PUBLIC SAFETY AND MAINTAINING A HIGH AESTHETIC QUALITY WITHIN THE SITE.
- PLANT DIVERSITY SHOULD BE CONSIDERED WHEN SELECTING STREET TREES. THE MAXIMUM PERCENTAGE OF ANY ONE TREE SPECIES ON SITE SHOULD NOT EXCEED 33%.
- EACH STREET TREE SHALL BE IRRIGATED VIA DRIP IRRIGATION OR A DRIP RING EMITTER.
- A LOW WATER PLANT PALETTE IS PROPOSED. ADDITIONAL PLANTS MAY BE PROPOSED IN SUBSEQUENT PROCESSES.
- THE USE OF ROOT BARRIERS IS REQUIRED FOR CANOPY TREES PLANTED IN PARKWAYS THAT ARE LESS THAN 10' IN WIDTH.
- THE QUANTITY AND LOCATION OF LANDSCAPE AND HARDSCAPE ELEMENTS DEPicted MAY BE ALTERED WITHIN THE CONSTRUCTION DOCUMENTS.
- THE LANDSCAPE PLAN DEPICTED HEREIN SHALL BE USED AS THE GUIDING DOCUMENT FOR THE LANDSCAPE CONSTRUCTION DRAWINGS, BUT MAY BE ALTERED TO ACCOMMODATE UTILITIES, WALLS, GRADING, ADA ACCESSIBILITY AND OTHER HORIZONTAL AND VERTICAL REFINEMENTS.
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# delo

LOFTS

SHEET TITLE

## LANDSCAPE PLAN

SUBMITTAL	no	date	description
	1	03.11.2016	Initial Submittal
designed by: sta	2	07.29.2016	Second Submittal
drawn by: km	3	09.16.2016	Third Submittal
checked by: pms	4	11.16.2016	Fourth Submittal
project #: 8675309	5	08.19.2017	For Approval



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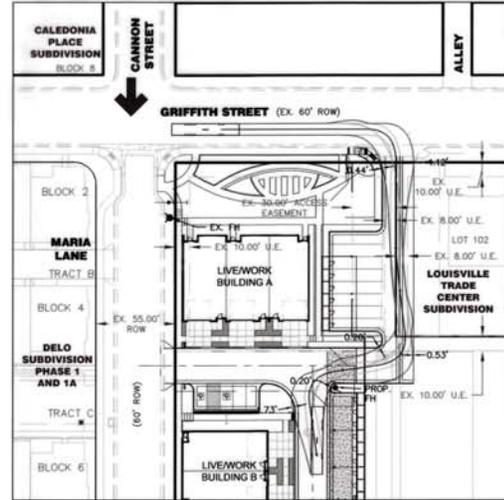
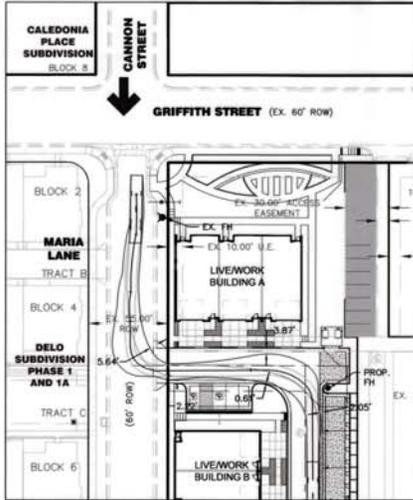
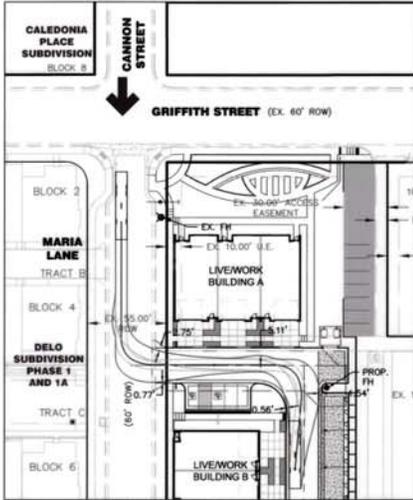
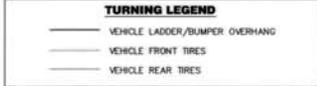
owner's representative  
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sheet  
7  
of  
10

# delo Final Planned Unit Development

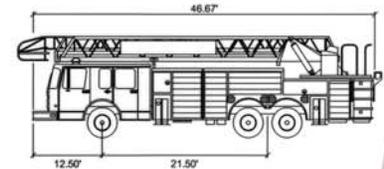
LOFTS

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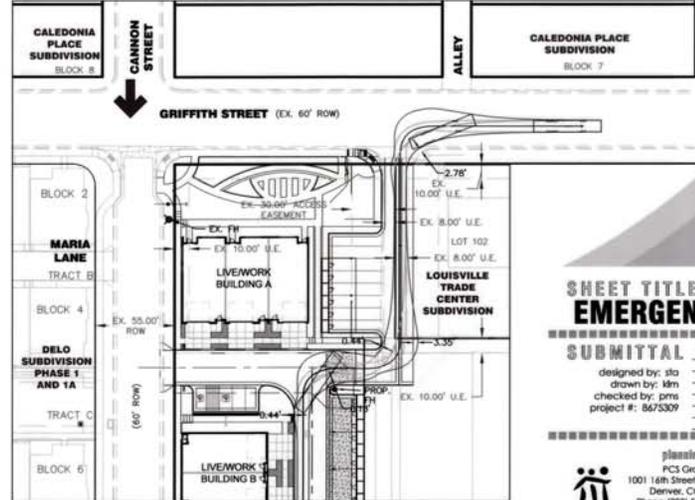
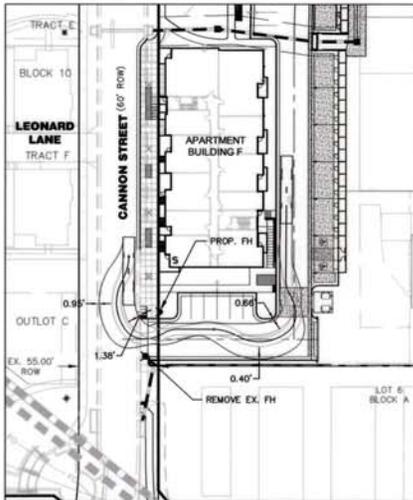
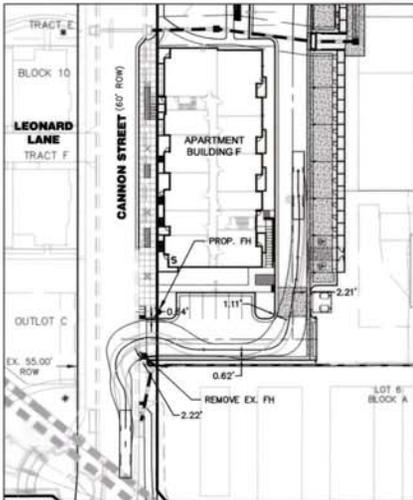
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- NOTES:**
- THE CITY OF LOUISVILLE TRUCK WAS EVALUATED UTILIZING THE PROGRAM AUTOTURN FOR ALL ROADS DEPICTED IN GRAY. THOSE AREAS ACCOMMODATE THIS VEHICLE.
  - FIRE HYDRANTS DEPICTED ARE TO PROVIDE THE REQUIRED COVERAGE TO THE SITE. FINAL LOCATION OF THE FIRE HYDRANTS SHALL BE DETERMINED WITHIN THE CONSTRUCTION DOCUMENTS.
  - FINAL CONDITION IS CONCEPTUAL ONLY, IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.



**LOUISVILLE TRUCK 17**

WIDTH	FEET
TRACK	8.00
LOCK TO LOCK TIME	5.00
STEERING ANGLE	45.00

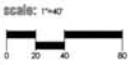


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# delo LOFTS

## SHEET TITLE EMERGENCY VEHICLE ACCESS PLAN

SUBMITTAL	no	date	description
	1	03.11.2016	Initial Submittal
designed by: sita	2	07.14.2016	Second Submittal
drawn by: alm	3	09.14.2016	Third Submittal
checked by: pms	4	11.16.2016	Fourth Submittal
project #: 8675309	5	5.19.2017	For Approval



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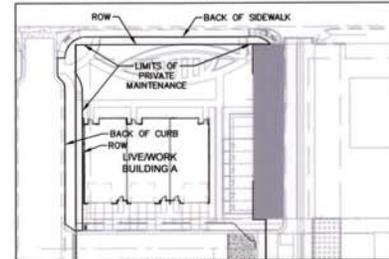
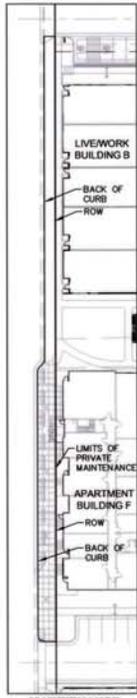
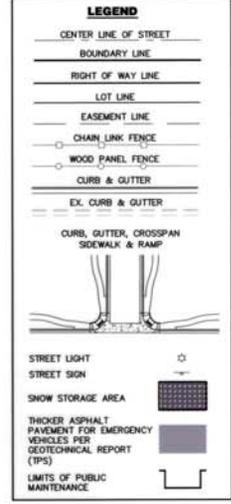
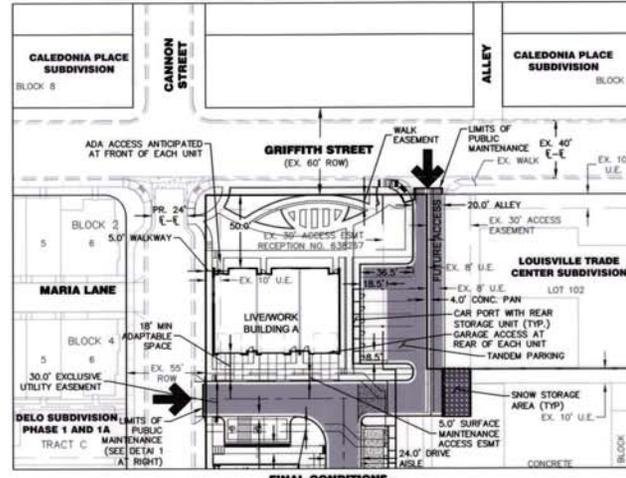
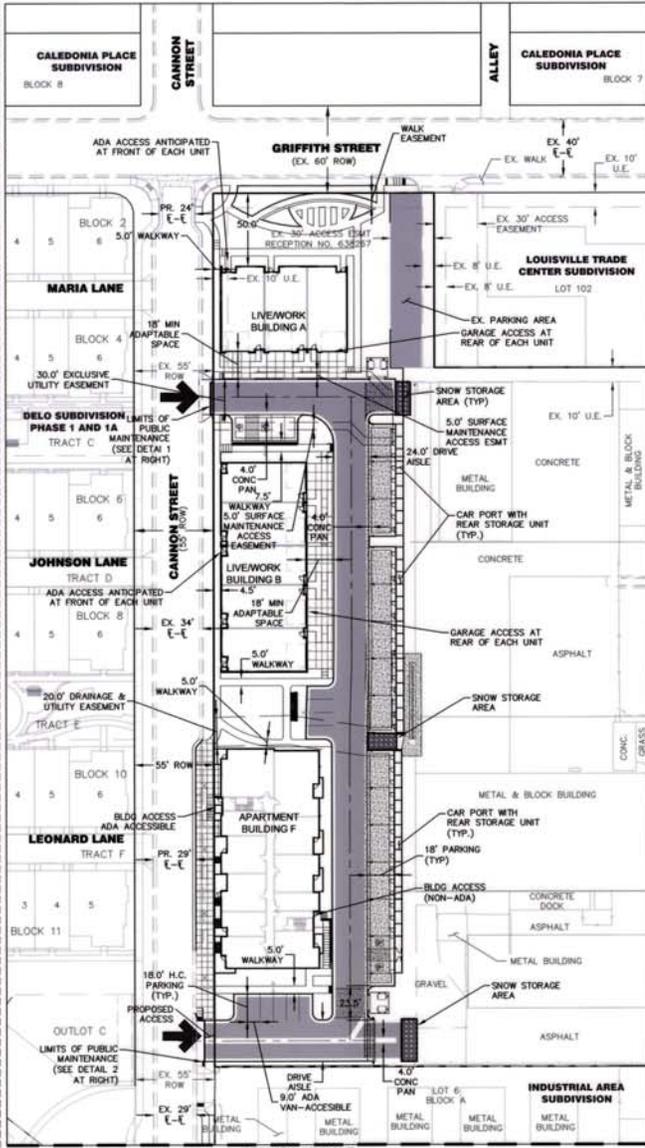
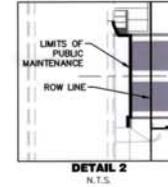
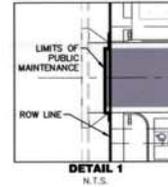


sheet  
**8** of 21

# delo Final Planned Unit Development

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- NOTE:
- 1) THE HORIZONTAL LAYOUT PRESENTED IN THIS PLAN IS A REPRESENTATION OF THE DESIGN INTENT FOR THE LOFTS AT DELO DEVELOPMENT. SPECIFIC ELEMENTS ARE SUBJECT TO REVISION IN ORDER TO ACCOMMODATE UNFORSEEN CIRCUMSTANCES AND CHANGING PROJECT CONDITIONS.
  - 2) FINAL CONDITION IS CONCEPTUAL ONLY, IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.
  - 3) IMPROVEMENTS WITHIN THE PRIVATE MAINTENANCE AREAS SHALL BE MAINTAINED, REPAIRED AND REPLACED BY THE HOA.

# delo

LOFTS

## SHEET TITLE HORIZONTAL CONTROL PLAN

SUBMITTAL	no	date	description
designed by: sta	1	03.11.2016	Initial Submittal
drawn by: mrs	2	07.14.2016	Second Submittal
checked by: pms	3	09.16.2016	Third Submittal
project #: 8675309	4	11.16.2016	Fourth Submittal
	5	5.19.2017	For Approval

scale: 1"=40'

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www.pcjgroup.com

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www.ozarch.com

engineering

Engineering Consultants  
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Louisville, CO 80207  
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www.dengengineering.net

FOUNDRY

Foundry Builders, Inc.  
21 South Sunset Street  
Longmont, CO 80501  
Phone (727) 524-3620

scale: 1"=40'

0 20 40 80

3

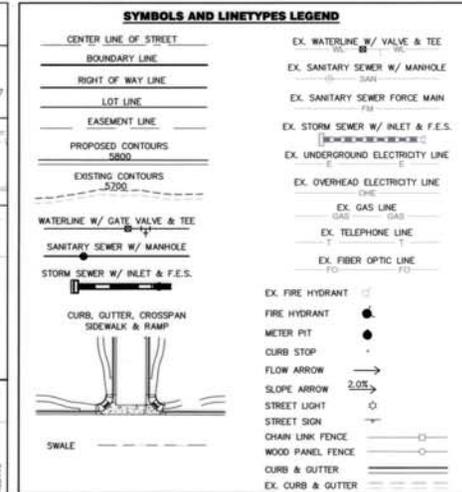
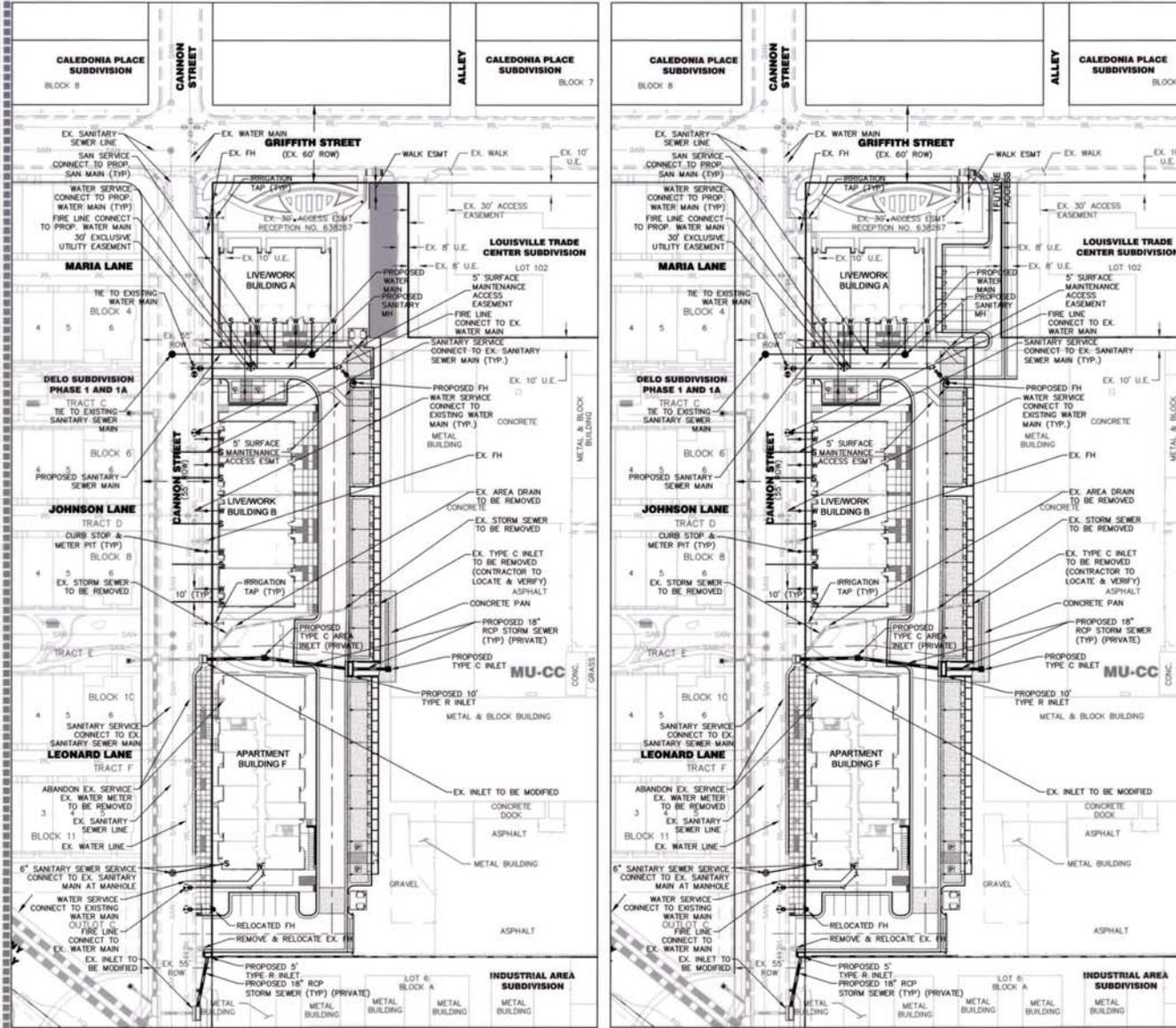
north

sheet 9 of 2

# delo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



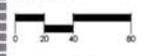
- ### NOTES
1. THE UTILITY LAYOUT PRESENTED IN THIS PLAN IS A REPRESENTATION OF THE DESIGN INTENT FOR THE LOFTS AT DELO DEVELOPMENT. SPECIFIC ELEMENTS ARE SUBJECT TO REVISION IN ORDER TO ACCOMMODATE UNFORESEEN CIRCUMSTANCES AND CHANGING PROJECT CONDITIONS.
  2. FOR THE PURPOSES OF CLARITY, CERTAIN EXISTING UTILITIES ARE NOT SHOWN ON THIS PLAN. THESE INCLUDE MOST DRY UTILITIES, UTILITIES BEING ABANDONED OR REMOVED AS A PART OF THIS PROJECT.
  3. WATER VALVES AND MANHOLE LIDS SHALL NOT BE PLACED IN THE CURB AND GUTTER.
  4. FINAL CONDITION IS CONCEPTUAL ONLY, IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.

# delo

LOFTS

SHEET TITLE  
**UTILITY PLAN**

SUBMITTAL	no	date	description
designed by: slo	1	03.11.2014	
drawn by: km	2	07.14.2014	Second Submittal
checked by: pms	3	09.16.2014	Third Submittal
project #: 8675309	4	11.16.2014	Fourth Submittal
	5	5.19.2017	For Approval



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www.j3engineering.net

owner's representative

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Longmont, CO 80501  
Phone (720) 524-3420

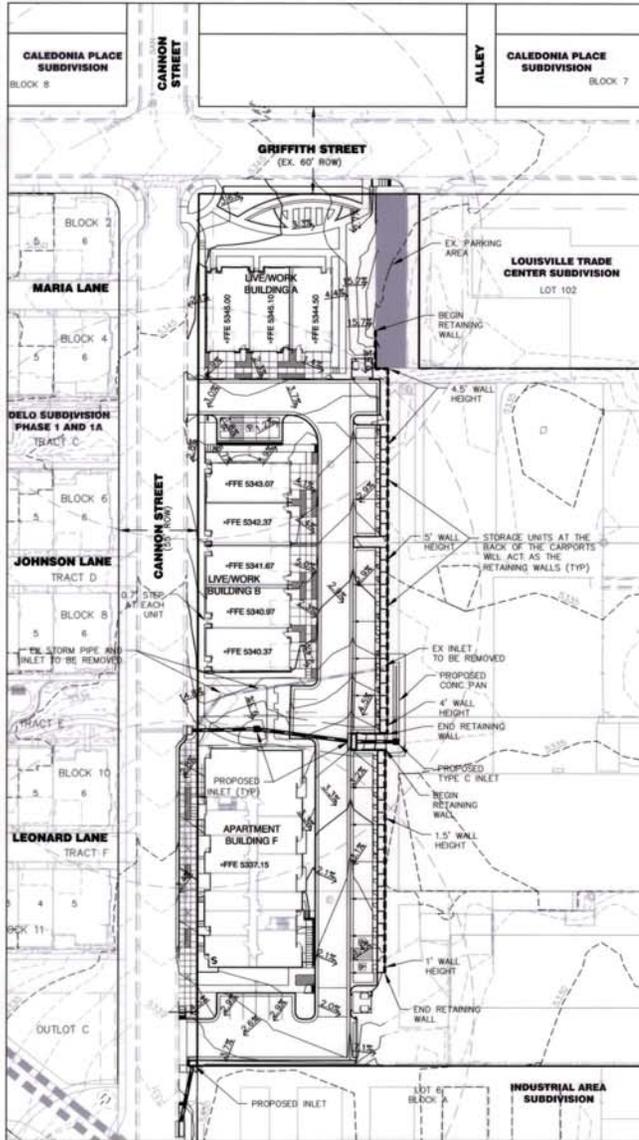
sheet  
**10** of 21

**FINAL CONDITIONS**  
FINAL CONDITION IS CONCEPTUAL ONLY, IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.

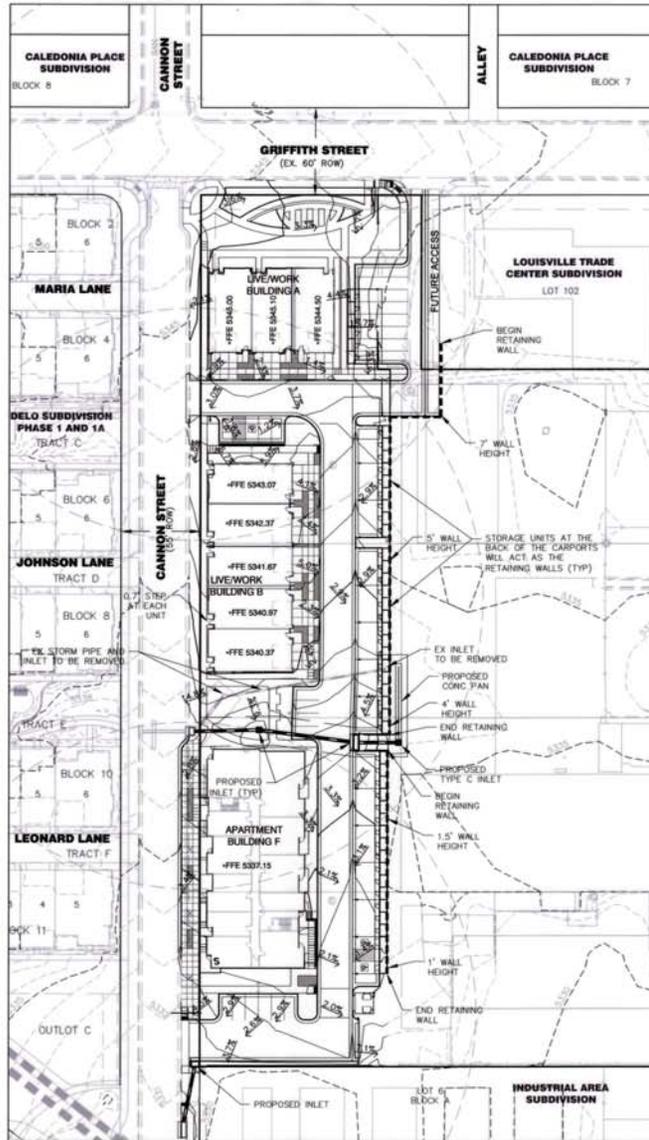
# delo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



INTERIM CONDITIONS



FINAL CONDITIONS  
FINAL CONDITION IS CONCEPTUAL ONLY, IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.

### SYMBOLS AND LINETYPES LEGEND

CENTER LINE OF STREET	EX. WATERLINE W/ VALVE & TEE
BOUNDARY LINE	EX. SANITARY SEWER W/ MANHOLE
RIGHT OF WAY LINE	EX. SANITARY SEWER FORCE MAIN
LOT LINE	EX. STORM SEWER W/ INLET & F.E.S.
EASEMENT LINE	EX. UNDERGROUND ELECTRICITY LINE
PROPOSED CONTOURS 5800	EX. OVERHEAD ELECTRICITY LINE
EXISTING CONTOURS 5700	EX. GAS LINE
WATERLINE W/ GATE VALVE & TEE	EX. TELEPHONE LINE
SANITARY SEWER W/ MANHOLE	EX. FIBER OPTIC LINE
STORM SEWER W/ INLET & F.E.S.	EX. FIRE HYDRANT
CURB, OUTER, CROSSWALK SIDEWALK & RAMP	FIRE HYDRANT
SWALE	FLOW ARROW
	SLOPE ARROW 2.0%
	STREET LIGHT
	STREET SIGN
	CHAIN LINK FENCE
	WOOD PANEL FENCE
	CURB & GUTTER
	EX. CURB & GUTTER

**NOTE**

- 1) THE GRADING PRESENTED IS CONCEPTUAL BUT SHALL BE CONSIDERED THE BASIS FOR SUBSEQUENT GRADING PLANS.
- 2) FINAL CONDITION IS CONCEPTUAL ONLY, IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.

# delo

LOFTS

SHEET TITLE

GRADING PLAN

SUBMITTAL	no	date	description
designed by: sta	1	03.11.2016	initial submittal
drawn by: klm	2	07.14.2016	second submittal
checked by: gms	3	09.16.2016	third submittal
project #: 8675309	4	11.16.2016	fourth submittal
	5	5.19.2017	for approval



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sheet  
11 of 21

# delo Final Planned Unit Development

LOFTS

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City of Louisville, County of Boulder, State of Colorado



SOUTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

MATERIAL PALETTE

-  BR1. BRICK, RUNNING BOND, COLOR: MEDIUM BROWN
-  BR2. BRICK, RUNNING BOND, COLOR: DARK BROWN
-  LS2. CEMENT LAP SIDING OR STUCCO, COLOR: ORANGE
-  LS1. CEMENT LAP SIDING OR STUCCO, COLOR: LIGHT GREY/TBD
-  MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING, COLOR: MEDIUM GREY
-  WS1. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN 8" ROUGH SAWN CEDAR STAINED & SEALED
-  SS1. STANDING SEAM METAL PANEL SIDING, COLOR: CHARCOAL
-  SS2. STANDING SEAM METAL PANEL SIDING, COLOR: LIGHT GREY
-  W01. ALUMINUM CLAD WINDOW FRAME, COLOR: CHARCOAL
-  TP1. PAINTED ACCENT TRIM, COLOR: DARK GREY
-  MS3. PAINTED FAUX METAL EXPOSED BEAM, COLOR: BLACK
-  GR1. POWDERCOATED METAL GUARDRAIL, COLOR: BLACK
-  ST1. STOREFRONT SYSTEM, COLOR: CHARCOAL
-  MT1. METAL CANOPY

NOTES

ALL BUILDING MATERIALS AND COLORS ARE FROM THE BUILDING MATERIAL PALETTE ARE ELIGIBLE FOR USE IN THE CONSTRUCTION DOCUMENTATION PROCESS.

THE ARCHITECT WILL VARY THE COLORS ON THE EXTERIOR BALCONIES OF THE RESIDENTIAL BUILDINGS PROPOSING TO USE COMPLEMENTARY COLORS SELECTED OUT OF THE MATERIAL PALETTE FOR EACH BUILDING. THE ACTUAL COLOR ASSIGNMENT WILL BE FINALIZED IN SUBSEQUENT BUILDING CONSTRUCTION DOCUMENTS.

KEY PLAN

- LIVE/WORK 3 BAY
- LIVE/WORK 5 BAY
- APARTMENT BUILDING



SHEET TITLE:  
ELEVATIONS - 5 BAY COMMERCIAL/LIVE WORK

SUBMITTAL	no	date	description	scale: 1/8"=1'
designed by: OZ	2	07/29/2016	Second Submittal	
drawn by: KA	3	09/16/2016	Third Submittal	
checked by: RR	4	11/16/2016	Fourth Submittal	
project #: 8675309				

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owner's representative

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Phone (720) 524-3620



north

12 of 21



# delo Final Planned Unit Development

LOFTS  
A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



EAST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

### MATERIAL PALETTE

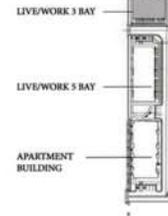
-  BR1. BRCK, RUNNING BOND, COLOR: MEDIUM BROWN
-  BR2. BRCK, RUNNING BOND, COLOR: DARK BROWN
-  LS2. CEMENT LAP SIDING OR STUCCO, COLOR: ORANGE
-  LS1. CEMENT LAP SIDING OR STUCCO, COLOR: LIGHT GREY/TRD
-  MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING, COLOR: MEDIUM GREY
-  WS1. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN 4" ROUGH SAWN CEDAR STAINED & SEALED
-  SS1. STANDING SEAM METAL PANEL SIDING, COLOR: CHARCOAL
-  SS2. STANDING SEAM METAL PANEL SIDING, COLOR: LIGHT GREY
-  WB1. ALUMINUM CLAD WINDOW FRAME, COLOR: CHARCOAL
-  TP1. PAINTED ACCENT TRIM, COLOR: DARK GREY
-  MS3. PAINTED FAUX METAL EXPOSED BEAM, COLOR: BLACK
-  GR1. POWDERCOATED METAL GUARDRAIL, COLOR: BLACK
-  ST1. STOREFRONT SYSTEM, COLOR: CHARCOAL
-  MT1. METAL CANOPY

### NOTES

ALL BUILDING MATERIALS AND COLORS ARE FROM THE BUILDING MATERIAL PALETTE ARE ELIGIBLE FOR USE IN THE CONSTRUCTION DOCUMENTATION PROCESS.

THE ARCHITECT WILL VARY THE COLORS ON THE EXTERIOR BALCONIES OF THE RESIDENTIAL BUILDINGS PROPOSING TO USE COMPLEMENTARY COLORS SELECTED OUT OF THE MATERIAL PALETTE FOR EACH BUILDING. THE ACTUAL COLOR ASSIGNMENT WILL BE FINALIZED IN SUBSEQUENT BUILDING CONSTRUCTION DOCUMENTS.

### KEY PLAN



### SHEET TITLE: ELEVATIONS - 3 BAY COMMERCIAL/LIVE WORK

SUBMITTAL	no	date	description	scale: 1/8"=1'
designed by:	OZ	07.29.2014	Second Submittal	
drawn by:	KA	09.16.2014	Third Submittal	
checked by:	RR	11.16.2014	Fourth Submittal	
project #:	8675309			

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swain's representation

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north

# delo Final Planned Unit Development

## LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



WEST ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"

### MATERIAL PALETTE

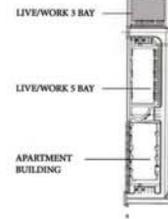
 BR1. BRICK, RUNNING BOND, COLOR: MEDIUM BROWN	 SS2. STANDING SEAM METAL PANEL SIDING, COLOR: LIGHT GREY
 BR2. BRICK, RUNNING BOND, COLOR: DARK BROWN	 W01. ALUMINUM CLAD WINDOW FRAME, COLOR: CHARCOAL
 LS2. CEMENT LAP SIDING OR STUCCO, COLOR: ORANGE	 TP1. PAINTED ACCENT TRIM, COLOR: DARK GREY
 LS1. CEMENT LAP SIDING OR STUCCO, COLOR: LIGHT GREY/TBD	 MS3. PAINTED FAUX METAL EXPOSED BEAM, COLOR: BLACK
 MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING, COLOR: MEDIUM GREY	 GR1. POWDERCOATED METAL GUARDRAIL, COLOR: BLACK
 WS1. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN 4" ROUGH SAWN CEDAR STAINED & SEALED	 ST1. STOREFRONT SYSTEM, COLOR: CHARCOAL
 SS1. STANDING SEAM METAL PANEL SIDING, COLOR: CHARCOAL	 MT1. METAL CANOPY

### NOTES

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### KEY PLAN



### SHEET TITLE: ELEVATIONS - 3 BAY COMMERCIAL/LIVE WORK

SUBMITTAL	no	date	description	scale: 1/8"=1'
designed by: OZ	3	07.29.2014	Second Submittal	
drawn by: KA	3	09.16.2016	Third Submittal	
checked by: BR	4	11.16.2016	Fourth Submittal	
project #:	8675309			

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Phone (720) 524-3630



north

sheet

15 of 21



# delo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



SOUTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

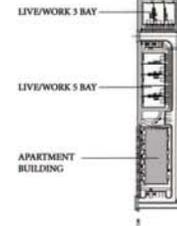
## MATERIAL PALETTE


## NOTES

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## KEY PLAN



## SHEET TITLE: ELEVATIONS - RESIDENTIAL MULTI UNIT DWELLINGS

SUBMITTAL	no	date	description	scale: 1/8"=1'
designed by: OZ	1	03.11.2016	Initial Submittal	
drawn by: KA	2	07.29.2016	Second Submittal	
checked by: RR	3	09.16.2016	Third Submittal	
project #: 8675309	4	11.16.2016	Fourth Submittal	

**16** of 21 sheets

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# delo Final Planned Unit Development

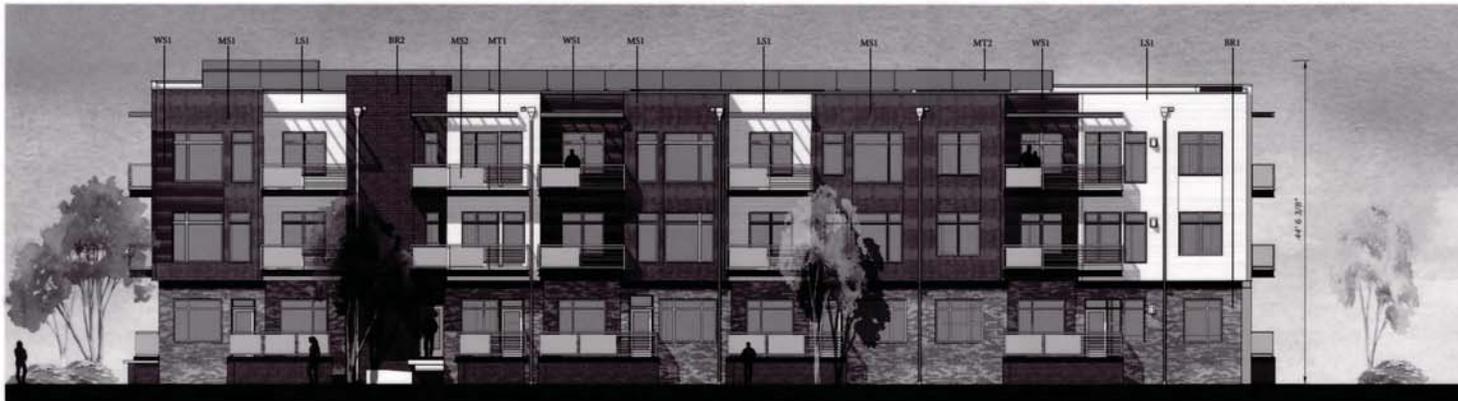
LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



NORTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"

## MATERIAL PALETTE

BR1. BRICK, RUNNING BOND, COLOR: MEDIUM BROWN	W01. ALUMINUM CLAD WINDOW FRAME, COLOR: CHARCOAL
BR2. BRICK, RUNNING BOND, COLOR: DARK BROWN	TP1. PAINTED ACCENT TRIM, COLOR: DARK GREY
LS2. CEMENT LAP SIDING OR STUCCO-TRD	MS3. PAINTED FAUX METAL EXPOSED BEAM, COLOR: BLACK
LS1. CEMENT LAP SIDING OR STUCCO, COLOR: WHITE	GR1. POWDERCOATED METAL GUARDRAIL, COLOR: BLACK
MS2. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING, COLOR: MEDIUM GREY	ST1. STOREFRONT SYSTEM, COLOR: CHARCOAL
WS1. HORIZONTAL WOOD RAINSCREEN 8" ROUGH SAWN CHARRED WOOD	MT1. METAL CANOPY
MS1. CORTEN METAL PANEL	MT2. METAL MECHANICAL SCREENING

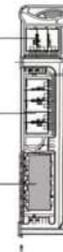
## NOTES

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## KEY PLAN

LIVE/WORK 3 BAY  
LIVE/WORK 5 BAY  
APARTMENT BUILDING



# delo

LOFTS

SHEET TITLE:  
ELEVATIONS - RESIDENTIAL MULTI UNIT DWELLINGS

SUBMITTAL	no	date	description	scale: 1/8"=1'
designed by:	OZ	03.11.2014	Initial Submittal	
drawn by:	KA	07.29.2014	Second Submittal	
checked by:	RR	09.16.2014	Third Submittal	
project #:	8675309	11.16.2014	Fourth Submittal	

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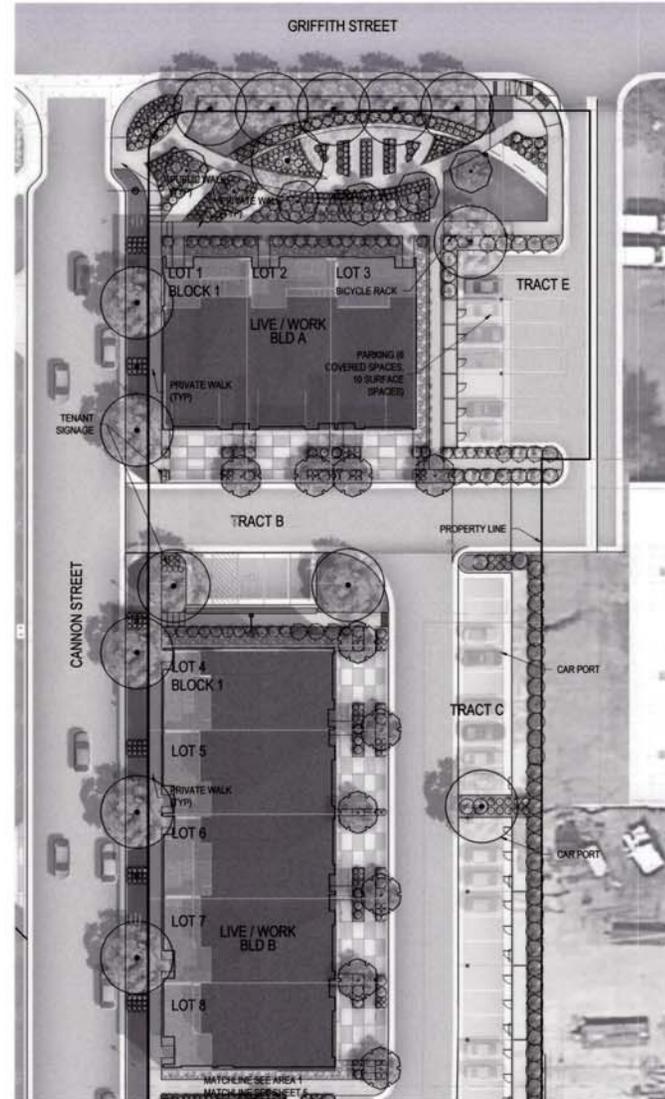
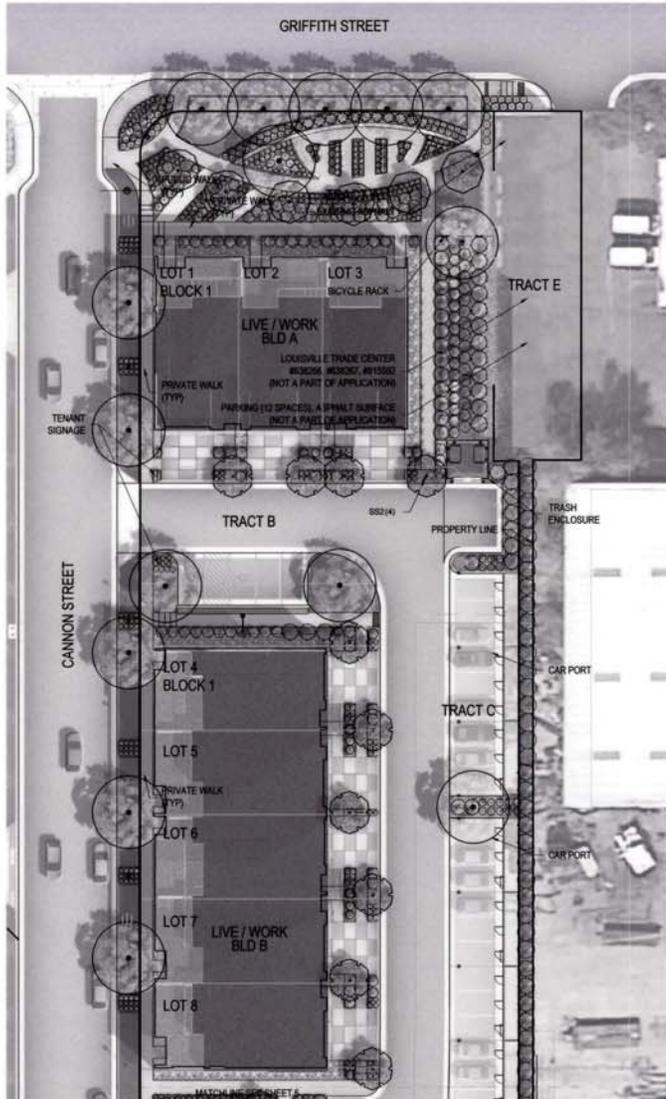
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17 of 10

# delo Final Planned Unit Development

LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



- GENERAL NOTES**
1. THE INTERIM SITE PLAN CONDITION AND FINAL SITE PLAN CONDITION SHALL BE CONSTRUCTED TO MEET THE CITY OF LOUISVILLE STANDARDS
  2. EASEMENTS AND ROW, LAND VACATIONS AND DEDICATIONS SHALL FOLLOW THE FINAL CONDITION DEPICTED WITHIN THE FINAL PLAT.
  3. IN BOTH THE INTERIM SITE PLAN CONDITION AND FINAL SITE PLAN CONDITION, ACCESS IS GRANTED HEREIN OVER AND ACROSS ALL PAVED AREAS FOR EMERGENCY, PUBLIC AND PRIVATE VEHICULAR ACCESS. PUBLIC ACCESS IS GRANTED HEREIN OVER AND ACROSS ALL SIDEWALKS ALONG CANNON STREET AND GRIFFITH STREET
  4. EXCLUSIVE CITY EASEMENTS ARE RESERVED FOR CITY OF LOUISVILLE UTILITY SERVICES
  5. FINAL CONDITION IS CONCEPTUAL ONLY, IS NOT APPROVED BY THIS PUD AND IS SUBJECT TO FURTHER REVIEW AND APPROVAL, DISAPPROVAL OR MODIFICATION THROUGH A SEPARATE PUD AMENDMENT PROCESS.

# delo

LOFTS

## SHEET TITLE INTERIM & FINAL SITE PLAN CONDITIONS

SUBMITTAL	no	date	description
designed by:	sta		
drawn by:	km	3 09.16.2016	Third Submittal
checked by:	jms	4 11.16.2016	Fourth Submittal
project #:	8675309	5 08.19.2017	For Approval



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sheet  
**18**  
of 21

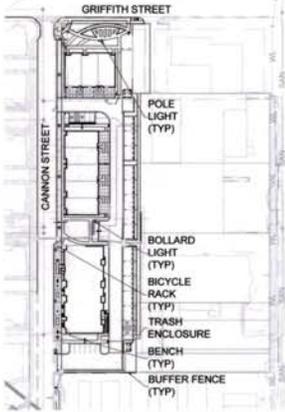
1 INTERIM SITE PLAN CONDITION

2 FINAL SITE PLAN CONDITION

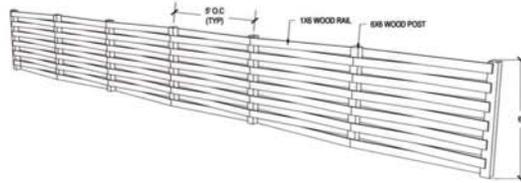
# delo Final Planned Unit Development

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City of Louisville, County of Boulder, State of Colorado

LOFTS



1 SITE DETAILS PLAN  
SCALE: 1"=10'



2 CONCEPTUAL BUFFER FENCE  
SCALE: NTS

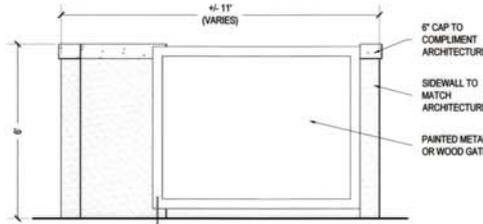
PERSPECTIVE SKETCH

### SCREENING & FENCING

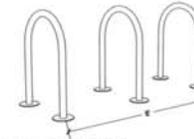
SCREENING AND BUFFERING AREAS BETWEEN SERVICE AREAS AND PLAZAS, STREETSAPES, PEDESTRIAN CORRIDORS AND PARKS, WILL AID TO THE AESTHETICS OF THE COMMUNITY.

#### DESIGN NOTES & STANDARDS

- THE SCREENING OF SERVICE AREAS AND TRASH ENCLOSURES SHALL COMPLY WITH THE CITY OF LOUISVILLE DESIGN STANDARDS.
- TRASH ENCLOSURES AND SERVICE AREAS SHALL BE LOCATED TO THE REAR OF OR BETWEEN BUILDINGS WHENEVER FEASIBLE.
- TRASH DUMPSTERS SHALL BE LOCATED WITHIN WALLED AND GATED ENCLOSURES AND PLACED ON A CONCRETE SLAB. SERVICE AREAS VISIBLE FROM ADJACENT AREAS SHALL BE SCREENED BEHIND WALLS OR DECORATIVE FENCES IN COMBINATION WITH DENSE LANDSCAPING.
- FENCING ALONG THE PROPERTY BOUNDARY SHALL BE INSTALLED TO AID IN THE SEPARATION AND PROTECTION OF ADJACENT USES. FENCING TO BE LOCATED AS ILLUSTRATED WITHIN THIS FINAL PLAN.
- DETAILED LOCATIONS FOR FENCES AND ENCLOSURES WILL BE FINALIZED WITHIN THE CONSTRUCTION DOCUMENTS



5 TRASH ENCLOSURE



BICYCLE RACKS  
(DEPICTION IS FOR PURPOSES OF INTENT ONLY. PROPOSED BIKE RACKS SHALL MATCH THE DOWN TOWN CITY OF LOUISVILLE'S EXISTING BIKE RACKS)



BENCH

3 SITE FURNISHINGS  
SCALE: NTS

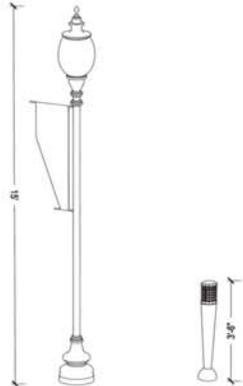
PERSPECTIVE SKETCH

### SITE FURNISHINGS AND DETAILS

#### - KIT OF PARTS PROJECT DESCRIPTION

THE SITE FURNITURE IN DELO LOFTS SHALL BE CONSISTENT WITH THAT OF THE SITE FURNITURE IN DOWNTOWN LOUISVILLE.

THE DEVELOPMENT OF THIS PROMINENT SITE WILL SERVE TO STRENGTHEN AND UNIFY THE SURROUNDING AREA. LIGHTING, STREET FURNISHINGS, PLANTERS, TREE GRATES, ETC. WILL ENHANCE AND UNIFY THE OVERALL PROJECT, CONTRIBUTING TO THE SENSE OF PLACE AND OVERALL CHARACTER. THE INTENT IS TO BENEFIT ALL USERS WITH A THEMATIC, WELL LIT, SAFE AND PLEASANT ENVIRONMENT. A KIT-OF-PARTS HAS BEEN DEVELOPED AS A STARTING POINT FOR THE DESIGN OF THE STREET FURNISHINGS WITHIN THE STREETScape AND PUBLIC AREAS AND WILL HELP TO GUIDE THE SITE PLANNING PROCESS WHICH FOLLOWS THIS DOCUMENT. THE FURNISHINGS BEING SHOWN ARE INTENDED TO PORTRAY THE CHARACTER AND QUALITY FOR DELO LOFTS.



4 LIGHTS - POLE W/ BANNER & BOLLARD  
SCALE: NTS

PERSPECTIVE SKETCH

#### LIGHTING DESCRIPTION

LIGHTING IS COMPRISED OF THE FOLLOWING CATEGORIES: PARKING LOT LIGHTING, STREET LIGHTING, BUILDING LIGHTING, PLAZA/PEDESTRIAN LIGHTING AND LANDSCAPE LIGHTING. LIGHTING SHALL CONSIST OF QUALITY FIXTURES THAT ARE BOTH APPEALING AND PROVIDE SAFETY FOR BOTH PEDESTRIANS AND AUTOMOBILES. LIGHTING SHALL COMPLEMENT THE BUILDING ARCHITECTURE, SIGNAGE, PARKING, LANDSCAPING AND PLAZA DESIGNS. FIXTURES ARE TO BE USED THAT REDUCE GLARE AND MINIMIZE IMPACT TO SURROUNDING PROPERTIES.

#### DESIGN NOTES & STANDARDS

- PARKING LOT LIGHTING IS TO BE OF A ZERO CUTOFF TYPE AND BE NO TALLER THAN 25 FEET IN HEIGHT. THE FIXTURES ARE TO BE IN THE STYLE, TYPE AND COLOR THAT COMPLEMENT THE ARCHITECTURE AND CHARACTER OF THE PROJECT.
- STREET LIGHTING IS TO BE ZERO OR PARTIAL CUTOFF TYPE AND BE NO TALLER THAN 15 FEET IN HEIGHT.
- BUILDING MOUNTED LIGHTING IS ENCOURAGED TO ENHANCE THE ADJACENT SIDEWALKS AS WELL AS THE ARCHITECTURE ITSELF. LIGHTING MAY BE USED TO ENHANCE IMPORTANT ARCHITECTURAL FEATURES OF THE BUILDING IT SERVES.
- LANDSCAPE LIGHTING IS TO ENHANCE THE LANDSCAPE FEATURE IT SERVES, AS WELL AS TO FURTHER ENHANCE THE SAFETY OF THE PEDESTRIAN AREA.

# delo

LOFTS

SHEET TITLE

## TYPICAL SITE DETAILS

SUBMITTAL	no	date	description	scale:
	1	03.11.2016	Initial Submittal	VARIES
designed by: sta	2	07.29.2016	Second Submittal	
drawn by: klm	3	09.14.2016	Third Submittal	
checked by: pms	4	11.16.2016	Fourth Submittal	
project #: 8675309	5	05.19.2017	For Approval	

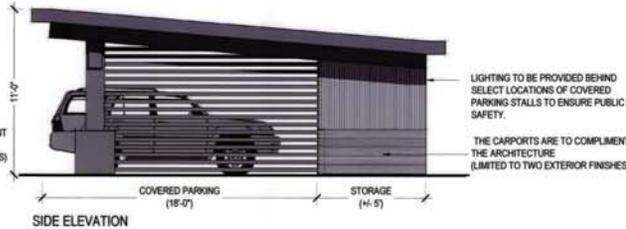
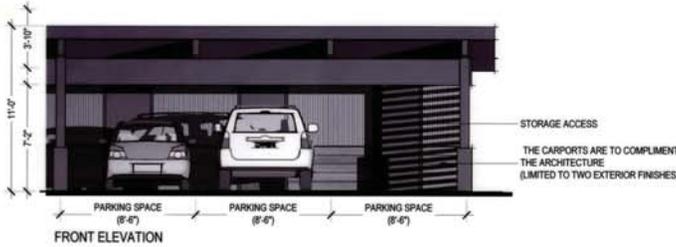
<p>planning &amp; design</p> <p>PCS Group Inc. P.O. Box 16287 Denver, CO 80218 Phone (303) 531-4905 www.pcsgruop.com</p> <p>engineering</p> <p>J3 Engineering Consultants 2011 Cherry Street Suite 206 Louisville, CO 80027 Phone (720) 975-0177 www.j3engineering.net</p>	<p>architecture</p> <p>OZ Architecture 3003 Larmer Street Denver, CO 80205 Phone (303) 861-5704 www.ozarch.com</p> <p>owners' representative</p> <p>Foundry Builders, Inc. 21 South Sunset Street Longmont, CO 80501 Phone (720) 524-3600</p>	<p>north</p> <p>sheet</p> <h1>19</h1> <p>of 21</p>
--	---	--

# delo Final Planned Unit Development

## LOFTS

A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado

NOTE:  
ENTRY MONUMENTS, PROJECT IDENTITY AND SITE DETAILS INCLUDING FENCING, CARPORT AND ARBORS ARE  
CONCEPTUAL IN NATURE. FINAL DESIGN DETAILS TO BE PROVIDED DURING CONSTRUCTION DOCUMENTS.



### 2 ROOT BARRIER

SCALE: NTS

ROOT BARRIER BY DEEPROOF  
MODEL: UB 18-2 (UNIVERSAL) OR APPROVED EQUAL.  
INSTALL PER MANUFACTURER'S SPECIFICATIONS.

#### 18" UNIVERSAL GUIDE - UB 18-2

18" High x 24" wide UB 18-2 is used for Linear Applications, Structural Applications and Truck Parking. Our UB 18-2 comes in three (3) patterns, designed to meet your needs for any application. The 18" high and 24" wide UB 18-2 is used for residential, commercial, public, industrial, utility and other parking applications.

APPLICATIONS	UB 18-2				
Residential	+	+	+	+	+
Commercial	+	+	+	+	+
Industrial	+	+	+	+	+
Utility	+	+	+	+	+

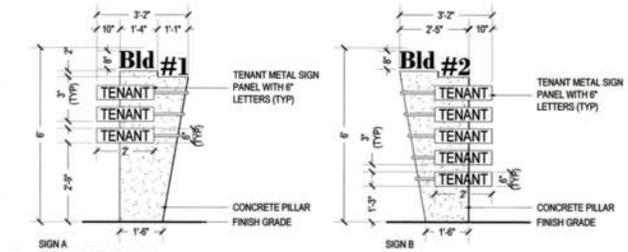
- FEATURES:
- Heavy duty, galvanized steel with a clear zinc system
  - Customizable finish options, and easy-painting capabilities
  - Being available in 2' and 4' lengths
  - 18" (2' only) and 24" (4' only) widths
  - Strong and able to support 8000 lbs. per sq. ft.
  - Available in 18" and 24" heights
  - Available in 18" and 24" widths
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  - Available in 18" and 24" widths
  - Available in 18" and 24" lengths

INSTALLATION INSTRUCTIONS: SEE www.deeproof.com

GENERAL NOTES:

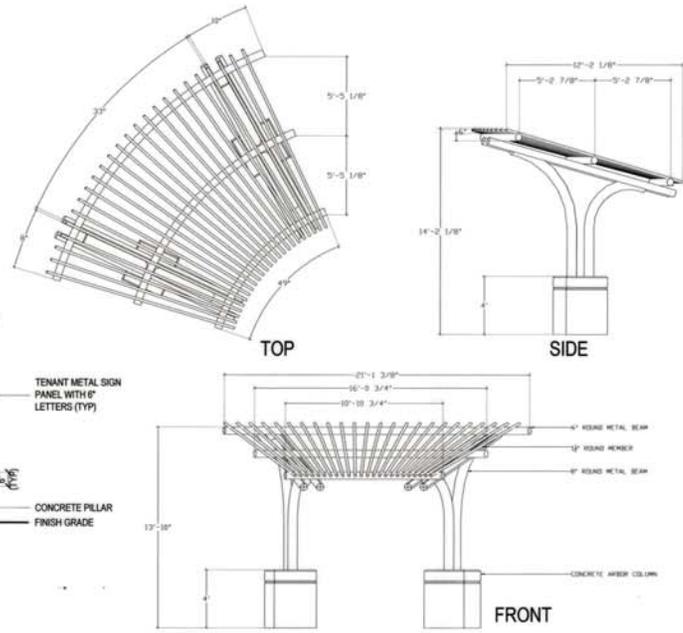
- Customer Preparation of SUBMITTALS REQUIRED
- 18" High x 24" wide UB 18-2 is used for Linear Applications, Structural Applications and Truck Parking.
- Being available in 2' and 4' lengths
- 18" (2' only) and 24" (4' only) widths
- Strong and able to support 8000 lbs. per sq. ft.
- Available in 18" and 24" heights
- Available in 18" and 24" widths
- Available in 18" and 24" lengths

### 1 CARPORT TYPICAL



### 3 TENANT SIGN

SCALE: 1/2" = 1'-0"



### 4 TRELLIS

SCALE: 1/4" = 1'-0"

# delo

## LOFTS

### SHEET TITLE

## TYPICAL SITE DETAILS

SUBMITTAL	no	date	description	scale:
designed by: sta	1	03.11.2016	Initial Submittal	VARIES
drawn by: km	2	07.29.2016	Second Submittal	
checked by: pms	3	09.16.2016	Third Submittal	
project #: 8675309	4	11.16.2016	Fourth Submittal	
	5	05.19.2017	For Approval	

planning & is

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P.O. Box 16287  
Denver, CO 80218  
Phone (303) 531-4905  
www.pcsgruopco.com

architecture

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Denver, CO 80205  
Phone (303) 861-5704  
WWW.OZarch.com

engineering

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2011 Cherry Street  
Suite 206  
Louisville, CO 80027  
Phone (720) 975-0177  
www.j3engineering.net

owner's representative

Foundry Builders, Inc.  
21 South Sunset Street  
Longmont, CO 80501  
Phone (720) 524-3650

north

sheet

# 20

OF 21

# delo Final Planned Unit Development

LOFTS

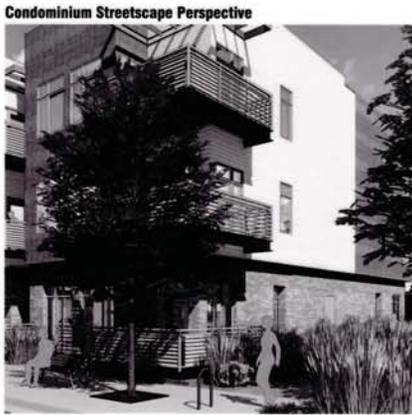
A part of section 8, township 1 south, range 69 west of the 6th p.m.  
City of Louisville, County of Boulder, State of Colorado



Central Green Space Perspective



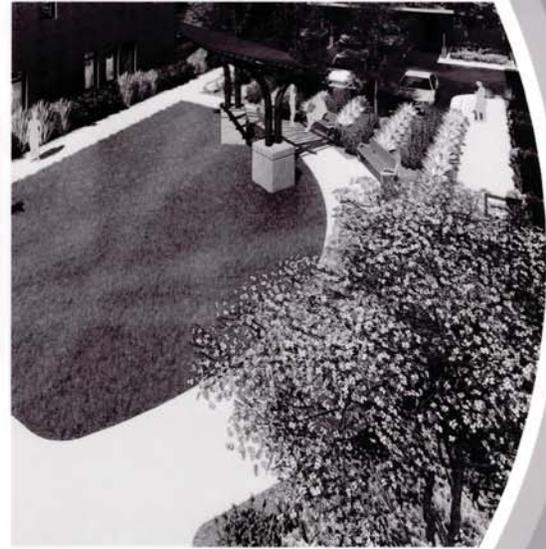
North Park Plaza Perspective



Condominium Streetscape Perspective



Live/Work Space Perspective



Central Green Space Perspective



North Park Plaza Perspective



Live/Work Space Perspective



Central Green Space Perspective

# delo

LOFTS

SHEET TITLE

## CHARACTER SKETCHES

SUBMITTAL	no	date	description	scale:
	1	03.11.2016	Initial Submittal	
designed by: sta	2	07.29.2016	Second Submittal	
drawn by: km	3	08.16.2016	Third Submittal	
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engineering  
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2011 Cherry Street  
Suite 206  
Louisville, CO 80227  
Phone (720) 975-0177  
www.j3engineering.net



north

sheet  
**21**  
of  
1

**SUBJECT:** RESOLUTION NO. 71, SERIES 201 – A RESOLUTION APPROVING A FINAL PLAT FOR 4.39 ACRES WHICH INCLUDES A 1.91 ACRE FINAL PUD AND A SPECIAL REVIEW USE (SRU) WITHIN THE CORE AREA OF THE HWY 42 REVITALIZATION DISTRICT FOR 33 APARTMENTS AND 8 LIVE-WORK UNITS; A PORTION OF LOTS 2 THROUGH 5, BLOCK A, INDUSTRIAL AREA SUBDIVISION; LOT 101, LOUISVILLE TRADE CENTER; AND A PORTION OF LOT 4, BLOCK 13, CALEDONIA PLACE

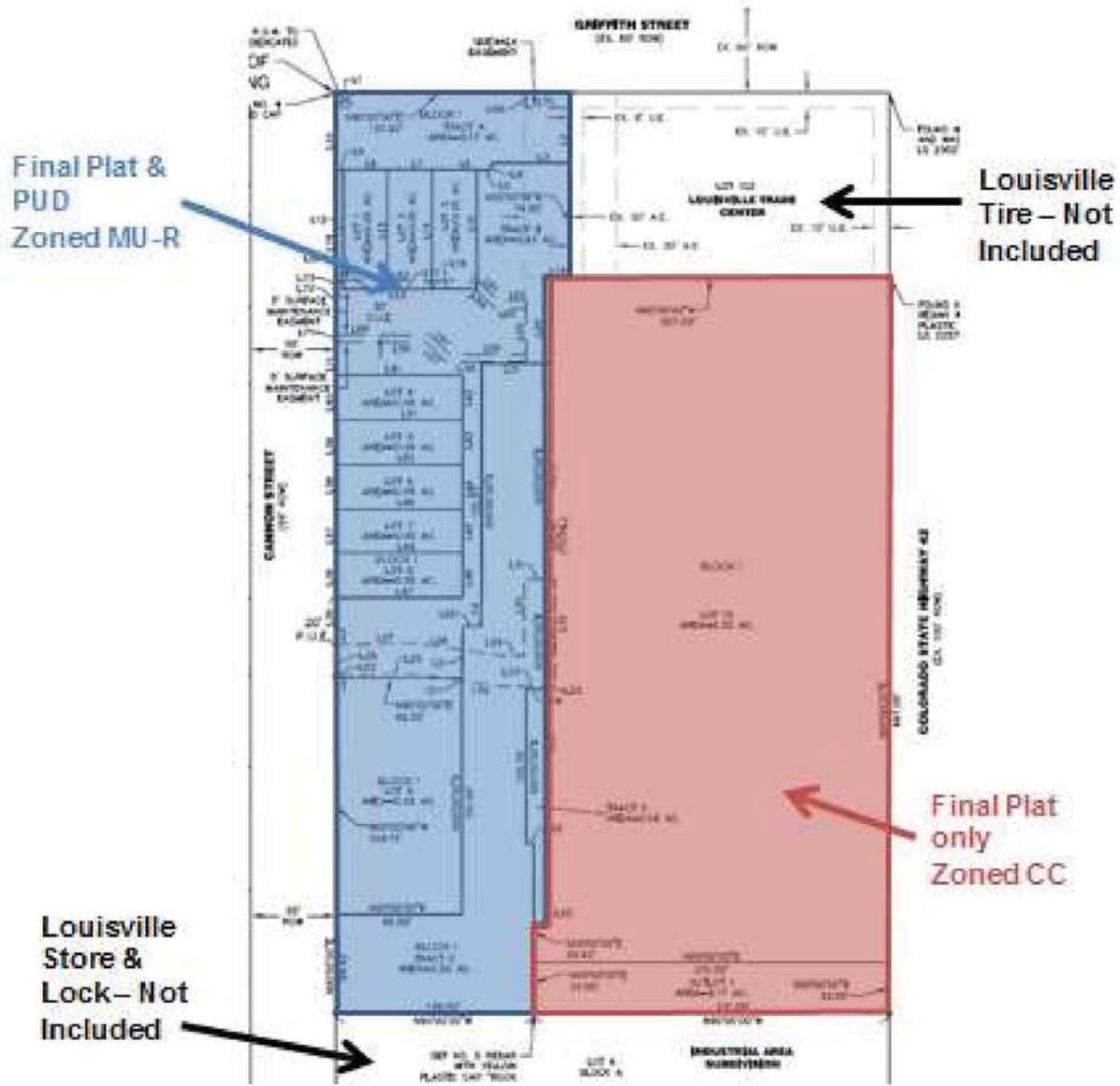
**DATE:** DECEMBER 6, 2016

**PRESENTED BY:** KRISTIN DEAN, PLANNING AND BUILDING SAFETY DEPARTMENT



**PROPOSAL:**

The applicant, Delo East, Inc., requests a Final Plat, Planned Unit Development (PUD), and Special Review Use (SRS) for a proposal to develop 33 apartment units and eight live/work units with 15,840 square feet of commercial space on 1.91 acres. The final plat is a replat of 4.39 acres, with 2.48 acres included in the platted area reserved for future development. The proposed residential density is 17.37 units per acre, within the MU-R zoning district allowance of 20 units per acre. The City code requires a request to build exclusive residential buildings without ground floor retail within the MU-R District to go through the SRU process.



**BACKGROUND:**

The project is in the Highway 42 Revitalization Area and within three previously platted Louisville Subdivisions: Industrial Area, Louisville Trade Center, and Caledonia Place Subdivisions. The site development is subject to the Mixed Use Development Design Standards and Guidelines (MUDDSG). The City Council approved a rezoning, preliminary plat, and preliminary PUD for the property in November 2015 under the name Delo Flats. The applicant has since renamed the project Delo Lofts.

The western portion of the project is adjacent to Cannon Street, is zoned Mixed Use – Residential (MU-R). The eastern portion of the project adjacent to Hwy 42 was zoned Commercial Community (CC) and is the subject of the final plat request only.

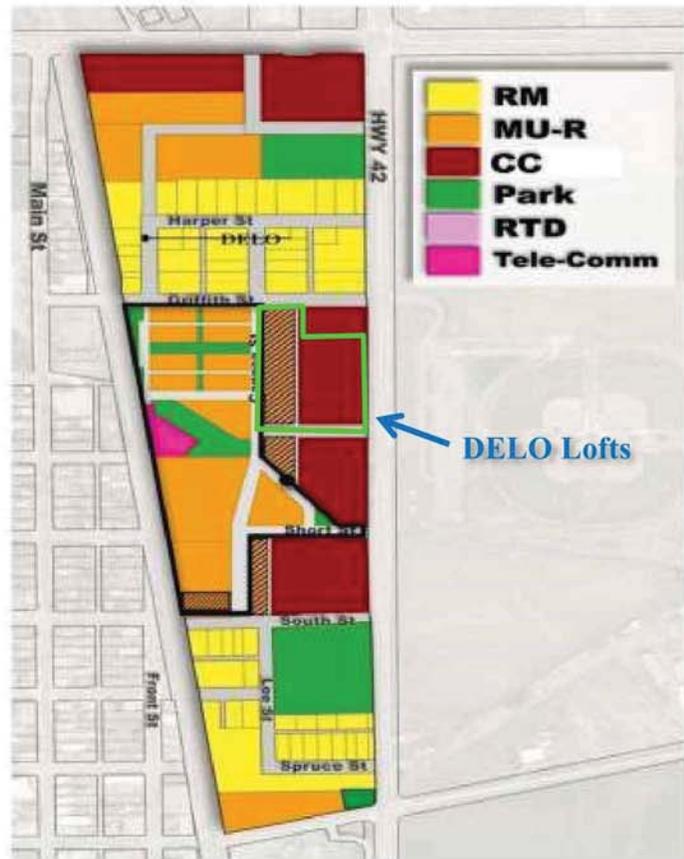
**Highway 42 Revitalization Area, Highway 42 Framework Plan and Mixed Use Development Design Standards and Guidelines (MUDDSG)**

The proposal is the 5<sup>th</sup> development request in the area commonly referred to as the “Highway 42 Revitalization Area”. The first development request was the Coal Creek Station PUD. The second and third development requests were DELO (Phases 1 & 2). The fourth development request was DELO Plaza.

South Boulder Road (north), Highway 42 (east), BNSF Rail line (west) and Pine Street (south) create the borders of the Highway 42 Revitalization Area. The City adopted the Highway 42 Plan to create a pedestrian oriented revitalization strategy for the blighted areas near the proposed Regional Transportation District’s (RTD) FasTracks’ Northwest Commuter Rail station.

In 2007, the City created the Mixed Use Overlay District (Sec. 17.14 of the LMC) and the Mixed Use Development Design Standards and Guidelines (MUDDSG) to provide the regulations necessary to ensure development would be consistent with the HWY 42 Framework Plan.

EXHIBIT A



**ANALYSIS:**

**Zoning**

Louisville Municipal Code Section 17.14.050 describes allowed uses in the MU-R zone district. The code allows multi-unit dwellings by right above the ground floor and by special review on the ground floor. The proposed live/work units incorporate commercial uses on the ground floor and residential space on the second and third floors, in compliance with the zoning. The applicant has not identified specific tenants or uses at this time for the ground floor commercial space, but staff will review individual tenants at the time of tenant finish to ensure the MU-R code allows the proposed uses.

**Special Review Use (SRU)**

The proposed SRU is to allow ground floor residential instead of retail in the apartment/condo building along Cannon Street. The purpose of an SRU is to ensure a proposed use is compatible with the surrounding area, and the proposed development. The intent of the ground floor retail requirement along Cannon Street in the MUDDSG is to boost the economic performance of the district and ensure a high quality pedestrian environment.

Since the City adopted the ground floor retail requirement in the MUDDSG the Louisville Revitalization Commission (LRC) has facilitated a number of forums focusing on the potential retail performance of ground floor retail located on Cannon Street. During these forums participants noted that Cannon Street is a secondary street that is not expected to carry an adequate volume of traffic necessary to support ground floor retail.

In addition to concern about retail performance along Cannon Street, exclusive residential architecture may not support a high quality pedestrian experience. For example, residential architecture (unlike retail) may not include features such as operable doors and windows, building entries, and higher quality ground floor architectural details that would promote a quality and inviting pedestrian environment. In order to insure appropriate pedestrian scale architecture, at the time of preliminary approval for Delo Lofts the City placed the following design conditions on the residential buildings:

***Design Conditions***

The Applicant shall satisfy the following architectural details for the residential buildings along Cannon Street at Final PUD:

- 1) HORIZONTAL VARIATION
  - a. Vary the horizontal plane of a building to provide visual interest and enrich the pedestrian experience, while contributing to the quality and definition of the street wall.
  - b. Horizontal variation should be of an appropriate scale and reflect changes in the building function, structure, and materials.
  - c. Avoid extensive blank walls that would detract from the experience and appearance of an active streetscape.

- d. Provide well-marked public and private entrances to cue access and use through compatible architectural and graphic treatments.
- e. Provide operable doors and windows on the ground floor street front of buildings
- f. Main residential building entrances should reflect different design than retail storefronts, restaurants, and commercial entrances.

**2) VERTICAL VARIATION**

- a. Employ a different architectural treatment on the ground floor façade than on the upper floors, and feature high quality materials that add scale, texture and variety at the pedestrian level.
- b. Vertically articulate the street wall façade, establishing different treatment for the building's base and upper floors
- c. Use balconies, fenestration, or other elements to create an interesting pattern of projections and recesses.
- d. Provide an identifiable break between the building's ground floors and upper floors. This break shall include a change in material, change in fenestration pattern or similar means.
- e. Provide more fenestration on the ground floor than upper floors.

Staff finds that the proposed residential building satisfies these conditions. The design includes horizontal articulation and variation in materials, a well-defined entrance, significant glazing, and operable windows and doors on the ground level. The ground floor is also clearly distinct from the upper floors, utilizing different materials and larger windows. Staff finds that the design would contribute to a high-quality pedestrian environment along Cannon Street.



*West (Cannon St) elevation of residential building*

**Special Review Use Criteria:**

Louisville Municipal Code Section 17.40.100.A lists five criteria to be considered by the Planning Commission in reviewing a Special Review Use application. The Planning Commission is authorized to place conditions on their recommendation of approval, if they believe those are necessary to comply with all of the criteria. Staff's conclusions on whether the proposal satisfies each criterion are summarized below and reflect the

information and proposal details covered in the subsequent sections of this Communication.

1. *That the proposed use / development is consistent in all respects with the spirit and intent of the comprehensive plan and of this chapter, and that it would not be contrary to the general welfare and economic prosperity of the city or the immediate neighborhood;*

The land use framework for the MUDDSG originally required ground floor retail along Cannon and South Street. In 2012 the City Council amended the MUDDSG to permit ground floor residential, along Cannon and South Street, as a special review use (SRU). The 2013 Comprehensive Plan reflects the land use framework as it was established in the MUDDSG and updated by City Council.

The fiscal impact of the development is generally consistent with the original fiscal impact analysis of the original Revitalization Plan. For these reasons and based on the additional information contained in the subsequent sections of this report, staff finds this request is consistent with the spirit and intent of the Comprehensive Plan and the criterion is met.

2. *That such use / development will lend economic stability, compatible with the character of any surrounding established areas;*

The request for ground floor residential use lends economic stability to the surrounding established area in that the future residents will likely become patrons of the restaurants and retail businesses found in Downtown Louisville. This area is within walking distance of downtown via the planned adjacent South Street Gateway. Future residents will likely walk, not drive, to Downtown to shop and dine without adding vehicle congestion and further impacting the tight parking conditions downtown. Staff finds the proposal meets this criterion.

3. *That the use / development is adequate for the internal efficiency of the proposal, considering the functions of residents, recreation, public access, safety and such factors including storm drainage facilities, sewage and water facilities, grades, dust control and such factors directly related to public health and convenience;*

The proposed development has adequate access for both vehicles and pedestrians from Cannon Street and Griffith Street. The development would connect to City water and sanitary sewers, and utilize the storm water detention facilities constructed with the DeLo development. Staff finds the proposal meets this criterion.

4. *That external effects of the proposal are controlled, considering compatibility of land use; movement or congestion of traffic; services, including arrangement of*

*signs and lighting devices as to prevent the occurrence of nuisances; landscaping and other similar features to prevent the littering or accumulation of trash, together with other factors deemed to affect public health, welfare, safety and convenience;*

The proposed land uses are consistent with the Hwy 42 Revitalization Area Plan. The traffic caused by the development can be accommodated by the street network being constructed with the DeLo development and the proposed traffic signal at Short St and Hwy 42. Proposed lighting and signage are appropriate for the development and the location. Adequate landscaping would be provided, including a significant landscape buffer along Griffith St. Staff finds the proposal meets this criterion.

5. *That an adequate amount and proper location of pedestrian walks, malls and landscaped spaces to prevent pedestrian use of vehicular ways and parking spaces and to separate pedestrian walks, malls and public transportation loading places from general vehicular circulation facilities.*

The plans include pedestrian walkways on all sides of buildings, providing access from both parking lots and streets to building entrances. Landscaping around the buildings, along the streets, and in the parking lot is appropriate for the development and the area. The proposal also includes parking areas behind buildings in compliance with the MUDDSG. Staff finds the proposal meets this criterion.

In summary, staff finds the proposal meets all five SRU criteria along with the design conditions placed on the preliminary approval and recommends approval of the SRU to allow ground-floor residential uses.

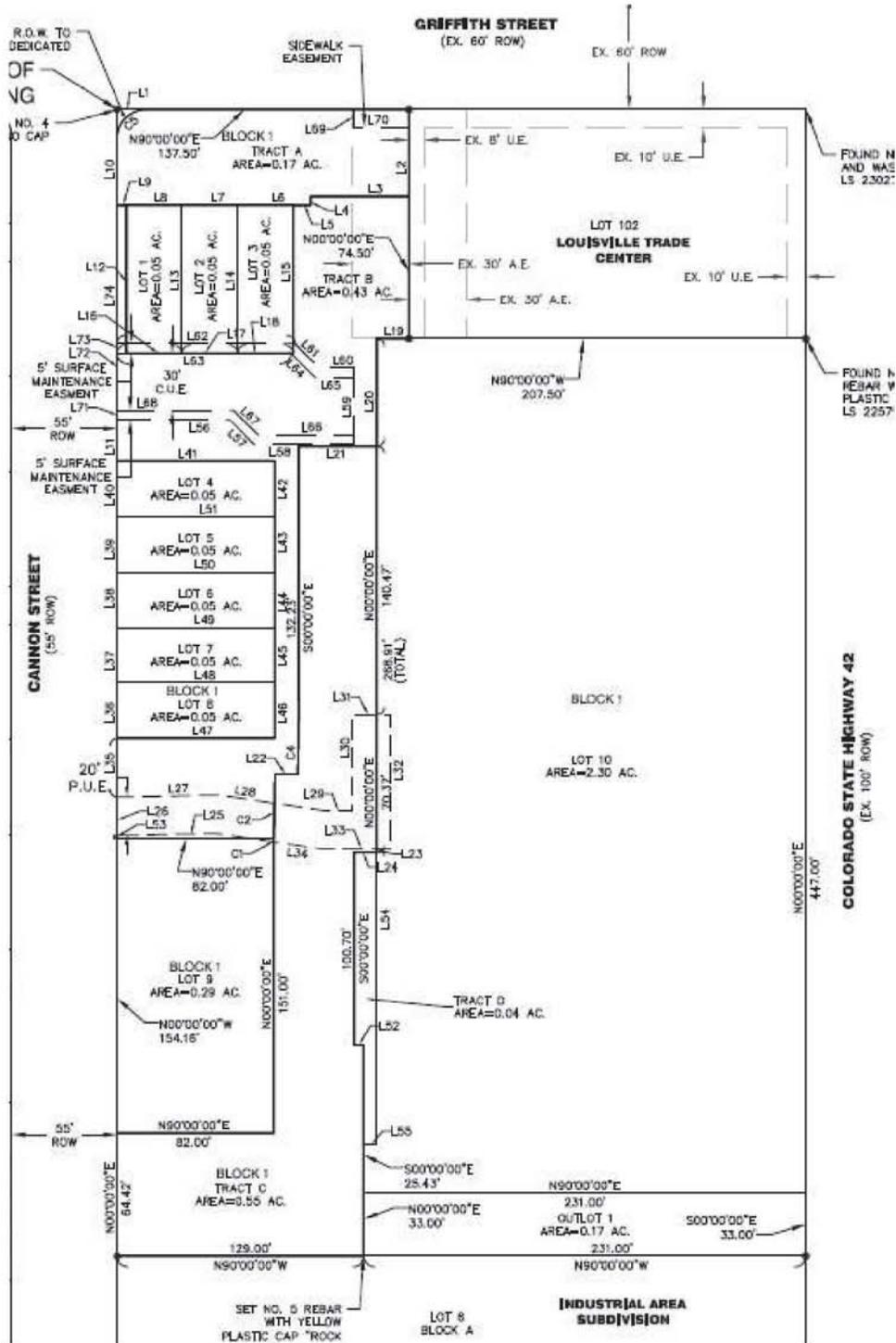
### **Final Subdivision Plat**

The proposed plat includes a replat the Louisville Trade Center, Industrial Area and Caledonia Place Subdivisions. The City approved the Industrial Area subdivision in 1959. The Industrial Area Subdivision was a replat of portions of the Caledonia Place Subdivision, which the City originally approved in 1890. The Louisville Trade Center Subdivision was a replat of the Industrial Area Subdivision and approved by the City in 1984.

The proposed plat divides the parcel into 10 lots, four tracts and one outlot:

- A. Lots 1-8 are for the individual live/work units.
- B. Lot 9 is for the apartment/condo building.
- C. Lot 10 is for the area zoned CC. Two existing structures are located on Lot 10. It is not included in the boundary for the PUD.
- D. The tracts are for public access to and from Cannon Street and landscape areas.
- E. The outlot is for future access from the development to Hwy 42.

The proposal does not include dedication of public right-of-way as Cannon Street, Griffith Street and Hwy 42 adequately serve the properties.



The proposed lots meet both Title 16 and Section 17.14 requirements, except lots 1-8, which do not meet the 40-foot minimum width requirement. The proposed homes on these lots are attached units on 29-foot wide lots. Requirements may be modified or waived under section 17.14.090(A)(2)(b)(i) of the LMC "if the decision-making body finds that the proposed development represents an improvement in site and building design over that which could be accomplished through strict compliance with otherwise applicable district standards." Staff finds that the waiver is justified in this situation to allow each unit to be located on an individual lot in a way that facilitates the overall site design goals. The City approved similar waivers for DeLo and Coal Creek Station.

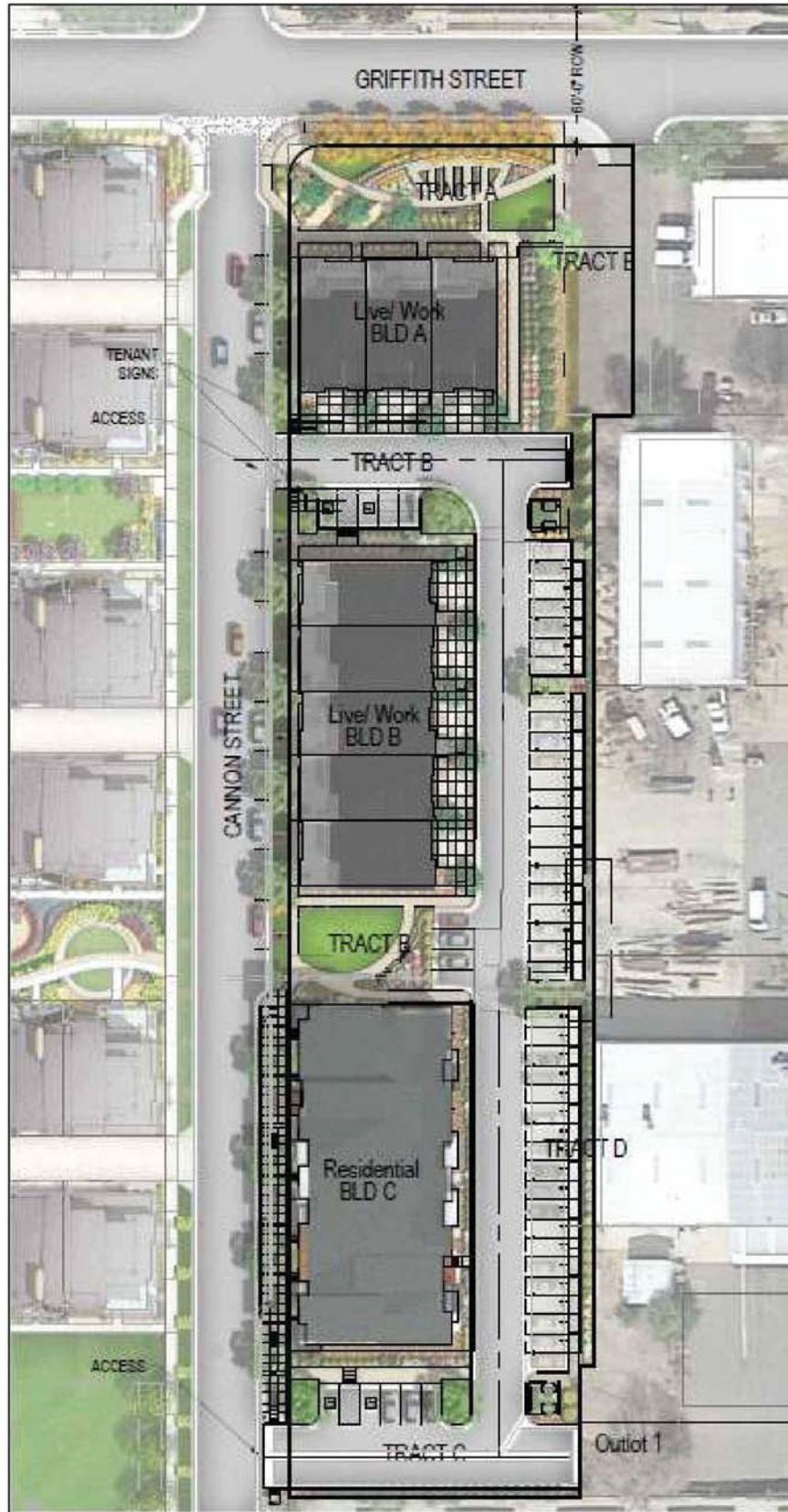
With approval of the subject plat, the existing structures on Lot 10 will not comply with the LMC's setback requirements and become legal non-conforming structures. However, with redevelopment of Lot 10, all new structures shall meet the applicable setback and other development standards.

#### *Public Land Dedication*

Section 16.16.060.B of the LMC requires a subdivider to dedicate for park, school, or other public purposes determined by the City Council, a minimum of 12 percent for nonresidential subdivisions and a minimum of 15 percent for residential subdivisions of the total land area of the tract being subdivided. Section 16.16.060.B.4 also states, "The requirements of the section shall not apply in cases where satisfactory dedication arrangements were made and approved by the city council at the time of annexation or previous subdivision of the same property." City staff, based on consultation with the City Attorney, interprets these provisions to mean that land dedication is not required for projects that City has previously platted. This property was originally platted as part of the Industrial Area subdivision (1959) and the Caledonia Place Subdivision (1890). Consequently, staff finds that the LMC does not require land dedication in this case.

#### **Final PUD**

The proposal is subject to the City's Mixed Use Development Design Standards and Guidelines (MUDDSG) and the design themes of the original DeLo development.



As described above, the proposed development consists of eight live/work units and 33 apartment/condo units. The live/work units are in two buildings on the northern portion of the site (Buildings A and B), with each unit on its own lot. Building A faces Griffith Street with a landscaped plaza separating the building from the street. Building B faces Cannon Street, set back about five feet. The apartment/condo units are in one building (Building C), also facing Cannon Street on the south portion of the property, separated from Building B by a landscape area.

The following table compares Section 17.14.060 dimension and bulk standards compared to the proposed development:

	Allowed	Building A	Building B	Building C
Minimum Building Coverage	40%	70%	70%	77%
Maximum Front Setback	10'	0' <sup>1</sup>	5'	4.5'
Minimum Side Setback	0'	5'	0'	0'
Minimum Rear Setback	20' <sup>2</sup>	17' from internal lot line/485' from most southern property boundary	17' from internal lot line/70' from most eastern property boundary	5' from internal lot line for car port/63' from in most eastern property boundary
Maximum Building Footprint	10,000 SF	5,048 SF	8,414 SF	9,828 SF
Maximum Building Length	200'	86'	145'	151'

1. Front setback for Building A is measured to the property line with Tract A, which is 50 feet from Griffith Street.
2. Per Footnote 5 in the PUD Bulk and Dimension Standards, rear setbacks area measured to the project boundary instead of internal lot and tract lines.

Building A also complies with the Residential Protection and Transition Standards in section 8 of the MUDDSG, which requires a minimum setback of 10 feet from Griffith Street.

In addition to the setbacks noted in the above table, the proposal includes covered parking carports along the east property line. The carports would be approximately 11 feet tall and constructed of the same materials as the main structures. The carports

would be approximately five feet from the rear lot line, which does not comply with the required 20 foot rear setback for all structures. The east property line abuts a commercial zone district and a proposed future alley. Staff supports the request for a rear setback waiver because of the intended use, overall site design, and adjacent uses.



Section 17.14.060 also has the following requirements that apply to the overall project:

	Required	Proposed
Minimum Density	12 units/acre	17.37 units/acre
Maximum Density	20 units/acre	17.37 units/acre
Minimum Building Coverage	40%	28%
Minimum Landscape Coverage	10%	20%
Minimum Street Frontage	70%	62%

As noted in the table, the proposal meets all of the requirements except the minimum street frontage occupied by a building, for which the applicant is requesting a waiver.

*Parking and Circulation*

The proposal includes two vehicular accesses off of Cannon Street – one at the south end of the project and one towards the north end, between Buildings A and B. The accesses is connected by and interior drive aisle to the east of Buildings B and C that serves the off-street parking.

The applicant has also shown a “Final Condition” plan that includes through access from Griffith Street and that utilizes an access and parking easement that is shared with the Louisville Tire property. This access plan provides for increased connectivity through the site, but it is not part of the subject PUD application. It is shown on the PUD plans merely to demonstrate how circulation could function.



*Proposed condition (left) and conceptual final condition (right) for Griffith Street access*

The proposal includes parking primarily in covered spaces along the east side of the project. The live/work units also include garages accessed from the interior drive along with driveways/aprons that could be used for tandem parking. Section 4 of the MUDDSG describes parking requirements for the proposal. The following table compares the required to proposed parking, demonstrating compliance with the MUDDSG.

	Standard	Required	Proposed
Live/Work Commercial	1 space/300 SF	32 spaces	46 spaces
Live/Work Residential	2 spaces/unit	16 spaces	16 spaces
Apartment 1-Bedroom	1 space/unit	27 spaces	28 spaces
Apartment 2-Bedroom	2 spaces/unit	12 spaces	13 spaces
Guest Parking	1 space/8 units	5 spaces	5 spaces
Total		92 spaces	108 spaces

The MUDDSG allows on-street parking spaces abutting non-residential uses to be counted towards the required parking for those uses. The proposal includes 14 on-street spaces on Cannon Street in the provided commercial parking. The MUDDSG requires one bicycle parking space for every 10 vehicle spaces, which translates to 9 required bicycle spaces. The proposal includes 10 bicycle parking spaces.

*Building Height and Design*

Buildings A and B are designed with three stories and 39 feet tall. Section 17.14.060 allows minimum building heights of two stories and 35 feet, and maximum building heights of three stories and 45 feet. In addition, the MUDDSG Residential Protection and Transitional Standards limit the height of buildings within 50 feet of rights-of-way adjacent to residential areas to 35 feet. As described above, Building A is 50 feet from the Griffith Street right-of-way, complying with the requirement.



*Building B west elevation*

Both proposed Buildings A and B utilize a mix of cement lap siding, brick, and metal panel siding. The proposed architecture incorporates significant glazing on the first two floors and balconies on the second and third floors adding to the visual appeal. The plans include recessed unit entrances, providing horizontal articulation and a stepped back third floor, providing vertical articulation and reducing the perceived height of the buildings. All four sides of the buildings utilize a similar level of materials and detailing.

The proposal height for Building C would be three stories and just under 45 feet tall, again complying with the requirements of section 17.14.060. Building C is not adjacent to residential areas and not subject to the Residential Protection and Transitional Standards.



*Building C west elevation*

Building C utilizes a mix of cement lap siding, brick, and Corten or weathering steel. Ground floor units incorporate entrances and patios accessible from the street and upper floor balconies. Horizontal and vertical articulation and variation in materials provide visual interest and help create a pleasant pedestrian environment. As with Buildings A and B, all four sides of the building utilize a similar level of materials and detailing. The building design is similar to those for Delo Phase 2, but includes enough differences to be distinct without looking out of place.

#### *Sidewalks and Landscaping*

The applicant is proposing a 12' walk in front of Building C that includes planters, street trees, and benches. In front of Buildings A and B, the sidewalk transitions to five feet wide with an eight-foot tree lawn featuring planters and street trees between the sidewalk and the street. The proposed sidewalk is on private property with a public access easement.

MUDDSG Section 5.4 requires a minimum width of 10 feet for public sidewalks. The applicant is requesting a waiver to allow the five foot sidewalk. When the sidewalk and tree lawn are taken together, it exceeds the 10 foot minimum and provides additional landscaping and less impervious surface, while still meeting the requirement for five feet of unobstructed pathway.

MUDDSG Section 5.4 also requires one tree per 20 lineal feet of street frontage. This would translate to 26 trees along Cannon Street and six along Griffith Street. The applicant is proposing 10 trees within the right-of-way along Cannon Street and five along Griffith Street, with the remainder to be provided elsewhere on site. This translates to one tree per 42 feet of street frontage.

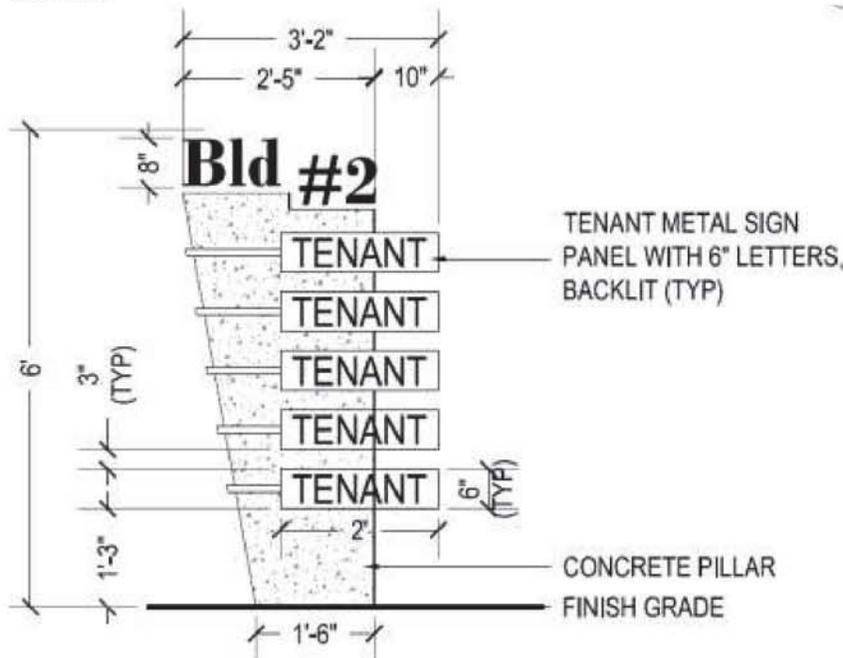
MUDDSG Section 7.3 requires that parking lots include a minimum of five percent landscaped area and one tree for every 300 square feet of landscaped area. That translates to 1,546 square feet of landscape area and six trees required for the proposed development. The site plan includes 2,907 square feet of landscape area and seven trees within the parking area.

A proposed landscape buffer along the south and east property lines consists primarily of shrubs. The landscaping plan also includes landscaping around the buildings and two larger landscape plazas, one between Building A and Griffith Street and the other between Buildings B and C. In total, the proposal includes landscaping over 20 percent of the site, exceeding the 10 percent requirement in section 17.16.060.

The total tree requirement between street trees and parking lot trees is 38 trees. The landscape plan includes 44 trees. However, as described above, the plans only include 15 of the 32 required street trees in the right-of-way. Street trees are an important amenity to creating a pedestrian-friendly environment, providing shade, greenery, and visual interest. However, they can also block visibility to businesses and often create conflicts with utilities. Staff believes that the plans provide an adequate number of trees to achieve the intended goal while maintaining visibility for businesses and limiting utility conflicts. Therefore, staff supports the waiver request to reduce the number of trees in the right-of-way.

*Signage*

The applicant proposes two freestanding signs, on either side of the vehicular access between Buildings A and B, to identify the individual buildings and the tenants in the live/work buildings. The Downtown Sign Manual governs signs in the MU-R zone district.



When the Planning Commission reviewed the proposal on October 13, the plans showed a 12 foot high Tenant Sign. Per the Downtown Sign Manual, freestanding signs cannot exceed 6 feet in height. The total copy area of the original signs exceeded the maximum of nine square feet allowed under the Sign Manual and the signs were proposed to be internally illuminated, which is not allowed by the Sign Manual. Based

on concerns with the height, copy area and illumination, the Commission recommended a condition that the sign conform with the applicable requirements of the Design Manual prior to City Council approval. The applicant has revised the plans to show a 6 foot high sign, copy area of 4.6 square feet and only backlit letters. Staff finds that the signs proposed now meet the applicable sign standards.

*Additional Site Details*

The proposal includes two trash enclosures at either end of the parking lot. The trash enclosures would be made materials compatible with the other structures. A 14 foot tall trellis is proposed for the landscape area between Buildings B and C. Exterior lighting would be provided along the street and in the parking lots to enhance safety and security.

**Waivers**

The proposed development includes six waivers to the yard and bulk standards of Chapter 17.14 and the MUDDSG. The City may modify or waive requirements under section 17.14.090(A)(2)(b)(i) of the LMC “if the decision-making body finds that the proposed development represents an improvement in site and building design over that which could be accomplished through strict compliance with otherwise applicable district standards.”

<b>Waiver</b>	<b>Requirement</b>	<b>Request</b>	<b>Location</b>
Minimum Sidewalk Width	10'	5'	Buildings A and B
Street Trees	1 per 20'	1 per 42'	Cannon and Griffith Streets
Rear Setback	20'	5'	Carports
Minimum Lot Width	40'	29'	Lots 1-8
Minimum Street Frontage	70%	62%	Cannon and Griffith Streets

*Minimum Sidewalk Width*

The applicant is requesting a five foot sidewalk width waiver to the MUDDSG requirement of 10 feet in front of Buildings A and B. Because the proposal includes adequate buffer from the street, staff recommends approval of the waiver.

*Street Trees*

The applicant is requesting to reduce the overall street tree requirement from one street tree per every 20 feet of street length, to one street tree per every 42 feet of street length. The plan would still include the total number of trees required, and would provide enough street trees to make for a comfortable pedestrian environment. Therefore staff recommends approval of the waiver.

*Rear Setback*

The applicant is requesting a five foot rear accessory setback for the carports, instead of the required 20 foot setback for all uses. Given the use, location, and proposed future alley adjacent to the carports, staff recommends approval of the waiver.

*Minimum Lot Width*

The applicant is requesting 29 foot wide lots for the individual live/work units where a 40 foot minimum width is required. Staff recommends approval of the waiver because it allows for the desired ownership structure and an appropriate building design.

*Minimum Street Frontage*

The applicant is requesting a reduction in the required minimum street frontage occupied by a building from 70 percent to 62 percent. Staff finds the proposed design meets the intent of the regulation by providing visual interest and a pedestrian-friendly environment while including required access drives and additional landscape areas. Staff recommends approval of the waiver.

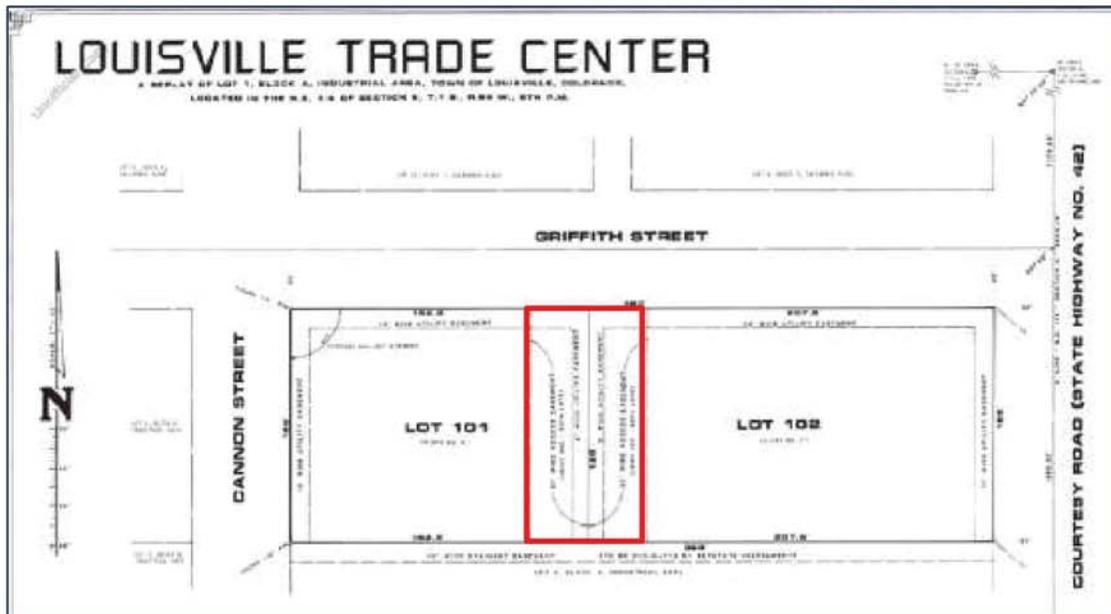
**PUD Criteria**

Section 17.28.120 of the Louisville Municipal Code lists 13 criteria for Planned Unit Developments (PUDs) that must be satisfied or found not applicable for the PUD to be approved. Staff finds that all applicable criteria are met because the proposal complies with the requirements of chapter 17.14 and the MUDDSG, except for the requested waivers discussed above. The proposed development complies with the spirit and intent of the Hwy 42 Revitalization Area Plan to provide a mixture of uses and housing types in a pedestrian friendly environment. It is compatible with the developments previously approved in the Revitalization Area and the remaining existing uses, including nearby residential neighborhoods. There is adequate pedestrian and vehicular access, as well as adequate open space within the site and nearby.

**PLANNING COMMISSION REVIEW:**

The subject application was initially heard at the October 13, 2016 Planning Commission meeting. At that meeting, the Commission expressed their support for the application but questioned if Condition No. 3 of the preliminary approval had been satisfied. The condition states: "Easement concerns, with the Louisville Trade Center Plat, will be resolved prior to final approval."

The Louisville Trade Center plat established the access easement in 1984.



The PUD approved in 1984 also references the easement as a “Joint Parking and Access Easement”. The City does not hold any interest in this easement. The tenant of the adjacent property utilizes this easement area on the subject property for parking and access and expressed concern that their use of the easement would no longer be available as a result of the proposal (Attachment 7). However, the applicant is not using this easement area for redevelopment at this time. The PUD plans submitted for the Commission’s review on October 13, 2016 showed a “final condition plan” which does indicate that redevelopment would impact that easement area. Such development could not occur without City approval and would necessitate cooperation with the adjacent property owner. Additionally, the plans included graphics that showed parking in this easement area which may have been mistakenly construed as being necessary to meet the parking requirements for the project.

At the October 13, 2016 meeting, the Commission continued the project to the November 10, 2016 meeting to allow staff time to discuss this easement issue with the City Attorney in order to determine if the condition had been satisfied. In staff’s discussion with the applicant and the City Attorney, it was understood that approval of the subject application would not impact the use of this easement by the adjacent property owner and that the parking shown in that area was not necessary to meet the project’s parking requirements. To address concerns, staff recommended three conditions:

1. Prior to City Council approval, the plat shall be revised to include the reception numbers for the Louisville Tire Center plat and PUD.

2. Prior to City Council approval, the PUD shall be revised to include a note, where applicable, that the “Commercial Live Work Area – Final Condition is conceptual only, is not approved by this PUD and is subject to further review and approval, disapproval or modification through a separate PUD Amendment process.”
3. Prior to City Council approval, the PUD shall be revised to remove the proposed parking improvements from the east side of the Live/Work Building A structure. Additionally, the joint parking and access easement shown on the Louisville Trade Center PUD and Replat shall be clearly delineated on the plat and PUD with references made to that document and reception number.

With these conditions, the Planning Commission unanimously recommended approval of the application. There were also two other conditions, which were included in the resolution that staff recommended at the October 13, meeting and which carried forward to the November 10 meeting:

1. The proposed signage shall be modified to comply with the Downtown Sign Manual.
2. The applicant shall address all issues in the Department of Public Works October 4, 2016 memo prior to the City Council hearing.

With the exception of the Public Works comments, the applicant has revised all applicable documents to address these conditions. The applicant submitted revisions to address the Public Works comments, but they are still under review. The comments were relatively minor and compliance should not pose any issues with the project moving forward. Thus, staff recommends a condition that requires the Public Works comments to be addressed prior to the recordation of the PUD.

**REFERRAL COMMENTS:**

*Boulder Valley School District (BVSD)*

The Boulder Valley School District (BVSD) was a referral for this development. A letter from BVSD dated June 1, 2016 states this development would have an impact of “4 students on the Louisville Elementary, 1 student on Louisville Middle School and 3 students on Monarch High School.” The letter goes on to state “...these facilities are able to accommodate projected growth. Louisville Elementary, however, will likely reach its program capacity within 5 years should growth within the existing housing stock of central Louisville continue at its recent pace. Elementary capacity in Louisville as a whole, however, is ample to accommodate continued enrollment growth.”

**FISCAL IMPACT:**

Staff used the City’s fiscal model to evaluate the expected impact from the development. Based on the proposed development, the model projects a positive cumulative fiscal impact of approximately \$750,000 over 20 years, or approximately \$37,500 per year.

**SUBJECT: RESOLUTION NO. 71, SERIES 2016**

**DATE: DECEMBER 6, 2016**

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**STAFF RECOMMENDATION:**

Staff recommends approval of the requested SRU, final plat, and final PUD with condition stated below. The proposal would allow for the development of a mixed use project in the Highway 42 Revitalization Area consistent with the Highway 42 revitalization Plan and Chapter 17.14 of the Louisville Municipal Code.

Staff recommends the following condition of approval:

1. Prior to the recordation of the Final PUD and Final Plat, the plans shall be revised to the satisfaction of the Public Works Department.

**ATTACHMENTS:**

1. Resolution No. 71, Series 2016
2. Planning Commission Resolution
3. Planning Commission Minutes
4. Application documents
5. Final Plat
6. Final PUD
7. Louisville Tire Easement Letter and Supporting Documents
8. BVSD Comments
9. Presentation