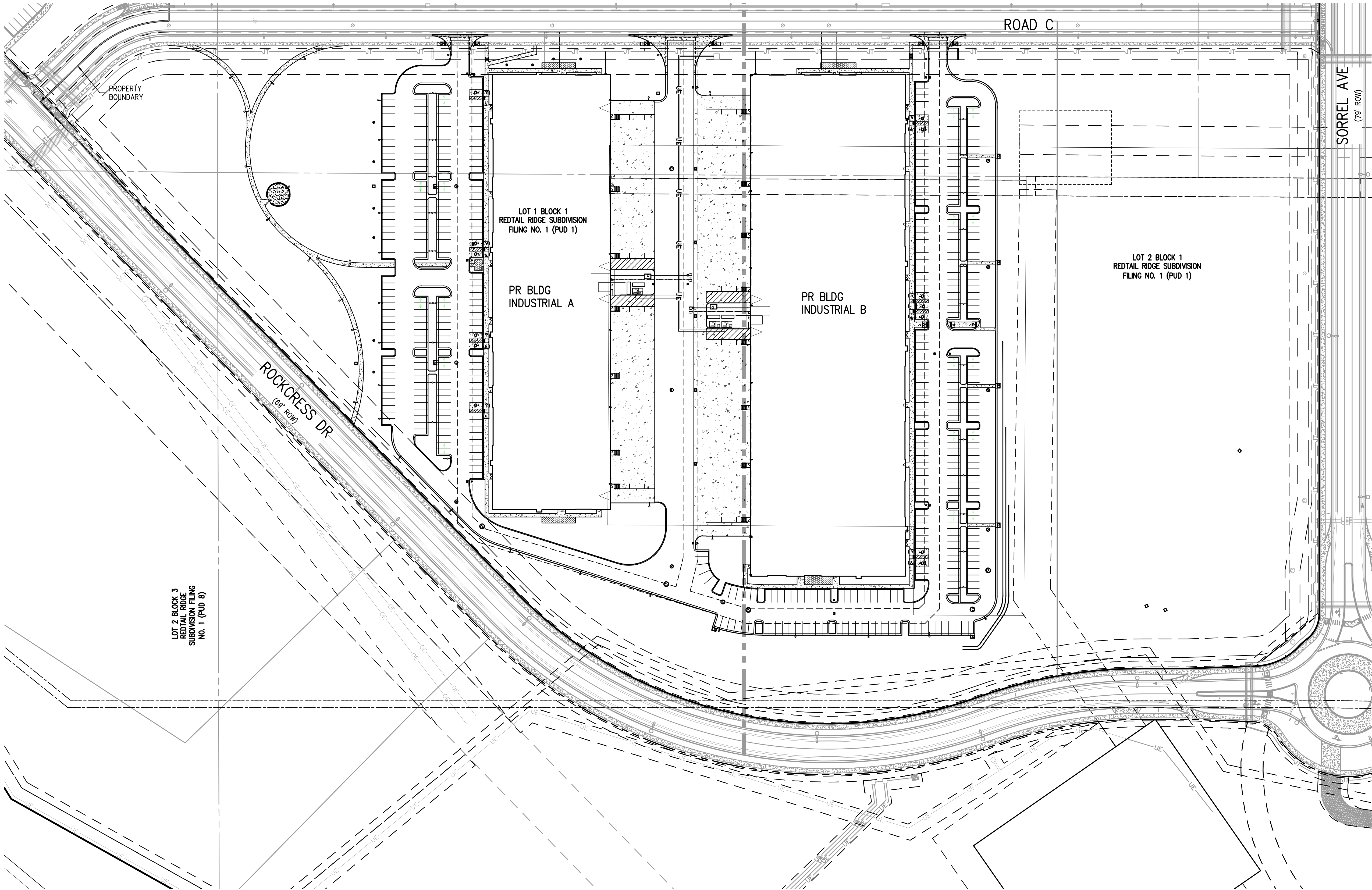


REDTAIL RIDGE FILING NO. 1
PLANNED UNIT DEVELOPMENT
LOT 1 BLOCK 1

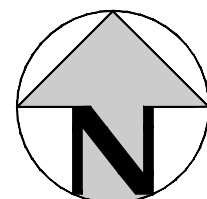


LEGEND:

- PROPERTY BOUNDARY
RIGHT-OF-WAY
EXISTING STM SEWER W/MH AND INLET
EXISTING SANITARY SEWER W/MH
EXISTING WATER LINE W/ VALVE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC
EXISTING JOINT TRENCH
EXISTING STREET LIGHT
EXISTING TELEPHONE POLE
EXISTING FIRE HYDRANT
PROPOSED SANITARY SEWER W/MH
PROPOSED SANITARY SERVICE W/CLEAN OUT
PROPOSED STORM SEWER W/ MH AND INLET
PROPOSED LANDSCAPE DRAIN W/ INLET
PROPOSED FIRE HYDRANT
PROPOSED 8" WATER MAIN W/ BENDS, VALVE, AND TEE
PROPOSED WATER SERVICE W/METER
PROPOSED FIRE SERVICE
PROPOSED STREET LIGHT
PROPOSED PEDESTRIAN LIGHT
PROPOSED BUILDING ENTRANCE
PROPOSED TRANSFORMER AND GENERATOR
ABANDON EXISTING UTILITY LINE
PROPOSED CONCRETE
PROPOSED CONCRETE PAVERS
PROPOSED PORCELAIN PAVERS
PROPOSED CRUSHER FINES

ABBREVIATIONS

BLDG	BUILDING
C&G	CURB & GUTTER
CONC	CONCRETE
DS	DOWNSPOUT
DUE	DRY UTILITY EASEMENT
ELEC	ELECTRIC
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
GV	GATE VALVE
HT	HEIGHT
MH	MANHOLE
N	NORTH, NORTHING
PED	PEDESTRIAN
PL	PROPERTY LINE
PR	PROPOSED
ROW	RIGHT-OF-WAY
SME	SURFACE MAINTENANCE EASEMENT
SS	SANITARY SEWER
STM	STORM
TYP	TYPICAL
UG	UNDERGROUND
WAT	WATER



100 0 100 200
SCALE: 1" = 100'

REVISION DATE:

ISSUE DATE: 03-14-2025

OVERALL SITE PLAN
SHEET 2 OF 24
REDTAIL RIDGE PUD1 SOUTH

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Project: P:\2022\228\ENGINEERING\PAUSD\THPUD - OVERALL SITE PLAN\South\DWG Layout\Overall Site Plan.dwg
User: harriskocher
Date: 03/14/25 11:18:00 PM
Plotter: PLOT01 (HP DesignJet 1180) Plot Style: hks.ctb
Page: 1 of 1
Title: Overall Site Plan
Legend: Legend

PROJECT #: 221238

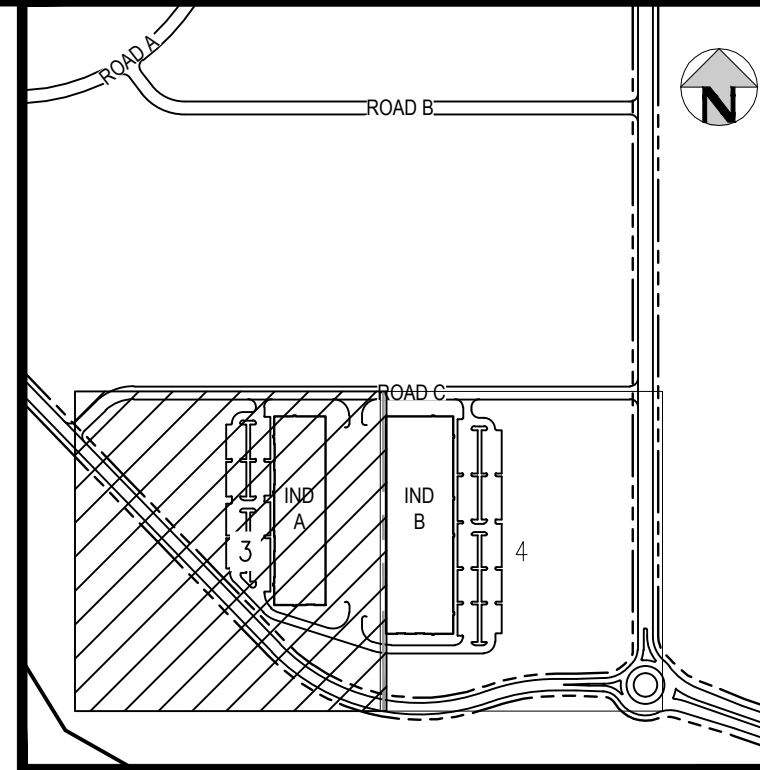
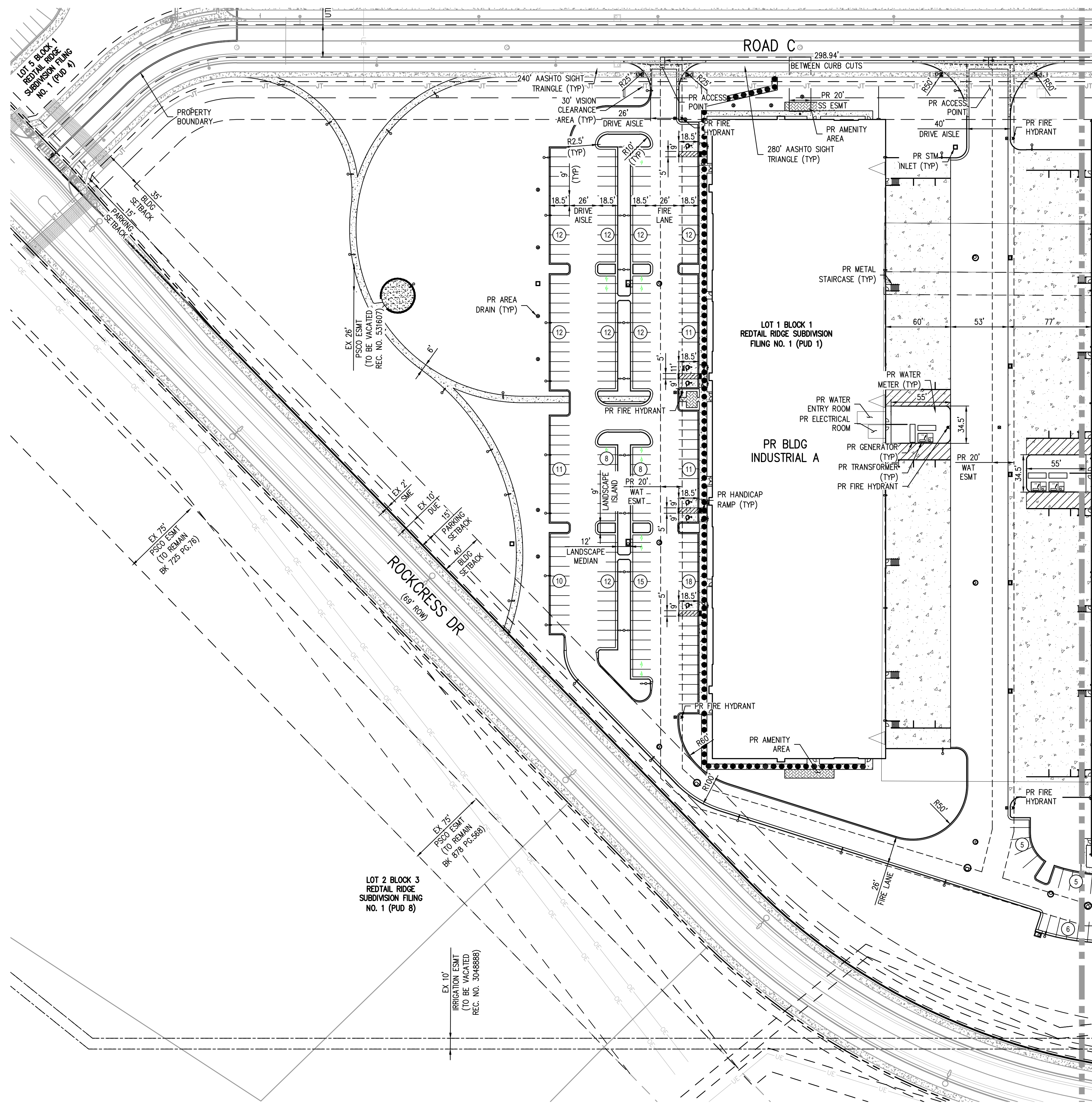
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Project: P-20220223RENGENRGPUD1SOUTH.PUD - SITE PLAN SOUTH.DWG, Layer: PUD1 SOUTH - WEST
Revision: 01/03/2024, 10:23P, By: Owen Van Lier, P-20220223RENGENRGPUD1SOUTH.PUD - SITE PLAN SOUTH.DWG, Layer: PUD1 SOUTH - WEST
Revised: 01/03/2024, 10:23P, By: Owen Van Lier, P-20220223RENGENRGPUD1SOUTH.PUD - SITE PLAN SOUTH.DWG, Layer: PUD1 SOUTH - WEST

REDTAIL RIDGE FILING NO. 1

PLANNED UNIT DEVELOPMENT

LOT 1 BLOCK 1



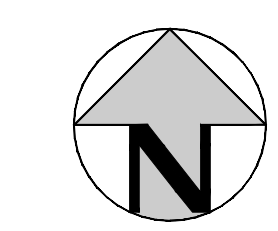
KEY MAP
SCALE: 1" = 600'

LEGEND:

- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- EXISTING STM SEWER W/MH AND INLET
- EXISTING SANITARY SEWER W/MH
- EXISTING WATER LINE W/ VALVE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING JOINT TRENCH
- EXISTING STREET LIGHT
- EXISTING TELEPHONE POLE
- EXISTING FIRE HYDRANT
- PROPOSED SANITARY SEWER W/MH
- PROPOSED SANITARY SERVICE W/CLEAN OUT
- PROPOSED STORM SEWER W/ MH AND INLET
- PROPOSED LANDSCAPE DRAIN W/ INLET
- PROPOSED FIRE HYDRANT
- PROPOSED 8" WATER MAIN W/ BENDS, VALVE, AND TEE
- PROPOSED WATER SERVICE W/METER
- PROPOSED FIRE SERVICE
- PROPOSED STREET LIGHT
- PROPOSED PEDESTRIAN LIGHT
- PROPOSED BUILDING ENTRANCE
- PROPOSED TRANSFORMER AND GENERATOR
- ABANDON EXISTING UTILITY LINE
- PROPOSED CONCRETE
- PROPOSED CONCRETE PAVERS
- PROPOSED PORCELAIN PAVERS
- PROPOSED CRUSHER FINES
- ACCESSIBLE ROUTE
- PARKING COUNT

ABBREVIATIONS

BLDG	BUILDING
C&G	CURB & GUTTER
CONC	CONCRETE
DS	DOWNSPOUT
DUE	DRY UTILITY EASEMENT
ELEC	ELECTRIC
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
GV	GATE VALVE
HT	HEIGHT
MH	MANHOLE
N	NORTH, NORTHING
PED	PEDESTRIAN
PL	PROPERTY LINE
PR	PROPOSED
ROW	RIGHT-OF-WAY
SME	SURFACE MAINTENANCE EASEMENT
SS	SANITARY SEWER
STM	STORM
TYP	TYPICAL
UG	UNDERGROUND
WAT	WATER

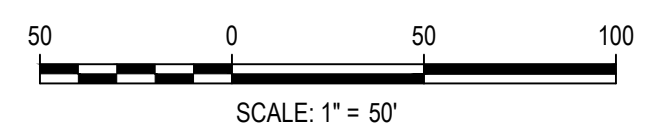


SCALE: 1" = 50'

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



PROPERTY BOUNDARY
RIGHT-OF-WAY
EXISTING STM SEWER W/MH AND INLET
EXISTING SANITARY SEWER W/MH
EXISTING WATER LINE W/ VALVE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC
EXISTING JOINT TRENCH
EXISTING STREET LIGHT
EXISTING TELEPHONE POLE
EXISTING FIRE HYDRANT
PROPOSED SANITARY SEWER W/MH
PROPOSED SANITARY SERVICE W/CLEAN OUT
PROPOSED STORM SEWER W/ MH AND INLET
PROPOSED LANDSCAPE DRAIN W/ INLET
PROPOSED FIRE HYDRANT
PROPOSED 8" WATER MAIN W/ BENDS, VALVE, A
PROPOSED WATER SERVICE W/METER
PROPOSED FIRE SERVICE
PROPOSED STREET LIGHT
PROPOSED PEDESTRIAN LIGHT
PROPOSED BUILDING ENTRANCE
PROPOSED TRANSFORMER AND GENERATOR
ABANDON EXISTING UTILITY LINE
PROPOSED CONCRETE
PROPOSED CONCRETE PAVERS
PROPOSED PORCELAIN PAVERS
PROPOSED CRUSHER FINES
ACCESSIBLE ROUTE
PARKING COUNT



PROJECT #: 221236

SHEET 4 OF 24

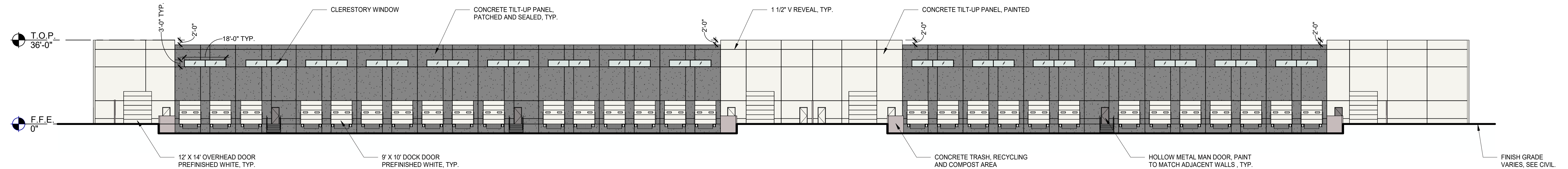
REDTAIL RIDGE PUD1 SOUTH

REVISION DATE:

ISSUE DATE: 03-14-2025

18 XREFs: [U], e-ega, keymap-south, p-base-1, p-base-2, p-base-nd, p-base-pud¹-north[U], p-base-pud¹-south, p-base-pud¹-south, pud - legend
 plotted: FRI 03/14/25 4:19:31P By: Owen Van Lierman

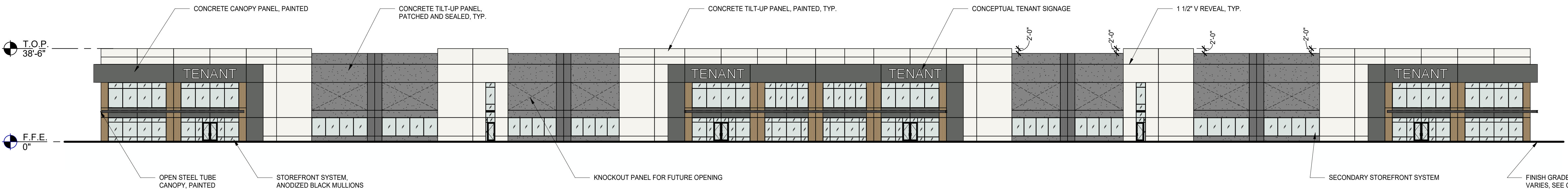
REDTAIL RIDGE FILING NO. 1
PLANNED UNIT DEVELOPMENT
LOT 1 BLOCK 1 & LOT 2 BLOCK 1
SITUATED IN THE SOUTH HALF OF SECTION 20 AND THE NORTH HALF OF
SECTION 29, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CASE #: PUPL-XXXX-2023



INDUSTRIAL A - EAST EXTERIOR ELEVATION

SCALE: 3/64" = 1'-0"

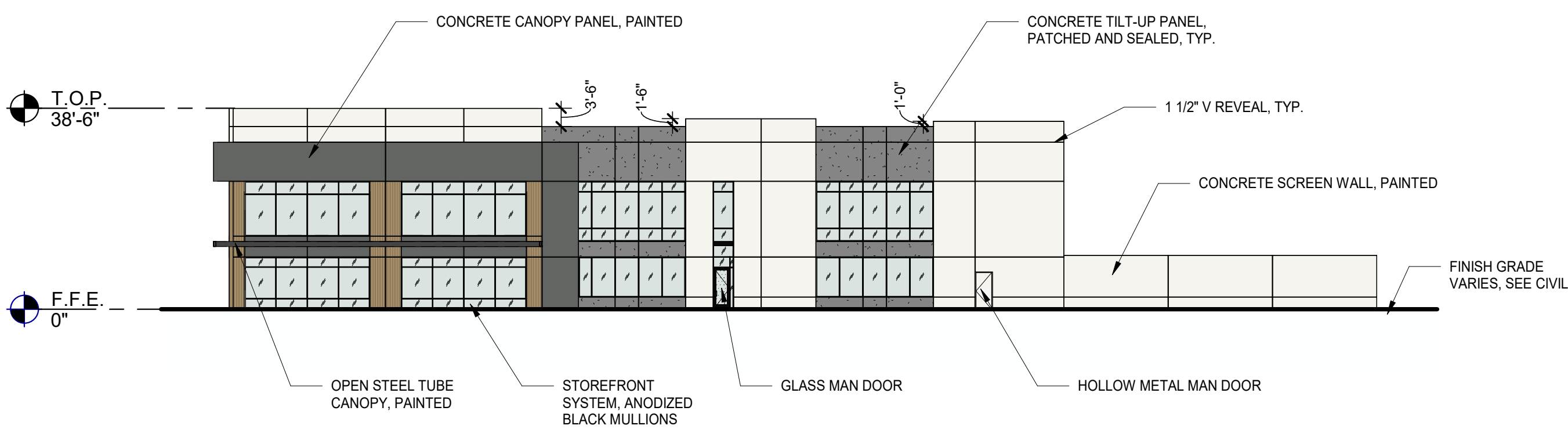
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INDUSTRIAL A - WEST EXTERIOR ELEVATION

SCALE: 3/64" = 1'-0"

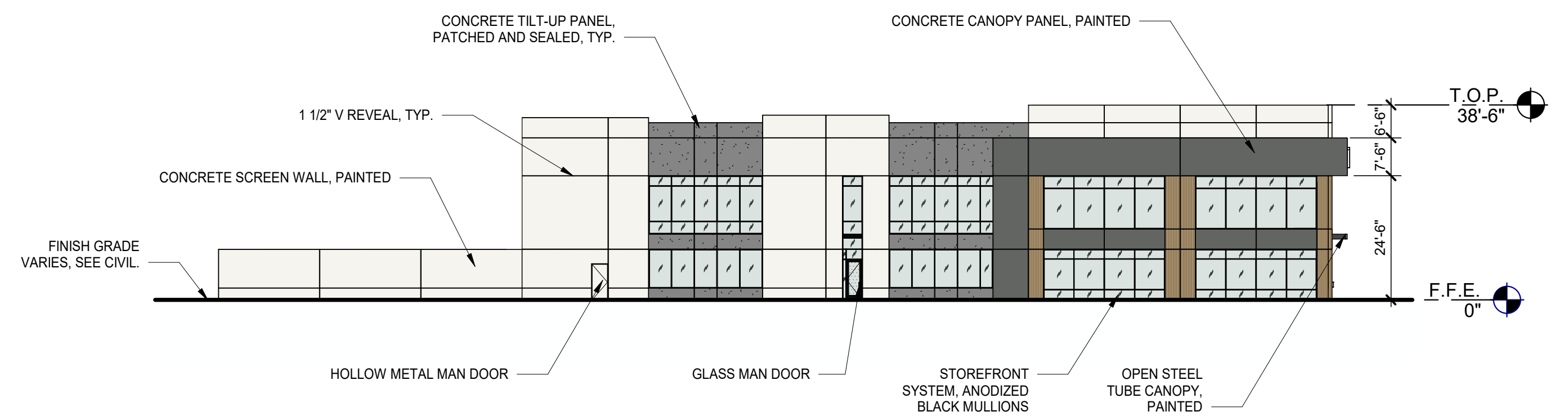
2



INDUSTRIAL A - SOUTH EXTERIOR ELEVATION

SCALE: 3/64" = 1'-0"

4



INDUSTRIAL A - NORTH EXTERIOR ELEVATION

SCALE: 3/64" = 1'-0"

3

LEGEND

COLORS:

	BASE COLOR: PURE WHITE SW 7005
	SECONDARY COLOR: SEALED CONCRETE FINISH
	ACCENT COLOR: GRIZZLE GREY SW 7068
	CORRUGATED FORMLINER ACCENT COLOR: WOVEN WICKER SW 9104

GLASS:

GREY TINT

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

ABBREVIATIONS:

T.O.P. - TOP OF PANEL
F.F.E. - FINISH FLOOR ELEVATION

REVISION DATE: -

ISSUE DATE: 03/14/2025

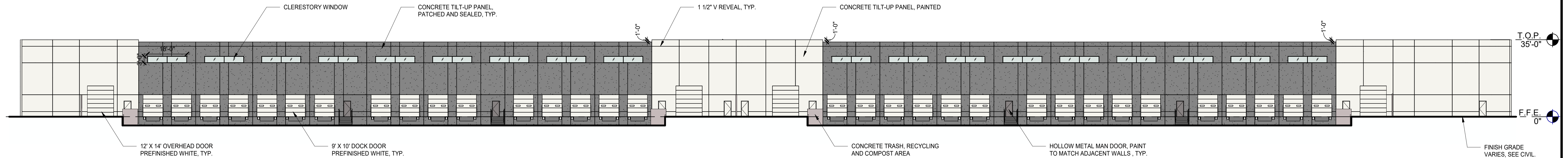
SHEET 5 OF 24

ARCHITECTURAL ELEVATIONS

REDTAIL RIDGE PUD1 SOUTH

PROJECT # DEV22-0097-01

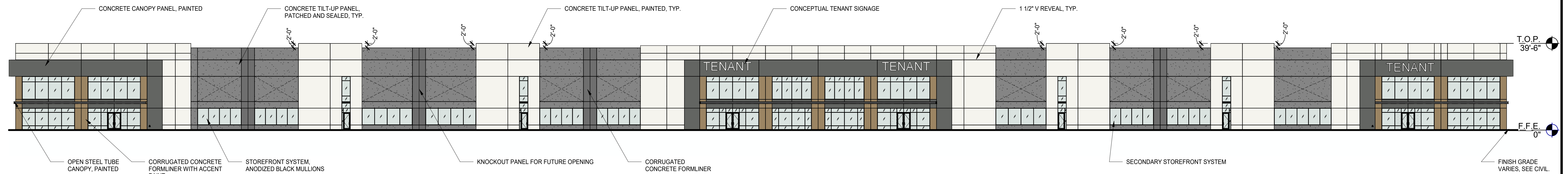
REDTAIL RIDGE FILING NO. 1
PLANNED UNIT DEVELOPMENT
LOT 1 BLOCK 1 & LOT 2 BLOCK 1
SITUATED IN THE SOUTH HALF OF SECTION 20 AND THE NORTH HALF OF
SECTION 29, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CASE #: PUPL-XXXX-2023



INDUSTRIAL B - WEST EXTERIOR ELEVATION

SCALE: 3/64" = 1'-0"

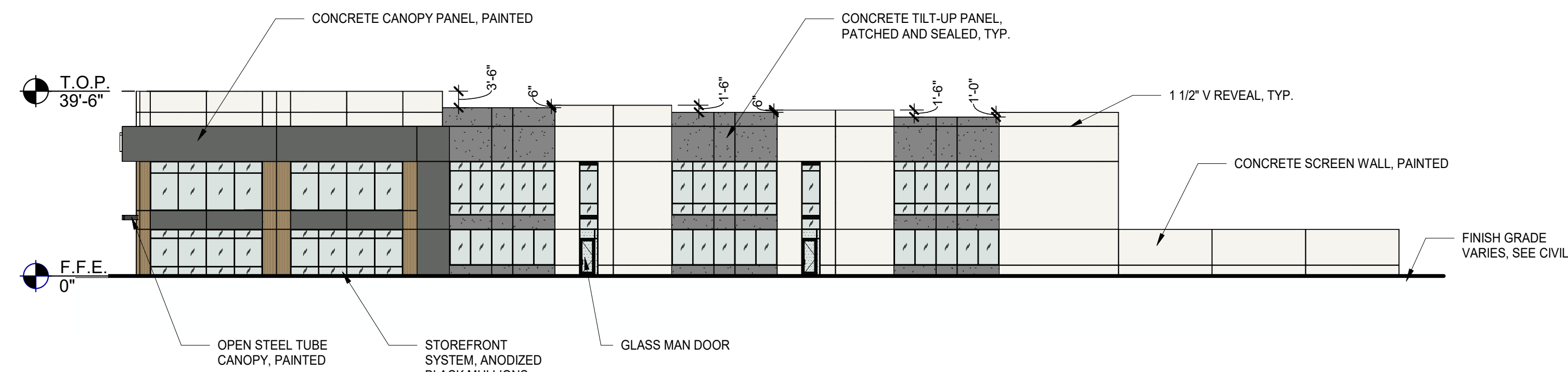
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INDUSTRIAL B - EAST EXTERIOR ELEVATION

SCALE: 3/64" = 1'-0"

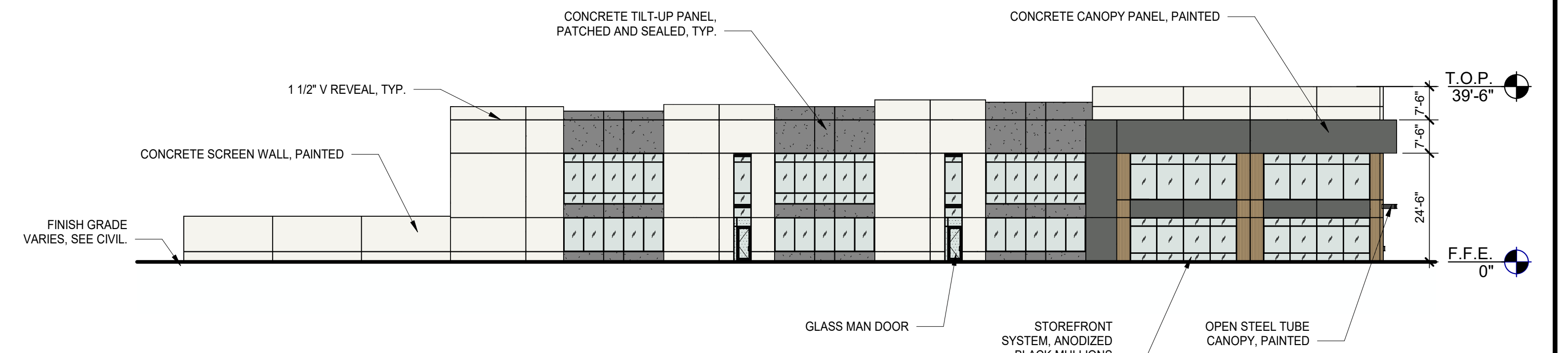
2



INDUSTRIAL B - NORTH EXTERIOR ELEVATION

SCALE: 3/64" = 1'-0"

4



INDUSTRIAL B - SOUTH EXTERIOR ELEVATION

SCALE: 3/64" = 1'-0"

3

LEGEND

COLORS:

	BASE COLOR: PURE WHITE SW 7005
	SECONDARY COLOR: SEALED CONCRETE FINISH
	ACCENT COLOR: GRIZZLE GREY SW 7068
	CORRUGATED FORMLINER ACCENT COLOR: WOVEN WICKER SW 9104

GLASS:

GREY TINT

	VISION GLASS
	SPANDREL GLASS
	TEMPERED GLASS

ABBREVIATIONS:

T.O.P.	- TOP OF PANEL
F.F.E.	- FINISH FLOOR ELEVATION

REVISION DATE: -

ISSUE DATE: 03/14/2025

SHEET 6 OF 24

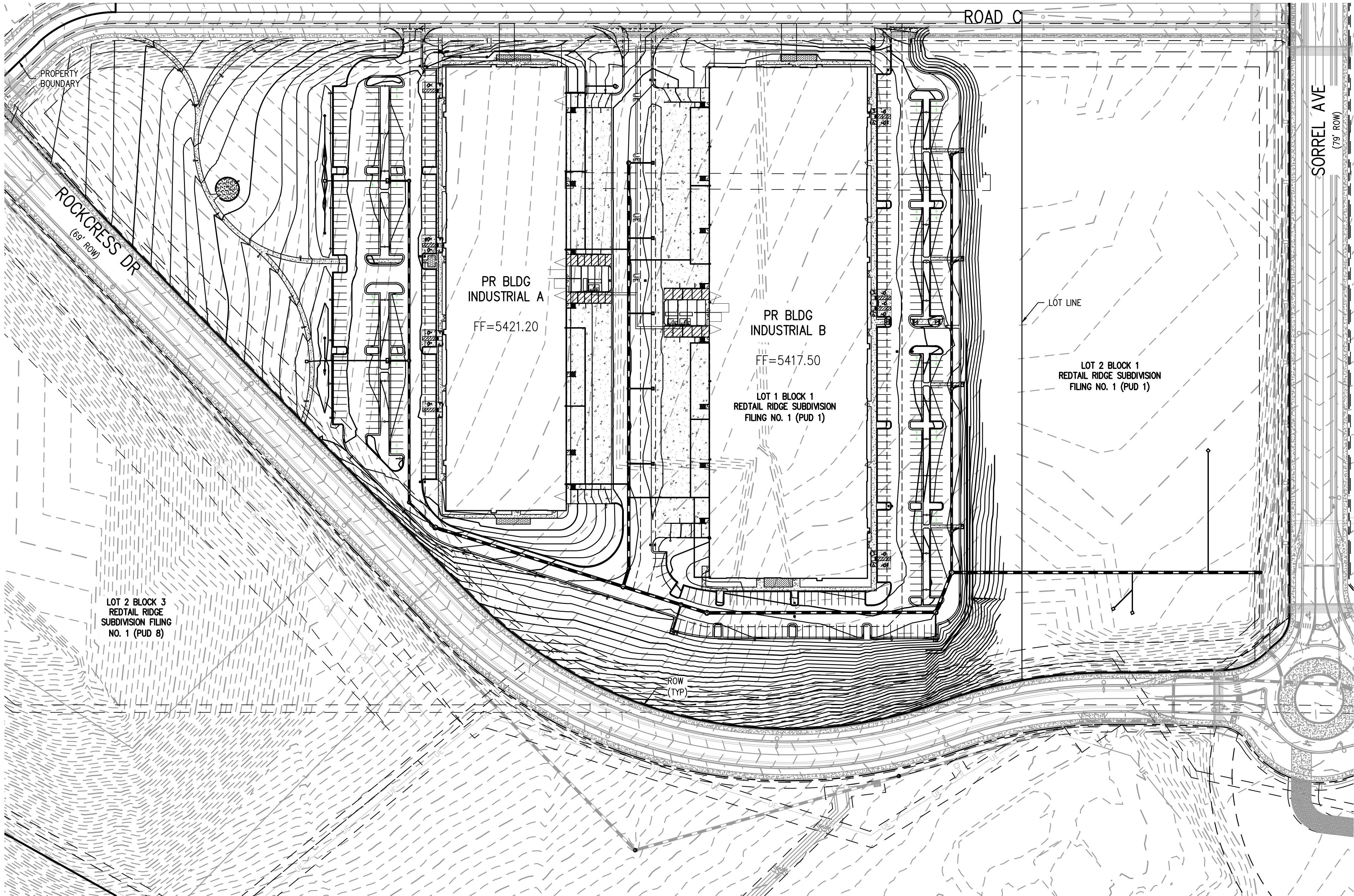
ARCHITECTURAL ELEVATIONS

REDTAIL RIDGE PUD1 SOUTH

PROJECT # DEV22-0097-01

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

REDTAIL RIDGE FILING NO. 1
PLANNED UNIT DEVELOPMENT
LOT 1 BLOCK 1

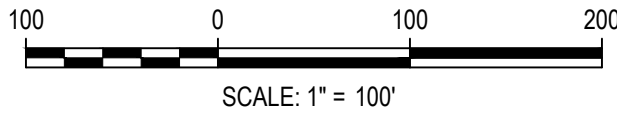
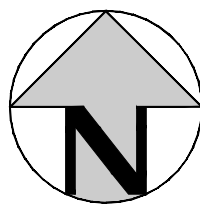


LEGEND:

PROPERTY BOUNDARY	---
RIGHT-OF-WAY	---
EXISTING STM SEWER W/MH AND INLET	ST
EXISTING SANITARY SEWER W/MH	SS
EXISTING WATER LINE W/ VALVE	W
EXISTING GAS LINE	G
EXISTING UNDERGROUND ELECTRIC	UE
EXISTING JOINT TRENCH	JT
EXISTING STREET LIGHT	SL
EXISTING TELEPHONE POLE	TP
EXISTING FIRE HYDRANT	FH
PROPOSED SANITARY SEWER W/MH	SS
PROPOSED SANITARY SERVICE W/CLEAN INLET	SS
PROPOSED STORM SEWER W/ MH AND INLET	ST
PROPOSED LANDSCAPE DRAIN W/ INLET	LD
PROPOSED FIRE HYDRANT	FH
PROPOSED 8" WATER MAIN W/ BENDS, VALVE, AND TEE	8"
PROPOSED WATER SERVICE W/METER	WS
PROPOSED FIRE SERVICE	FS
PROPOSED STREET LIGHT	SL
PROPOSED PEDESTRIAN LIGHT	PL
PROPOSED BUILDING ENTRANCE	BE
PROPOSED TRANSFORMER AND GENERATOR	TR
ABANDON EXISTING UTILITY LINE	---
PROPOSED CONCRETE	---
PROPOSED CONCRETE PAVERS	---
PROPOSED PORCELAIN PAVERS	---
PROPOSED CRUSHER FINES	---

ABBREVIATIONS

BLDG	BUILDING
C&G	CURB & GUTTER
CONC	CONCRETE
DS	DOWNSPOUT
DUE	DRY UTILITY EASEMENT
ELEC	ELECTRIC
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
GV	GATE VALVE
HT	HEIGHT
MH	MANHOLE
N	NORTH, NOTHING
PED	PEDESTRIAN
PL	PROPERTY LINE
PR	PROPOSED
ROW	RIGHT-OF-WAY
SME	SURFACE MAINTENANCE EASEMENT
SS	SANITARY SEWER
STM	STORM
TYP	TYPICAL
UG	UNDERGROUND
WAT	WATER



REVISION DATE:

ISSUE DATE: 03-14-2025

SHEET 7 OF 24

OVERALL GRADING PLAN
REDTAIL RIDGE PUD1 SOUTH

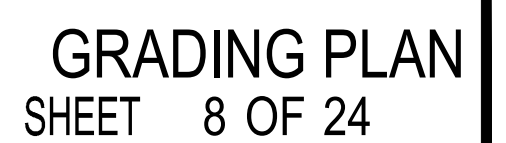
Project: P:\2025\2025\ENGINEERING\GRADING\South\REDTAIL RIDGE PUD1 SOUTH\Overall Grading Plan.dwg
Revision: 1
Author: J. Smith
Date: 03-14-2025
Description: Overall Grading Plan for Redtail Ridge PUD1 South, Lot 1 Block 1. The plan shows the proposed buildings, parking areas, and surrounding infrastructure. It includes a legend for symbols used throughout the drawing.

PROJECT #: 221238

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



PROPERTY BOUNDARY
RIGHT-OF-WAY
EXISTING STM SEWER W/MH AND INLET
EXISTING SANITARY SEWER W/MH
EXISTING WATER LINE W/ VALVE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC
EXISTING JOINT TRENCH
EXISTING STREET LIGHT
EXISTING TELEPHONE POLE
EXISTING FIRE HYDRANT
PROPOSED SANITARY SEWER W/MH
PROPOSED SANITARY SERVICE W/CLEAN OUT
PROPOSED STORM SEWER W/ MH AND INLET
PROPOSED LANDSCAPE DRAIN W/ INLET
PROPOSED FIRE HYDRANT
PROPOSED 8" WATER MAIN W/ BENDS, VALVE, A
PROPOSED WATER SERVICE W/METER
PROPOSED FIRE SERVICE
PROPOSED STREET LIGHT
PROPOSED PEDESTRIAN LIGHT
PROPOSED BUILDING ENTRANCE
PROPOSED TRANSFORMER AND GENERATOR
ABANDON EXISTING UTILITY LINE
PROPOSED CONCRETE
PROPOSED CONCRETE PAVERS
PROPOSED PORCELAIN PAVERS
PROPOSED CRUSHER FINES



PROJECT #: 221236

MATCH LINE - SEE SHEET 9

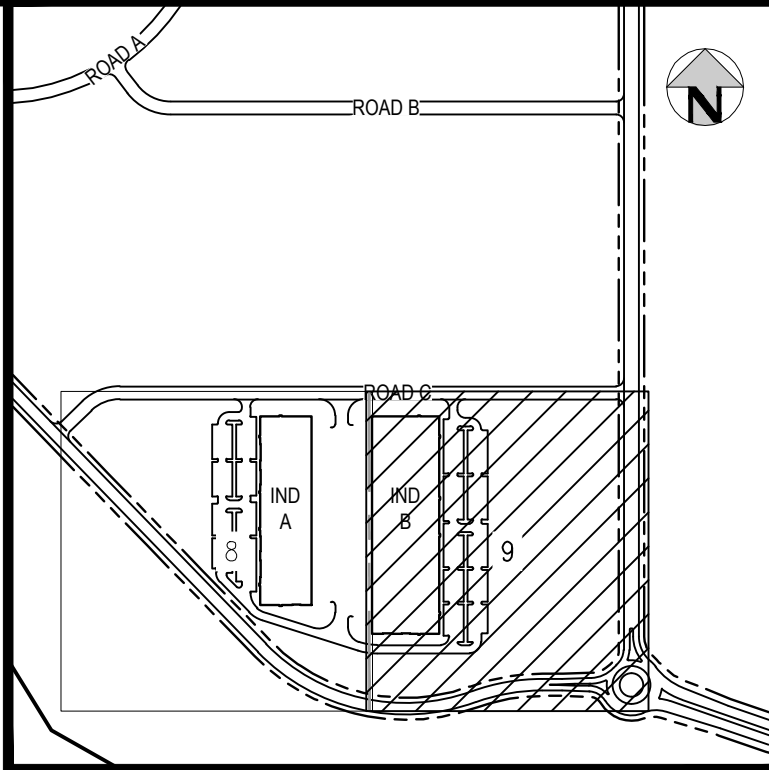
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Project: P:20220223BENGINEERINGGRADING SOUTH PUD - GRADING PLAN SOUTH DING Layout: LAYOUT 1 (4)
Drawing: GR: 03-14-2025 12:48 PM
Author: JH
Checker: JH
Title: GRADING PLAN SOUTH PUD - GRADING PLAN SOUTH DING

REDTAIL RIDGE FILING NO. 1

PLANNED UNIT DEVELOPMENT

LOT 1 BLOCK 1



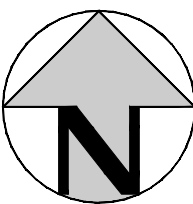
KEY MAP
SCALE: 1" = 600'

LEGEND:

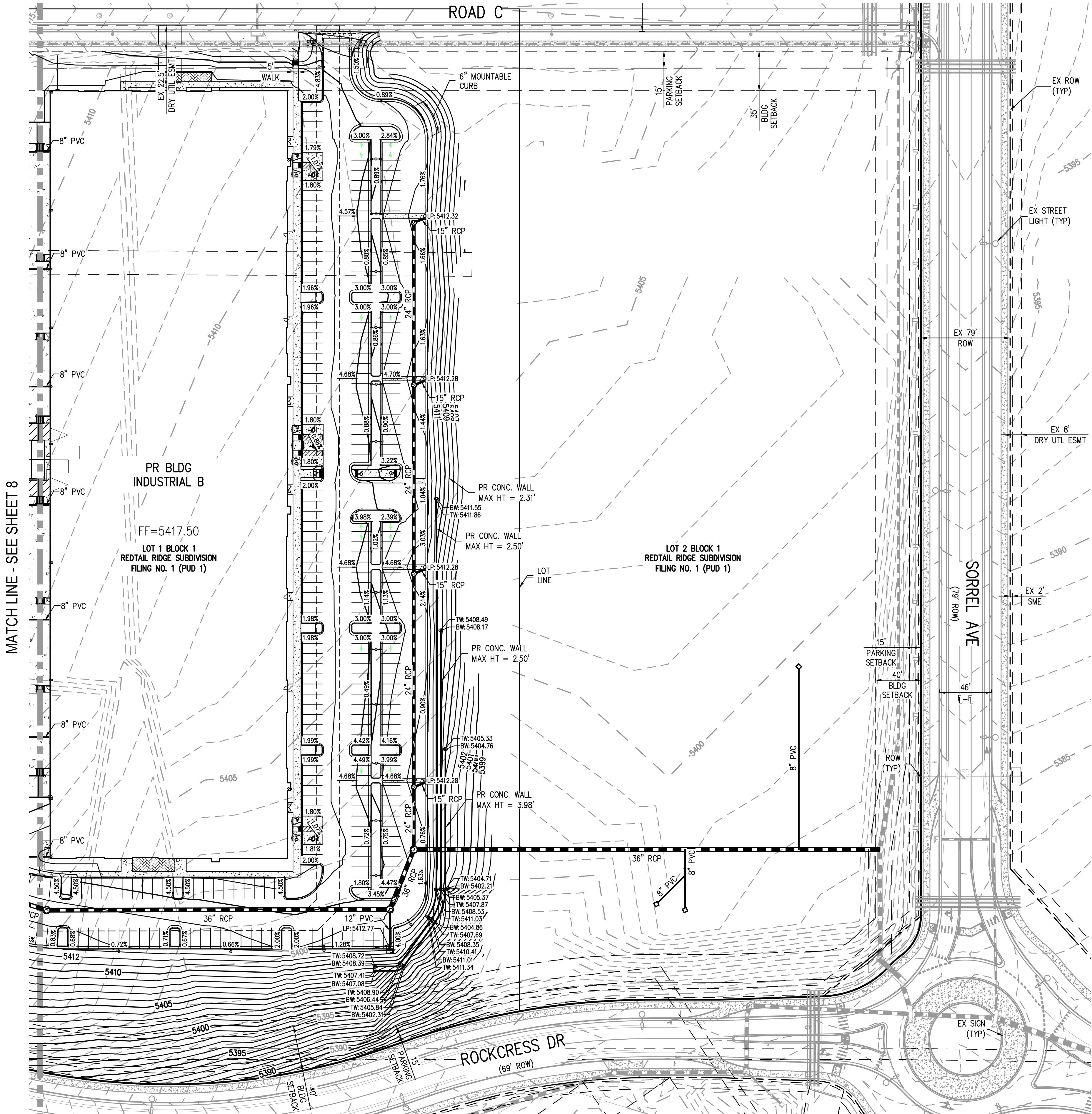
- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- EXISTING STM SEWER W/MH AND INLET
- EXISTING SANITARY SEWER W/MH
- EXISTING WATER LINE W/ VALVE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING JOINT TRENCH
- EXISTING STREET LIGHT
- EXISTING TELEPHONE POLE
- EXISTING FIRE HYDRANT
- PROPOSED SANITARY SEWER W/MH
- PROPOSED SANITARY SERVICE W/CLEAN OUT
- PROPOSED STORM SEWER W/ MH AND INLET
- PROPOSED LANDSCAPE DRAIN W/ INLET
- PROPOSED FIRE HYDRANT
- PROPOSED 8" WATER MAIN W/ BENDS, VALVE, AND TEE
- PROPOSED WATER SERVICE W/METER
- PROPOSED FIRE SERVICE
- PROPOSED STREET LIGHT
- PROPOSED PEDESTRIAN LIGHT
- PROPOSED BUILDING ENTRANCE
- PROPOSED TRANSFORMER AND GENERATOR
- ABANDON EXISTING UTILITY LINE
- PROPOSED CONCRETE
- PROPOSED CONCRETE PAVERS
- PROPOSED PORCELAIN PAVERS
- PROPOSED CRUSHER FINES

ABBREVIATIONS

BLDG	BUILDING
C&G	CURB & GUTTER
CONC	CONCRETE
DS	DOWNSPOUT
DUE	DRY UTILITY EASEMENT
ELEC	ELECTRIC
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
GV	GATE VALVE
HT	HEIGHT
MH	MANHOLE
N	NORTH, NORTHING
PED	PEDESTRIAN
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ROW	RIGHT-OF-WAY
SME	SURFACE MAINTENANCE EASEMENT
SS	SANITARY SEWER
STM	STORM
TYP	TYPICAL
UG	UNDERGROUND
WAT	WATER



0 50 100
SCALE: 1" = 50'



MATCH LINE - SEE SHEET 8

REVISION DATE:

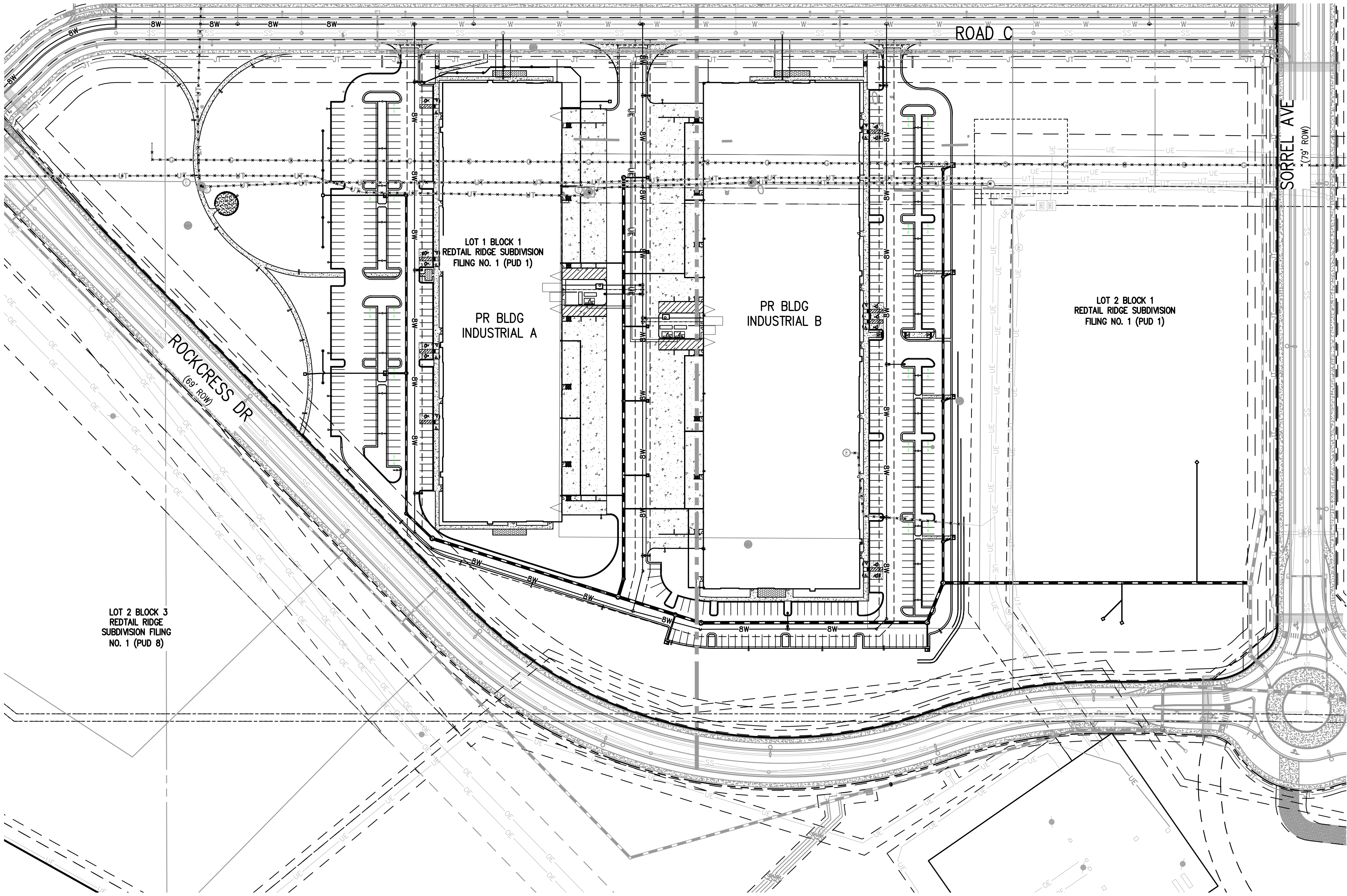
ISSUE DATE: 03-14-2025

GRADING PLAN
SHEET 9 OF 24

REDTAIL RIDGE PUD1 SOUTH

PROJECT #: 221238

REDTAIL RIDGE FILING NO. 1
PLANNED UNIT DEVELOPMENT
LOT 1 BLOCK 1



INDUSTRIAL A FIRE FLOW DATA:

THE TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 2,125 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.
THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 2 FIRE HYDRANTS.
EACH FIRE HYDRANT MUST SUPPLY A MINIMUM OF 2,125 GPM @ 20 PSI RESIDUAL PRESSURE AT THE HYDRANT OUTLET TO BE ACCEPTABLE.
CODE USED FOR ANALYSIS: 2018 IFC AND 2018 AMENDMENTS.
CONSTRUCTION TYPE: III-A
FIRE FLOW CALCULATION AREA: 83,200 SF
THIS BUILDING IS FULLY SPRINKLERED

INDUSTRIAL B FIRE FLOW DATA:

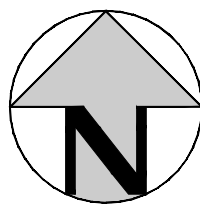
THE TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 2,875 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.
THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 3 FIRE HYDRANTS.
EACH FIRE HYDRANT MUST SUPPLY A MINIMUM OF 2,875 GPM @ 20 PSI RESIDUAL PRESSURE AT THE HYDRANT OUTLET TO BE ACCEPTABLE.
CODE USED FOR ANALYSIS: 2018 IFC AND 2018 AMENDMENTS.
CONSTRUCTION TYPE: III-A
FIRE FLOW CALCULATION AREA: 154,350 SF
THIS BUILDING IS FULLY SPRINKLERED

LEGEND:

- PROPERTY BOUNDARY
RIGHT-OF-WAY
EXISTING STM SEWER W/MH AND INLET
EXISTING SANITARY SEWER W/MH
EXISTING WATER LINE W/ VALVE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC
EXISTING JOINT TRENCH
EXISTING STREET LIGHT
EXISTING TELEPHONE POLE
EXISTING FIRE HYDRANT
PROPOSED SANITARY SEWER W/MH
PROPOSED SANITARY SERVICE W/CLEAN OUT
PROPOSED STORM SEWER W/ MH AND INLET
PROPOSED LANDSCAPE DRAIN W/ INLET
PROPOSED FIRE HYDRANT
PROPOSED 8" WATER MAIN W/ BENDS, VALVE, AND TEE
PROPOSED WATER SERVICE W/METER
PROPOSED FIRE SERVICE
PROPOSED STREET LIGHT
PROPOSED PEDESTRIAN LIGHT
PROPOSED BUILDING ENTRANCE
PROPOSED TRANSFORMER AND GENERATOR
ABANDON EXISTING UTILITY LINE
PROPOSED CONCRETE
PROPOSED CONCRETE PAVERS
PROPOSED PORCELAIN PAVERS
PROPOSED CRUSHER FINES

ABBREVIATIONS

BLDG	BUILDING
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ESMT	EASEMENT
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GV	GATE VALVE
HT	HEIGHT
MH	MANHOLE
N	NORTH, NORTHING
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ROW	RIGHT-OF-WAY
SME	SURFACE MAINTENANCE EASEMENT
SS	SANITARY SEWER
STM	STORM
TYP	TYPICAL
UG	UNDERGROUND
WAT	WATER



100 0 100 200
SCALE: 1" = 100'

REVISION DATE:

ISSUE DATE: 03-14-2025

SHEET 10 OF 24

OVERALL UTILITY PLAN
REDTAIL RIDGE PUD1 SOUTH

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Project: P-20220228ENGINEERING\UTILITIES\SSOUTH\PU1D - UTILITY PLANS\SSOUTH.DWG Layout: UTILITY PLAN
Revision: 01/10/2025 12:27 PM By: Chawn Van Lommen
Plotted: 01/10/2025 12:27 PM By: Chawn Van Lommen

PROJECT #: 221238

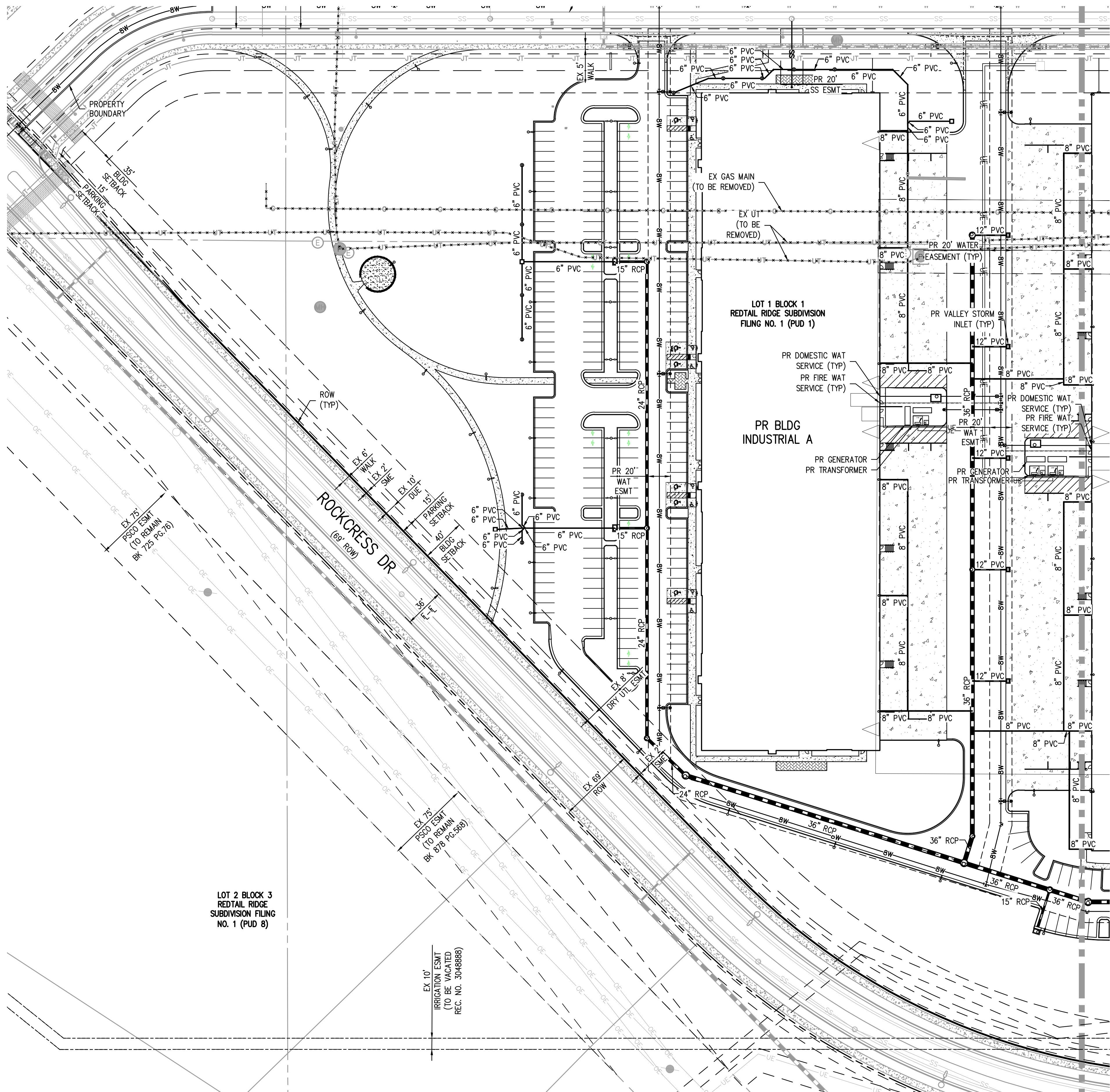
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Project: P-20220223RENGRNGUTLITESSOUTH.PUD - UTILITY PLANSOUTH.DWG Layout: LAYOUT1 (3)
Planner: P-10/10/2023 12:30 PM By: Cheri Van Lier
Planner: P-10/10/2023 12:30 PM By: Cheri Van Lier

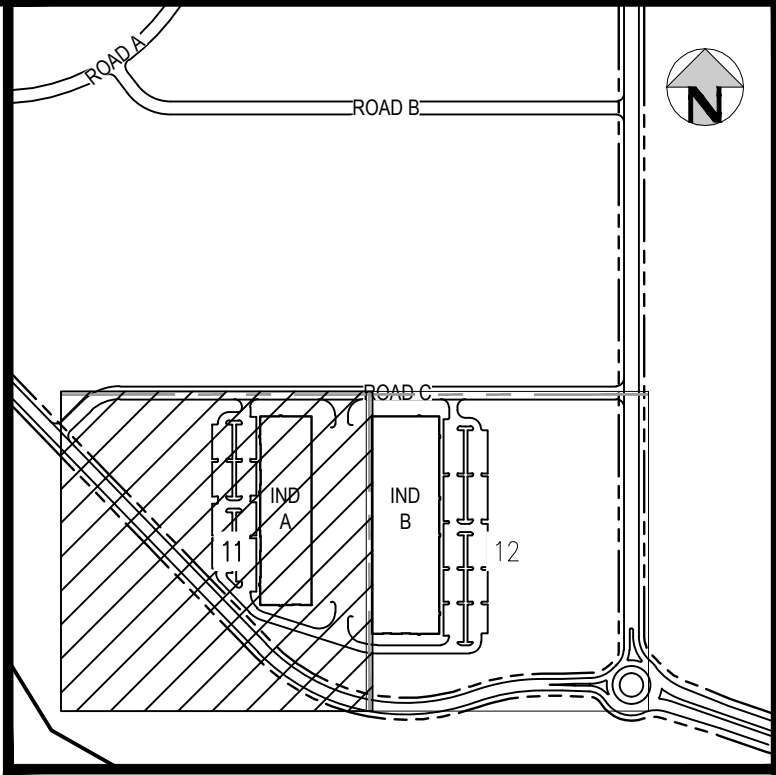
REDTAIL RIDGE FILING NO. 1

PLANNED UNIT DEVELOPMENT

LOT 1 BLOCK 1



MATCH LINE - SEE SHEET 12



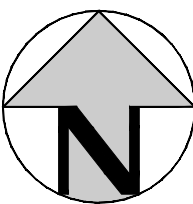
KEY MAP
SCALE: 1" = 600'

LEGEND:

- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- EXISTING STM SEWER W/MH AND INLET
- EXISTING SANITARY SEWER W/MH
- EXISTING WATER LINE W/ VALVE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING JOINT TRENCH
- EXISTING STREET LIGHT
- EXISTING TELEPHONE POLE
- EXISTING FIRE HYDRANT
- PROPOSED SANITARY SEWER W/MH
- PROPOSED SANITARY SERVICE W/CLEAN OUT
- PROPOSED STORM SEWER W/ MH AND INLET
- PROPOSED LANDSCAPE DRAIN W/ INLET
- PROPOSED FIRE HYDRANT
- PROPOSED 8" WATER MAIN W/ BENDS, VALVE, AND TEE
- PROPOSED WATER SERVICE W/METER
- PROPOSED FIRE SERVICE
- PROPOSED STREET LIGHT
- PROPOSED PEDESTRIAN LIGHT
- PROPOSED BUILDING ENTRANCE
- PROPOSED TRANSFORMER AND GENERATOR
- ABANDON EXISTING UTILITY LINE
- PROPOSED CONCRETE
- PROPOSED CONCRETE PAVERS
- PROPOSED PORCELAIN PAVERS
- PROPOSED CRUSHER FINES

ABBREVIATIONS

BLDG	BUILDING
C&G	CURB & GUTTER
CONC	CONCRETE
DS	DOWNSPOUT
DUE	DRY UTILITY EASEMENT
ELEC	ELECTRIC
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
GV	GATE VALVE
HT	HEIGHT
MH	MANHOLE
N	NORTH, NORTHING
PED	PEDESTRIAN
PL	PROPERTY LINE
PR	PROPOSED
ROW	RIGHT-OF-WAY
SME	SURFACE MAINTENANCE EASEMENT
SS	SANITARY SEWER
STM	STORM
TYP	TYPICAL
UG	UNDERGROUND
WAT	WATER



0 50 100
SCALE: 1" = 50'

REVISION DATE:

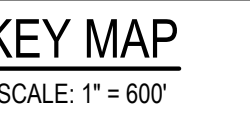
ISSUE DATE: 03-14-2025

UTILITY PLAN
SHEET 11 OF 24

REDTAIL RIDGE PUD1 SOUTH

PROJECT #: 221238

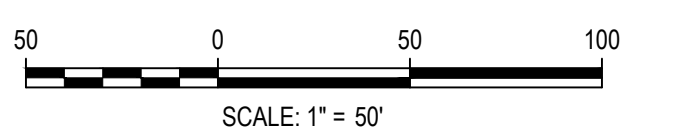
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PROPERTY BOUNDARY
RIGHT-OF-WAY
EXISTING STM SEWER W/MH AND INLET
EXISTING SANITARY SEWER W/MH
EXISTING WATER LINE W/ VALVE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC
EXISTING JOINT TRENCH
EXISTING STREET LIGHT
EXISTING TELEPHONE POLE
EXISTING FIRE HYDRANT
PROPOSED SANITARY SEWER W/MH
PROPOSED SANITARY SERVICE W/CLEAN OUT
PROPOSED STORM SEWER W/ MH AND INLET
PROPOSED LANDSCAPE DRAIN W/ INLET
PROPOSED FIRE HYDRANT
PROPOSED 8" WATER MAIN W/ BENDS, VALVE, A
PROPOSED WATER SERVICE W/METER
PROPOSED FIRE SERVICE
PROPOSED STREET LIGHT
PROPOSED PEDESTRIAN LIGHT
PROPOSED BUILDING ENTRANCE
PROPOSED TRANSFORMER AND GENERATOR
ABANDON EXISTING UTILITY LINE
PROPOSED CONCRETE
PROPOSED CONCRETE PAVERS
PROPOSED PORCELAIN PAVERS
PROPOSED CRUSHER FINES

[illegible]

ABBREVIATIONS	
BLDG	BUILDING
C&G	CURB & GUTTER
CONC	CONCRETE
DS	DOWNSPOUT
DUE	DRY UTILITY EASEMENT
ELEC	ELECTRIC
ESMT	EASEMENT
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
GV	GATE VALVE
HT	HEIGHT
MH	MANHOLE
N	NORTH, NORTHING
PED	PEDESTRIAN
PL	PROPERTY LINE
PR	PROPOSED
ROW	RIGHT-OF-WAY
SME	SURFACE MAINTENANCE EASEMENT
SS	SANITARY SEWER
STM	STORM
TYP	TYPICAL
UG	UNDERGROUND
WAT.	WATER



PROJECT #: 221236

REDTAIL RIDGE PUD1 SOUTH

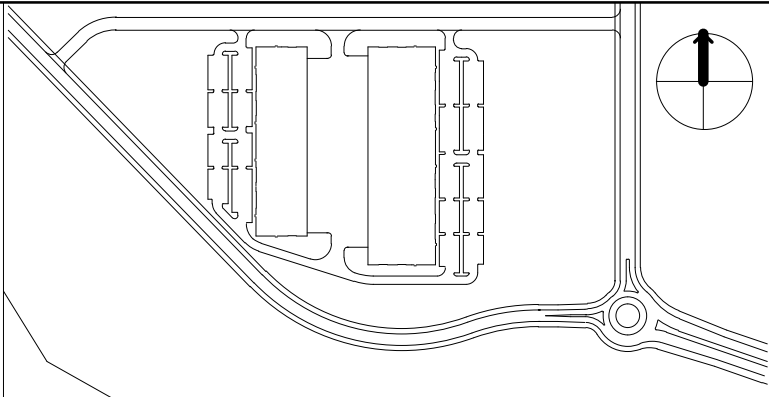
ISSUE DATE: 03-14-2025

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REDTAIL RIDGE FILING NO.1

PLANNED UNIT DEVELOPMENT, LOT 1 BLOCK 1 & LOT 2 BLOCK 1
SITUATED IN THE SOUTH HALF OF SECTION 20 AND THE NORTH HALF OF SECTION 29,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CASE #: PUPL-XXXX-2023

Sheet Index	
SHEET NUMBER	SHEET NAME
03-LANDSCAPE	
13 OF 24	OVERALL LANDSCAPE PLAN
14 OF 24	MATERIAL AND PLANTING PLAN - A
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18 OF 24	MATERIAL AND PLANTING PLAN - E
19 OF 24	MATERIAL AND PLANTING PLAN - F, G & H
20 OF 24	SITE FURNISHING DETAILS
21 OF 24	PLANTING DETAILS
22 OF 24	PLANTING SCHEDULE



KEY MAP
1" = 600'

ABBREVIATIONS LEGEND

ABBREVIATIONS WHEN USED IN COMPOSITION MAY INCLUDE PERIODS FOR CLARIFICATION

AFF	ABOVE FINISHED FLOOR	HP	HIGH POINT
ADJ	ADJACENT	HORIZ	HORIZONTAL
ADA	AMERICANS WITH DISABILITIES ACT	HB	HOSE BIB
APPROX	APPROXIMATE	INCL	INCLUDE(D), INCLUDING
ARCH	ARCHITECTURAL	ID	INSIDE DIAMETER
AD	AREA DRAIN	INT	INTERIOR
B/	BOTTOM OF	LTG	LIGHTING
CB	CATCH BASIN	LF	LINEAR FOOT, (LINEAR FEET)
CL	CENTERLINE	LP	LOW POINT
CC	CENTER TO CENTER	MAINT	MAINTENANCE*
CO	CLEANOUT	MH	MANHOLE
COL	COLUMN	MFR	MANUFACTURER
COMM	COMMUNICATION*	MATL	MATERIAL
CONC	CONCRETE	MAX	MAXIMUM
CMU	CONCRETE MASONRY UNIT	MECH	MECHANICAL
CONT	CONTINUOUS	MTL	METAL
CJ	CONTROL JOINT	MIN	MINIMUM
CU	CUBIC	MISC	MISCELLANEOUS
DEG	DEGREE	NOM	NOMINAL
DEMO	DEMOLISH, DEMOLITION	NIC	NOT IN CONTRACT
DEPT	DEPARTMENT DEPT*	NTS	NOT TO SCALE
DIAG	DIAGONAL	OC	ON CENTER
DIA	DIAMETER	OPP	OPPOSITE
DIM	DIMENSION	OD	OUTSIDE DIAMETER
DS	DOWNSPOUT	PERP	PERPENDICULAR
DF	DRINKING FOUNTAIN	PSI	POUNDS PER SQUARE INCH
EA	EACH	PRELIM	PRELIMINARY
ELEC	ELECTRIC(AL)	PROP	PROPERTY
EL/ELEV	ELEVATION	R	RADIUS
ENCL	ENCLOSURE	REF	REFERENCE
EQ	EQUAL	REIN	REINFORCE, REINFORCING
EQUIP	EQUIPMENT	REQ	REQUIRED
EXIST	EXISTING	REV	REVISION/REVISED
EJ	EXPANSION JOINT	ROW	RIGHT OF WAY
EXP	EXPOSED	RM	ROOM
EXT	EXTERIOR	SIM	SIMILAR
F/	FACE OF	SF	SQUARE FOOT (SQUARE FEET)
FT	FEET, FOOT	SST	STAINLESS STEEL
FIN	FINISHED)	STRUCT	STRUCTURE, STRUCTURAL
FDC	FIRE DEPARTMENT CONNECTION	SYS	SYSTEM
FH	FIRE HYDRANT	TEL	TELEPHONE
FTG	FOOTING	TEMP	TEMPORARY
FURN	FOUNDATION	T/	TOP OF
GA	GALVANIZED	TOPO	TOPOGRAPHY, TOPOGRAPHIC
GALV	GENERAL	TYP	TYPICAL
GEN	GLASS	UNO	UNLESS NOTED OTHERWISE
GL	HEATING, VENTILATION, AIR CONDITIONING	VER	VERIFY IN FIELD
HVAC		VERT	VERTICAL
		W/	WITH
		W/O	WITHOUT
		WP	WORKING POINT

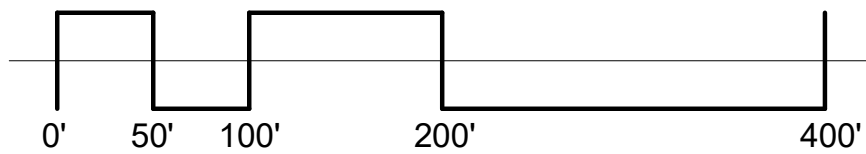
GENERAL NOTES

- NOTES APPEAR ON VARIOUS DRAWINGS FOR DIFFERENT SYSTEMS AND MATERIALS. REVIEW ALL SHEETS AND APPLY NOTES TO RELATED BUILDING COMPONENTS.
- REFER TO COMPLETE SET OF ISSUED CONTRACT DOCUMENTS FOR OTHER APPLICABLE NOTES, ABBREVIATIONS, AND SYMBOLS.
- WHERE MATERIALS ARE APPLIED TO, OR ARE IN DIRECT CONTACT WITH WORK INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION INTENDED.
- ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- DO NOT SCALE THE DRAWINGS.
- FIELD MEASURE AND CONFIRM DIMENSIONS FOR OWNER PROVIDED EQUIPMENT AND FURNISHINGS.
- EXCAVATION OF 4 FEET AND TESTING POF COMPACTED SOILS AT PEDESTRIAN PAVEMENTS
- BEFORE SPREADING PLANTING SOIL OVER THE SITE, PERFORM SOIL COMPACTION TESTING BY CHECKING SOIL COMPACTION USING A TENSIO METER (PENTOMETER) ON A 50 FOOT BY 50 FOOT GRID ON ALL GRADED SUBSOIL AREAS TO BE PLANTED GREATER THAN ONE ACRE OR A 30 FOOT BY 30 FOOT GRID FOR AREAS LESS THAN ONE ACRE. IF MORE THAN 10 PERCENT OF THE READINGS IN A GIVEN PLANTING AREA ARE GREATER THAN 300 PSI, THEN THE SITE SHALL UNDERGO SITE SUBGRADE MITIGATION MEASURES DESCRIBED BELOW. IMMEDIATELY PRIOR TO PLACING PLANTING SOIL, THE ENTIRE SUBGRADE SHALL BE LOOSENED TO A MINIMUM DEPTH OF 6-INCHES USING THE TEETH OF A BACKHOE OR OTHER SUITABLE EQUIPMENT, THEN RE-COMPACTED WITH THE TRACKS OF SMALL CONSTRUCTION EQUIPMENT, THE BUCKET OF A BACKHOE, OR OTHER APPROVED EQUIPMENT. VIBRATORY COMPACTION OF SUBGRADE IN PLANTED AREAS IS PROHIBITED. AFTER THE SUBGRADE SOILS HAVE BEEN LOOSENED, RE-COMPRESSED AND INSPECTED, PLANTING SOIL MAY BE SPREAD BY USING A WIDE TRACK BULLDOZER SIZE D-5 OR SMALLER OR MAY BE DUMPED AND SPREAD WITH THE BUCKET OF A BACKHOE FROM THE EDGE OF THE LOOSENED AREA. NO RUBBER-TIRED EQUIPMENT OR HEAVY EQUIPMENT EXCEPT FOR A SMALL BULLDOZER SHALL PASS OVER THE SUBSOILS (SUBGRADE) AFTER THEY HAVE BEEN LOOSENED AND RE-COMPRESSED

LANDSCAPE REQUIREMENTS

TOTAL LOT SIZE	945,775.48
TOTAL AREA COVERED BY BUILDING,OR VEHICULAR PAVEMENT AREA	555,801.49
TOTAL LANDSCAPE AREA (38%)	360,907.16
TOTAL PEDESTRIAN HARDSCAPE AREA	29,066.35

	REQUIRED	PROPOSED
TOTAL NUMBER OF PERIMETER TREES	77	77
TOTAL NUMBER OF PERIMETER SHRUBS	0	0
TOTAL NUMBER OF PARKING LOT TREES	57	111
TOTAL NUMBER OF PARKING LOT SHRUBS	264	736



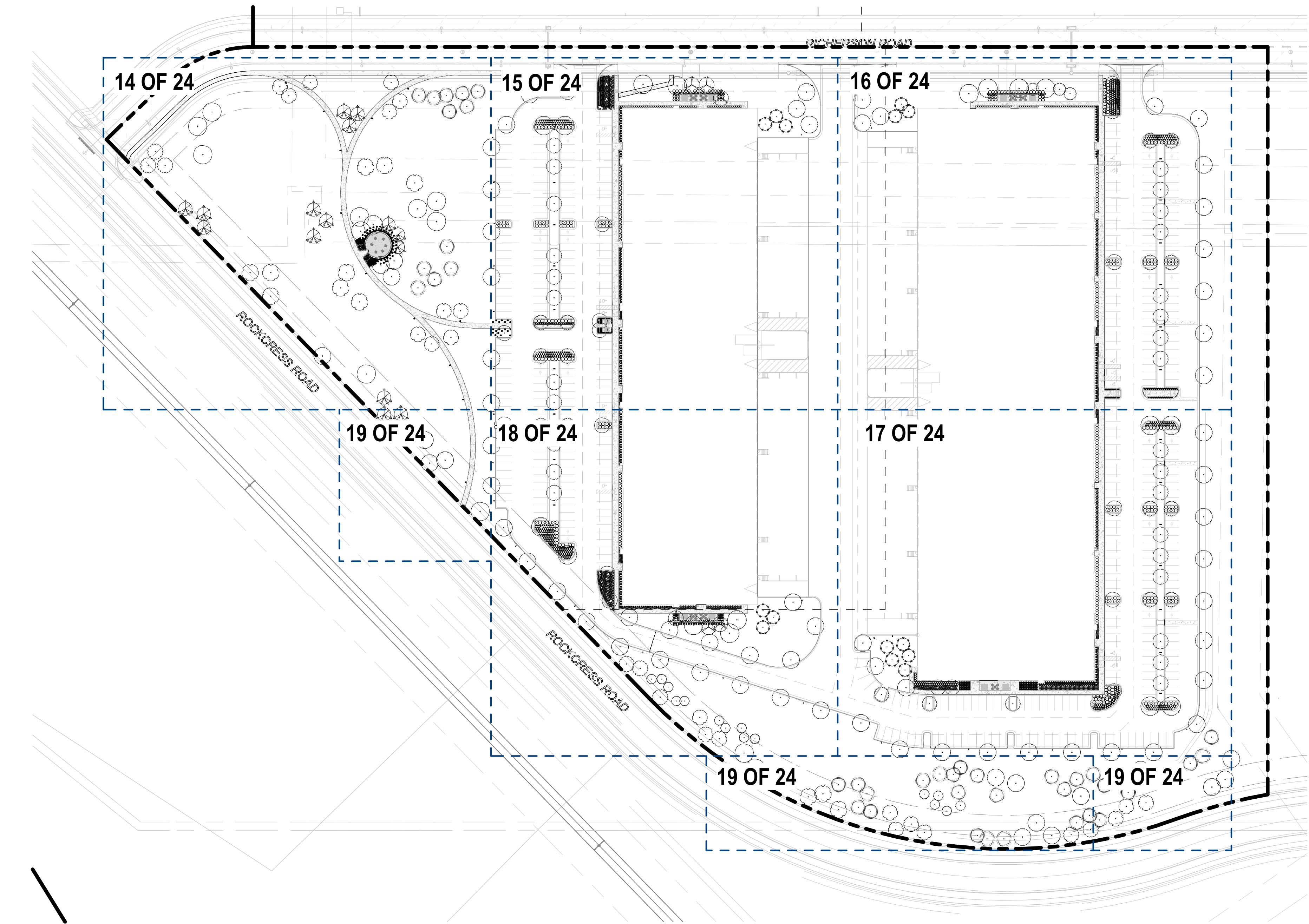
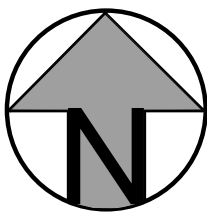
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SHEET 13 OF 24

REDTAIL RIDGE PUD1 SOUTH

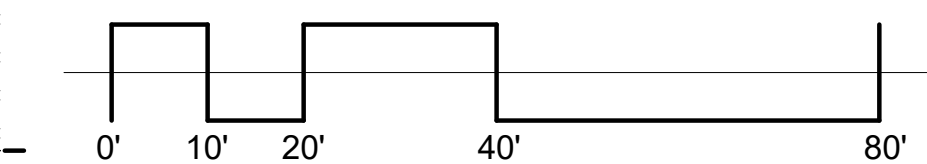
OVERALL
LANDSCAPE PLAN



1 OVERALL LANDSCAPE PLAN
1" = 80'-0"

PLANNED UNIT DEVELOPMENT, LOT 1 BLOCK 1 & LOT 2 BLOCK 1
SITUATED IN THE SOUTH HALF OF SECTION 20 AND THE NORTH HALF OF SECTION 29,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CASE #: PUP-L-XXXX-2023 1 / 9 OF 21

KEY MAP
1" = 600'



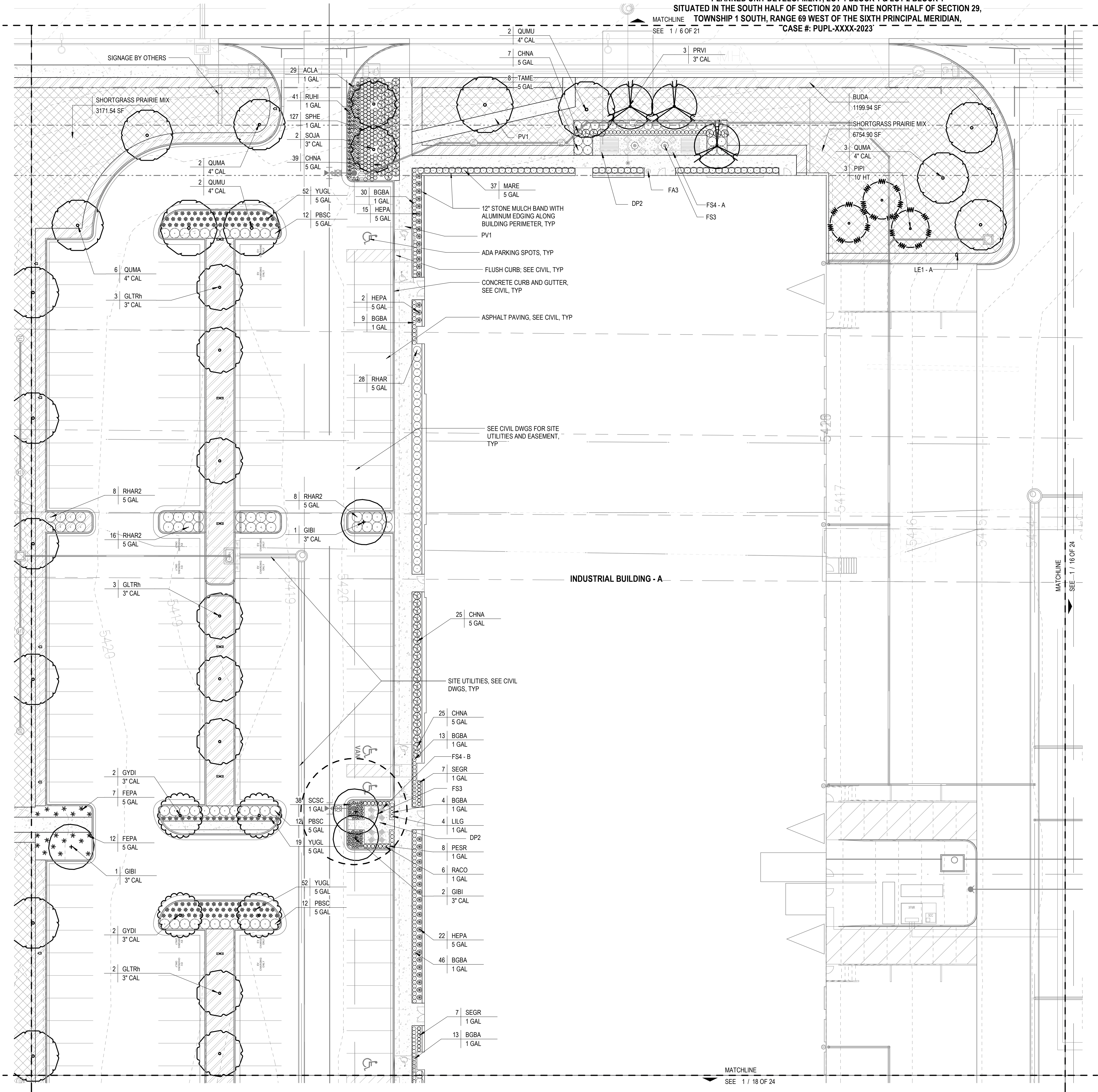
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PROJECT # 221236

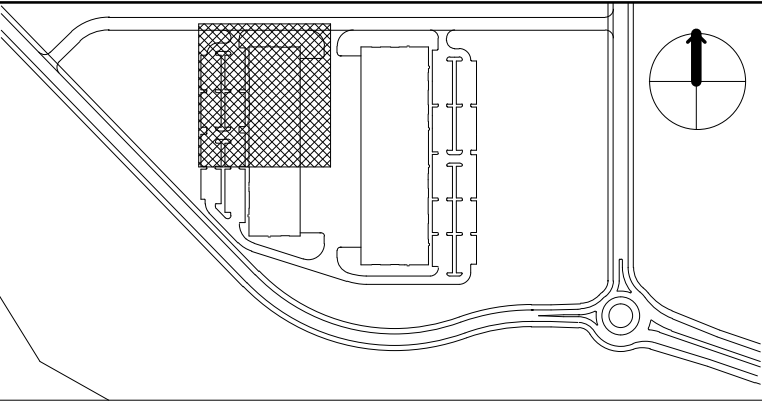
REDTAIL RIDGE PUD1 SOUTH

REDTAIL RIDGE FILING NO.1

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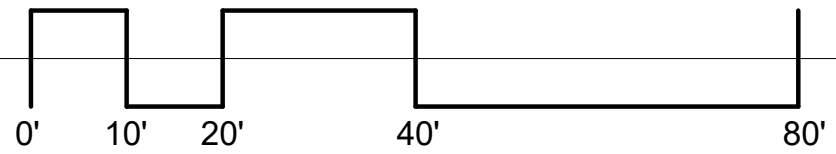
MATERIAL LEGEND		
LEGEND	TAG	MATERIAL
	DP2	CONCRETE PAVERS
	MM1	DECOMPOSED GRANITE
	PV1	PEDESTRIAN RATED CIP CONCRETE



KEY MAP
1" = 600'

SITE FURNITURE & LIGHTING LEGEND		
LEGEND	TAG	TYPE
	FA3	LITTER RECEPTACLE
	FS1 - A	BENCH
	FS2 - B	PICNIC TABLE SET 2
	FS3	DINING TABLE
	FS4 - A	LOUNGE CHAIR
	FS4 - B	DINING CHAIR
	LE1 - A	SINGLE SIDED VEHICULAR POLE LIGHT
	LE1 - B	DOUBLE SIDED VEHICULAR POLE LIGHT
	LE1 - C	PEDESTRIAN POLE LIGHT

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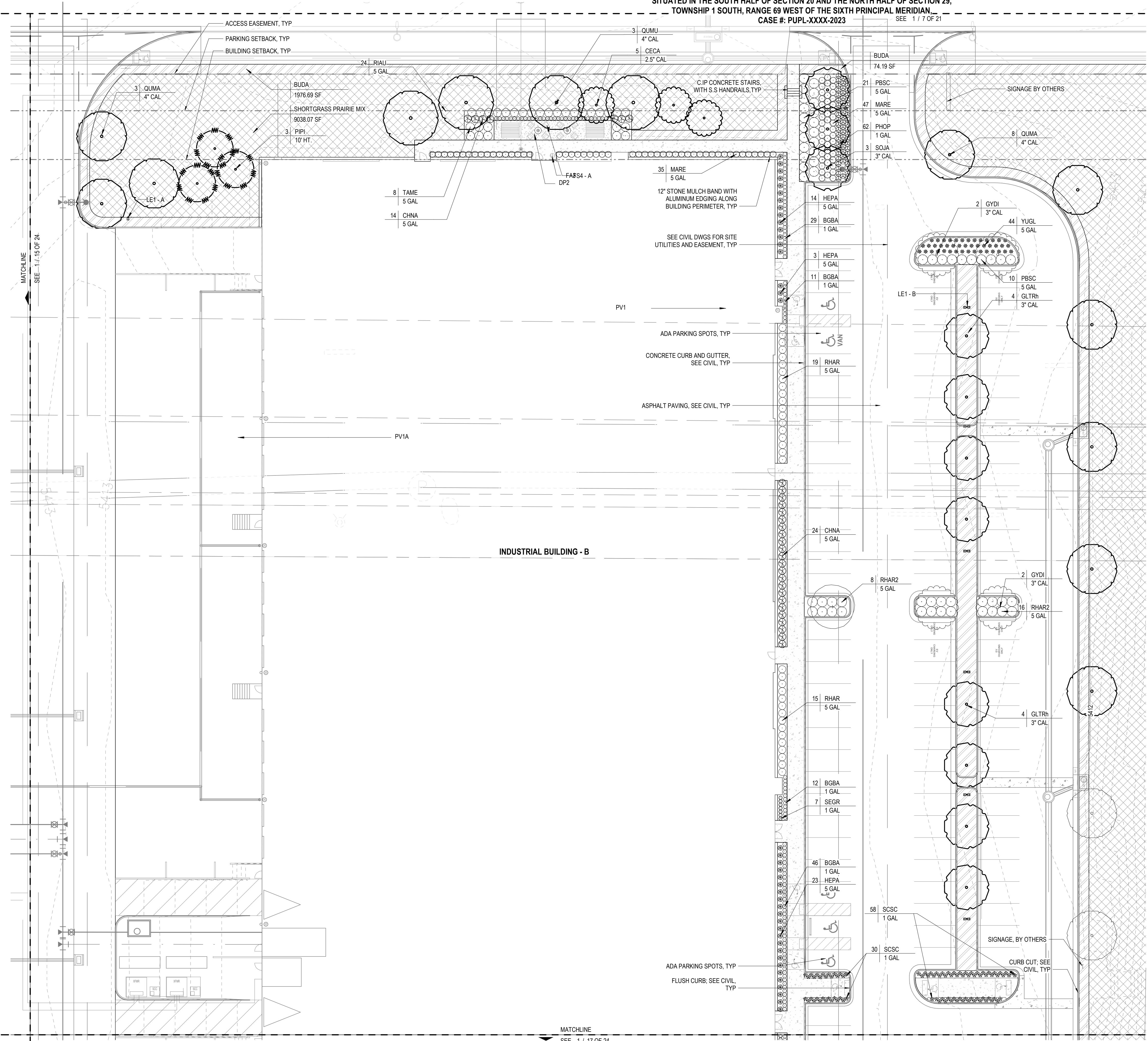
SHEET 15 OF 24



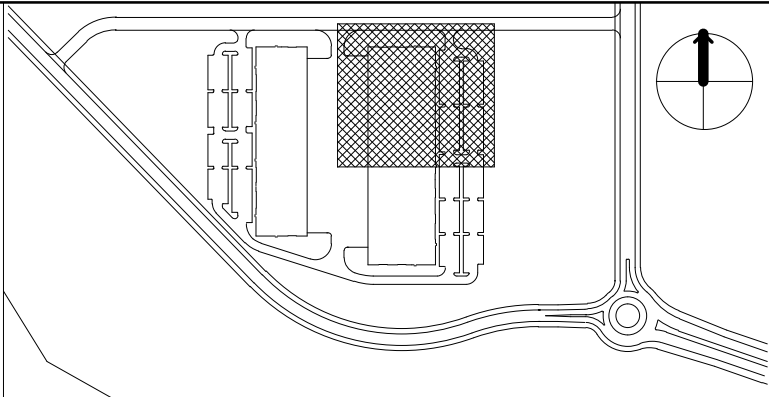
MATERIAL AND
PLANTING PLAN -
B

REDTAIL RIDGE FILING NO.1

PLANNED UNIT DEVELOPMENT, LOT 1 BLOCK 1 & LOT 2 BLOCK 1
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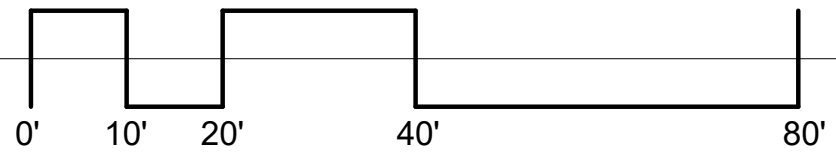


MATERIAL LEGEND		
LEGEND	TAG	MATERIAL
	DP2	CONCRETE PAVERS
	MM1	DECOMPOSED GRANITE
	PV1	PEDESTRIAN RATED CIP CONCRETE



KEY MAP
1" = 600'

SITE FURNITURE & LIGHTING LEGEND		
LEGEND	TAG	TYPE
	FA3	LITTER RECEPTACLE
	FS1 - A	BENCH
	FS2 - B	PICNIC TABLE SET 2
	FS3	DINING TABLE
	FS4 - A	LOUNGE CHAIR
	FS4 - B	DINING CHAIR
	LE1 - A	SINGLE SIDED VEHICULAR POLE LIGHT
	LE1 - B	DOUBLE SIDED VEHICULAR POLE LIGHT
	LE1 - C	PEDESTRIAN POLE LIGHT



REVISION DATE:

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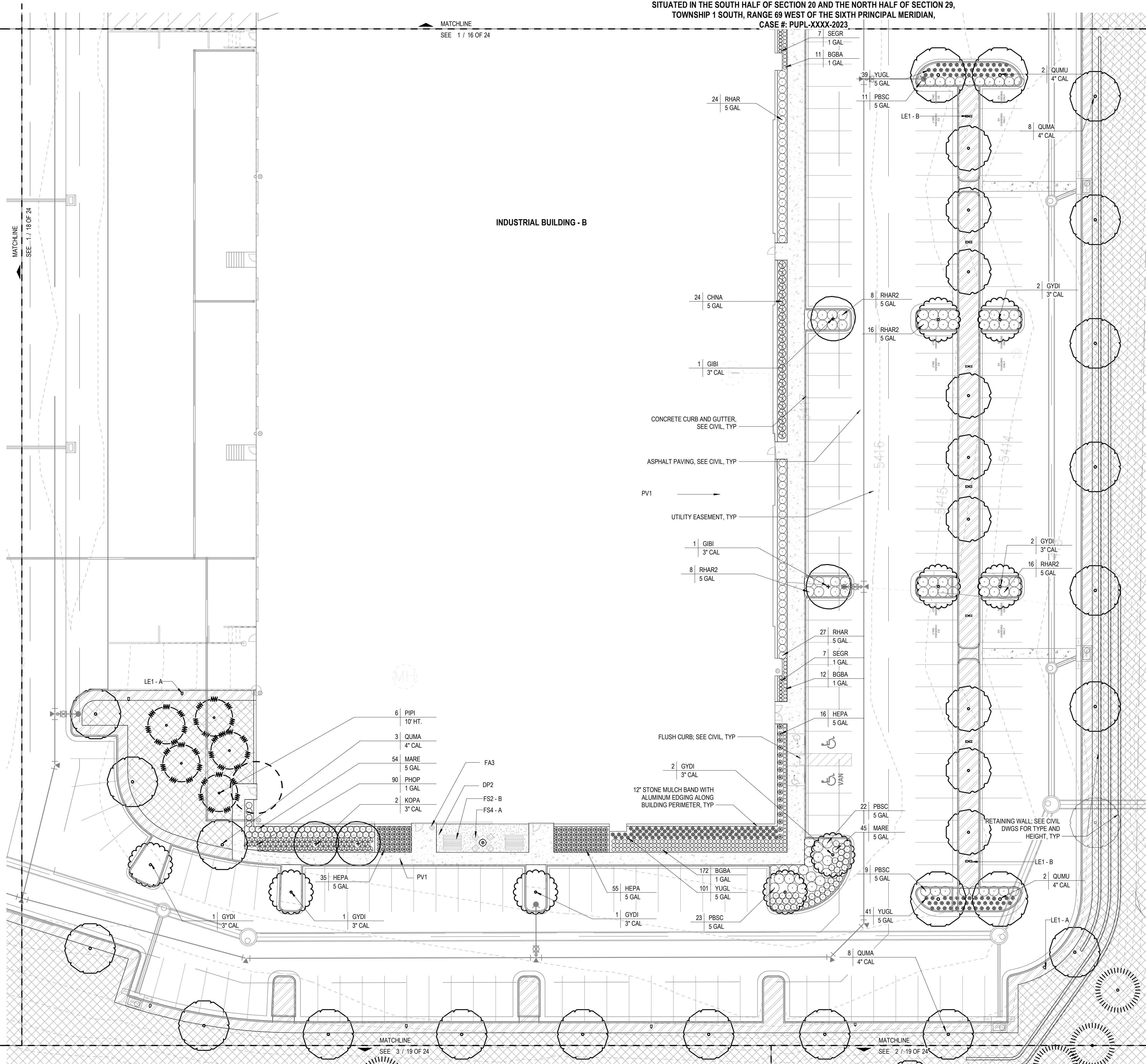
SHEET 16 OF 24

MATERIAL AND
PLANTING PLAN -
C

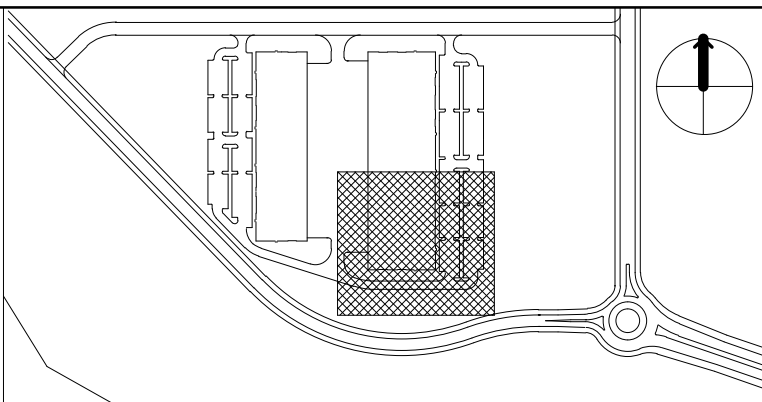
REDTAIL RIDGE PUD1 SOUTH

REDTAIL RIDGE FILING NO.1

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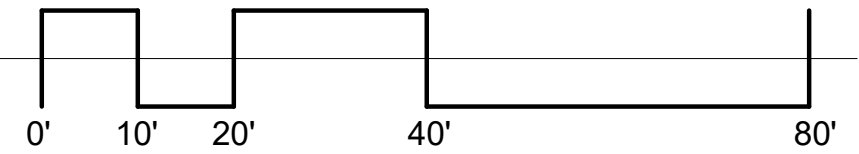


MATERIAL LEGEND		
LEGEND	TAG	MATERIAL
	DP2	CONCRETE PAVERS
	MM1	DECOMPOSED GRANITE
	PV1	PEDESTRIAN RATED CIP CONCRETE



KEY MAP
1" = 600'

SITE FURNITURE & LIGHTING LEGEND		
LEGEND	TAG	TYPE
	FA3	LITTER RECEPTACLE
	FS1 - A	BENCH
	FS2 - B	PICNIC TABLE SET 2
	FS3	DINING TABLE
	FS4 - A	LOUNGE CHAIR
	FS4 - B	DINING CHAIR
	LE1 - A	SINGLE SIDED VEHICULAR POLE LIGHT
	LE1 - B	DOUBLE SIDED VEHICULAR POLE LIGHT
	LE1 - C	PEDESTRIAN POLE LIGHT



REVISION DATE:

ISSUE DATE: 03/14/2025

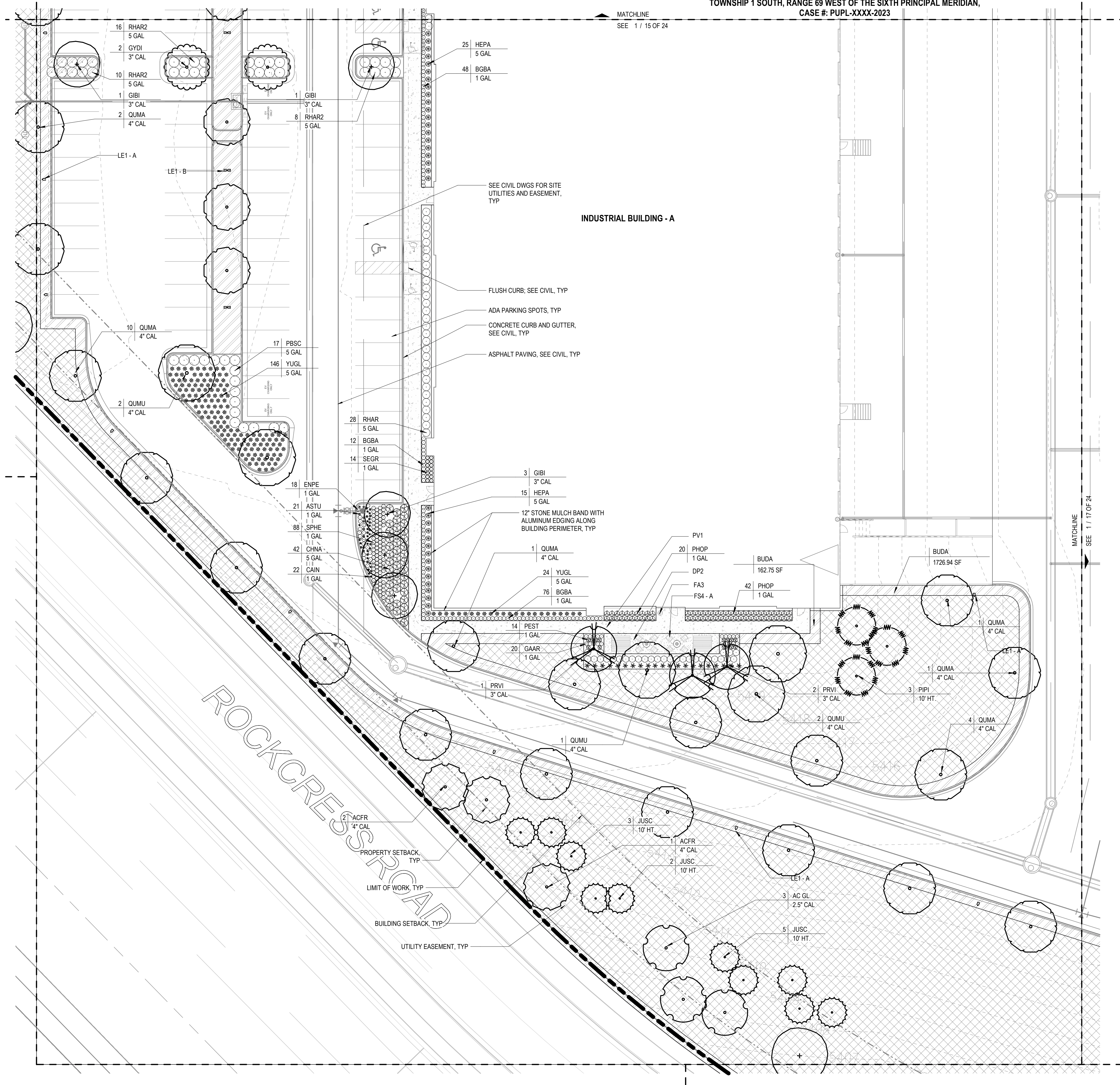
SHEET 17 OF 24

MATERIAL AND
PLANTING PLAN -
D

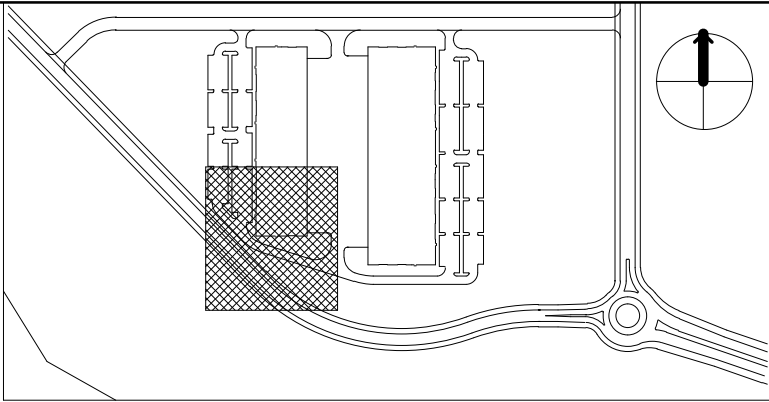
REDTAIL RIDGE PUD1 SOUTH

REDTAIL RIDGE FILING NO.1

PLANNED UNIT DEVELOPMENT, LOT 1 BLOCK 1 & LOT 2 BLOCK 1
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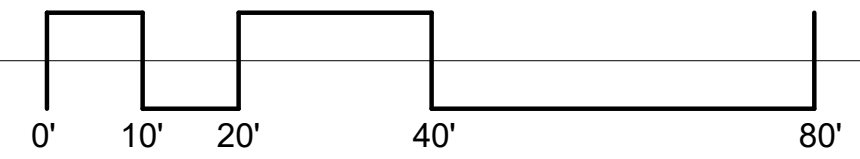


MATERIAL LEGEND		
LEGEND	TAG	MATERIAL
	DP2	CONCRETE PAVERS
	MM1	DECOMPOSED GRANITE
	PV1	PEDESTRIAN RATED CIP CONCRETE



KEY MAP
1" = 600'

SITE FURNITURE & LIGHTING LEGEND		
LEGEND	TAG	TYPE
	FA3	LITTER RECEPTACLE
	FS1 - A	BENCH
	FS2 - B	PICNIC TABLE SET 2
	FS3	DINING TABLE
	FS4 - A	LOUNGE CHAIR
	FS4 - B	DINING CHAIR
	LE1 - A	SINGLE SIDED VEHICULAR POLE LIGHT
	LE1 - B	DOUBLE SIDED VEHICULAR POLE LIGHT
	LE1 - C	PEDESTRIAN POLE LIGHT



REVISION DATE:

ISSUE DATE: 03/14/2025



MATERIAL AND
PLANTING PLAN - E

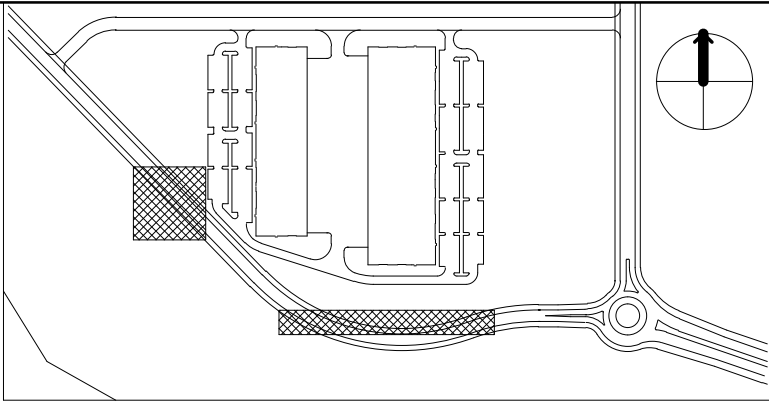
SHEET 18 OF 24

REDTAIL RIDGE PUD1 SOUTH

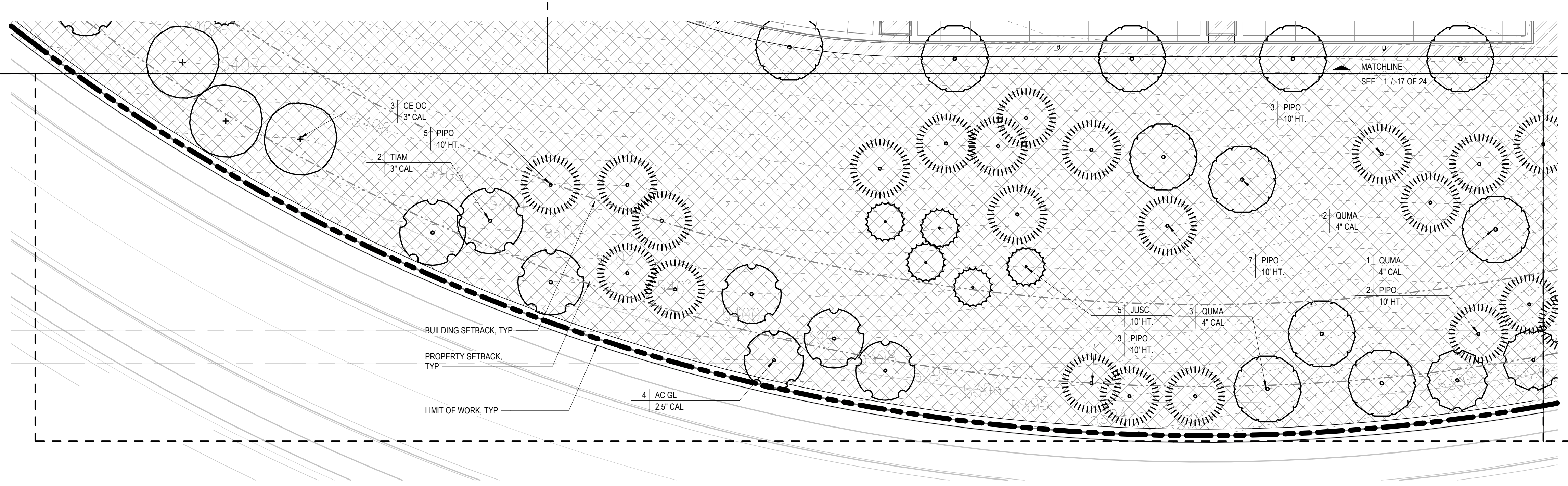
REDTAIL RIDGE FILING NO.1

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TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CASE #: PUPL-XXXX-2023

MATERIAL LEGEND		
LEGEND	TAG	MATERIAL
	DP2	CONCRETE PAVERS
	MM1	DECOMPOSED GRANITE
	PV1	PEDESTRIAN RATED CIP CONCRETE

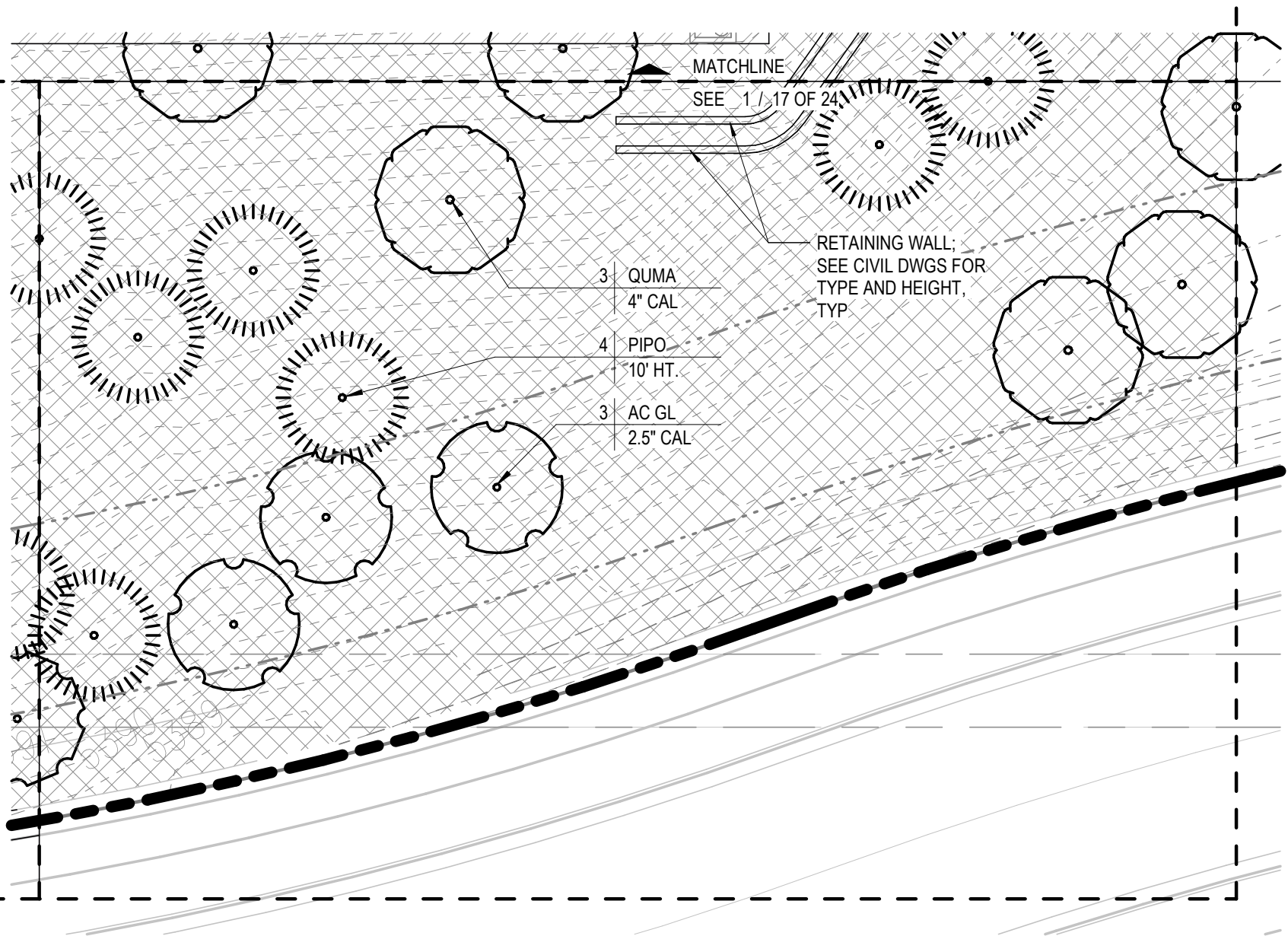


KEY MAP
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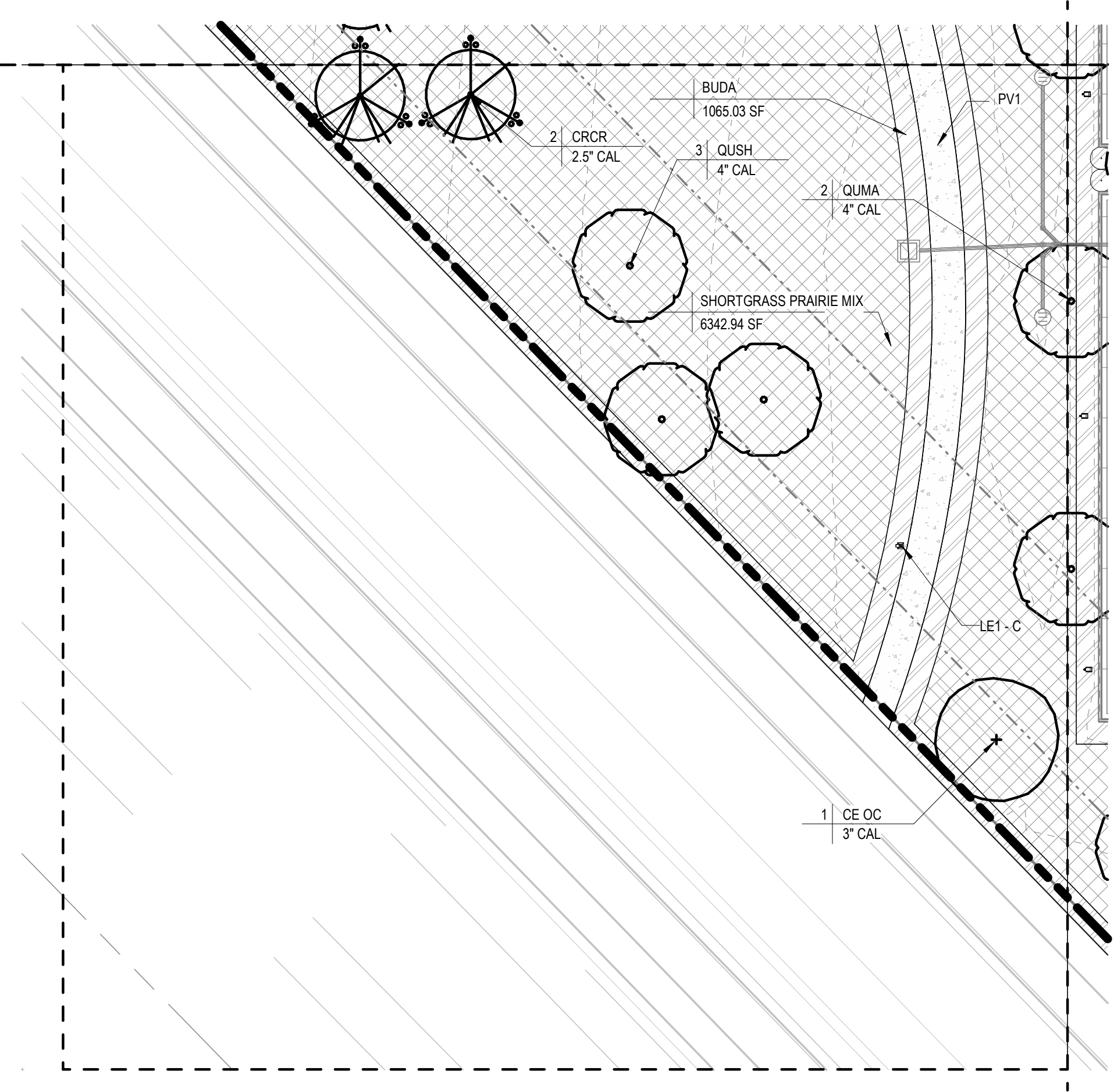


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	LE1 - C	PEDESTRIAN POLE LIGHT

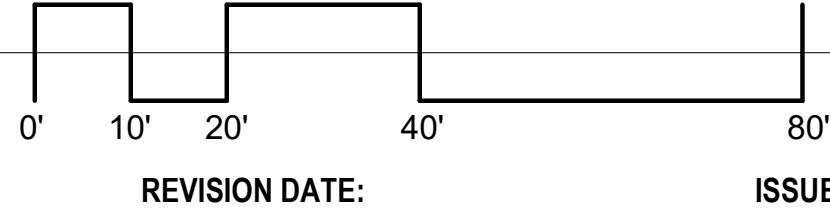
3 MATERIAL AND PLANTING PLAN - G
1" = 20'-0"



2 MATERIAL AND PLANTING PLAN - H
1" = 20'-0"



1 MATERIAL AND PLANTING PLAN - F
1" = 20'-0"



REVISION DATE:

ISSUE DATE: 03/14/2025

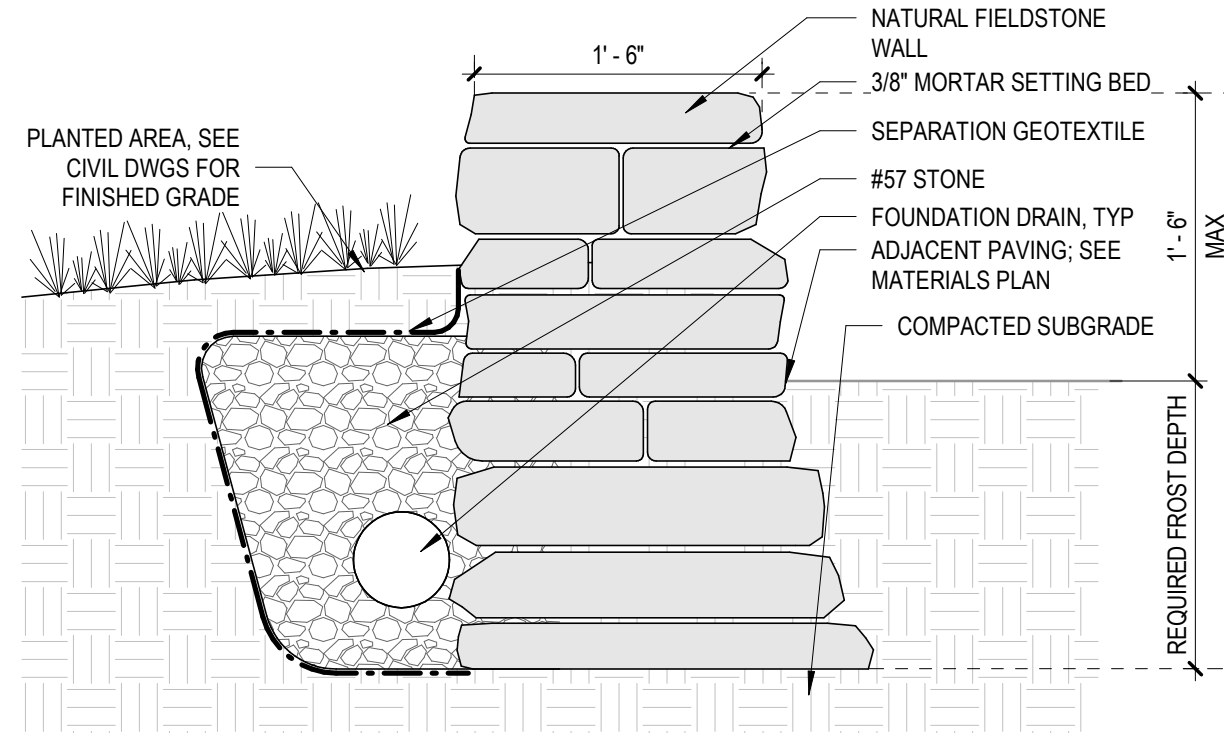


MATERIAL AND
PLANTING PLAN -
F, G & H

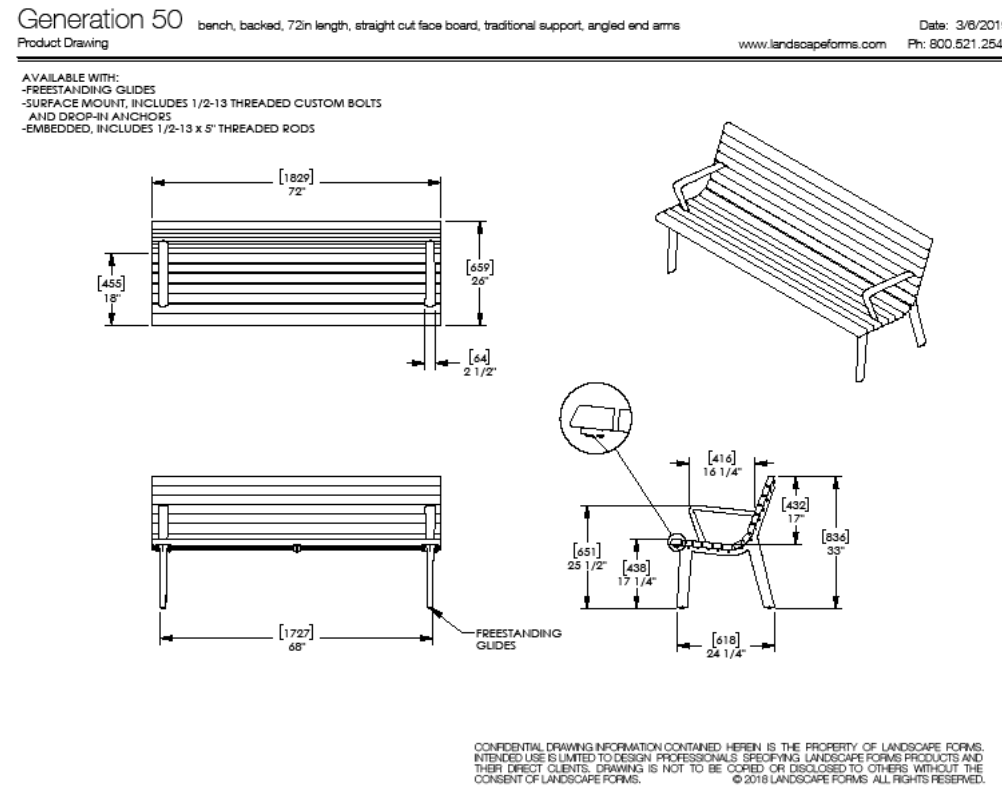
SHEET 19 OF 24

REDTAIL RIDGE FILING NO.1

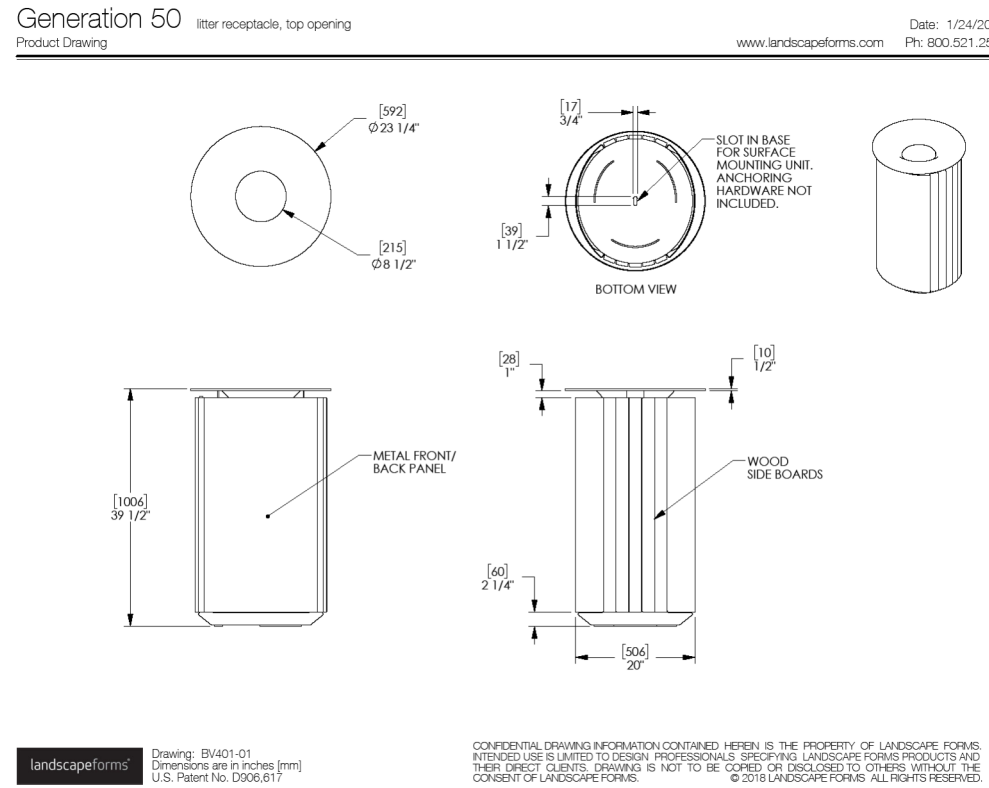
PLANNED UNIT DEVELOPMENT, LOT 1 BLOCK 1 & LOT 2 BLOCK 1
SITUATED IN THE SOUTH HALF OF SECTION 20 AND THE NORTH HALF OF SECTION 29,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CASE #: PUPL-XXXX-2023



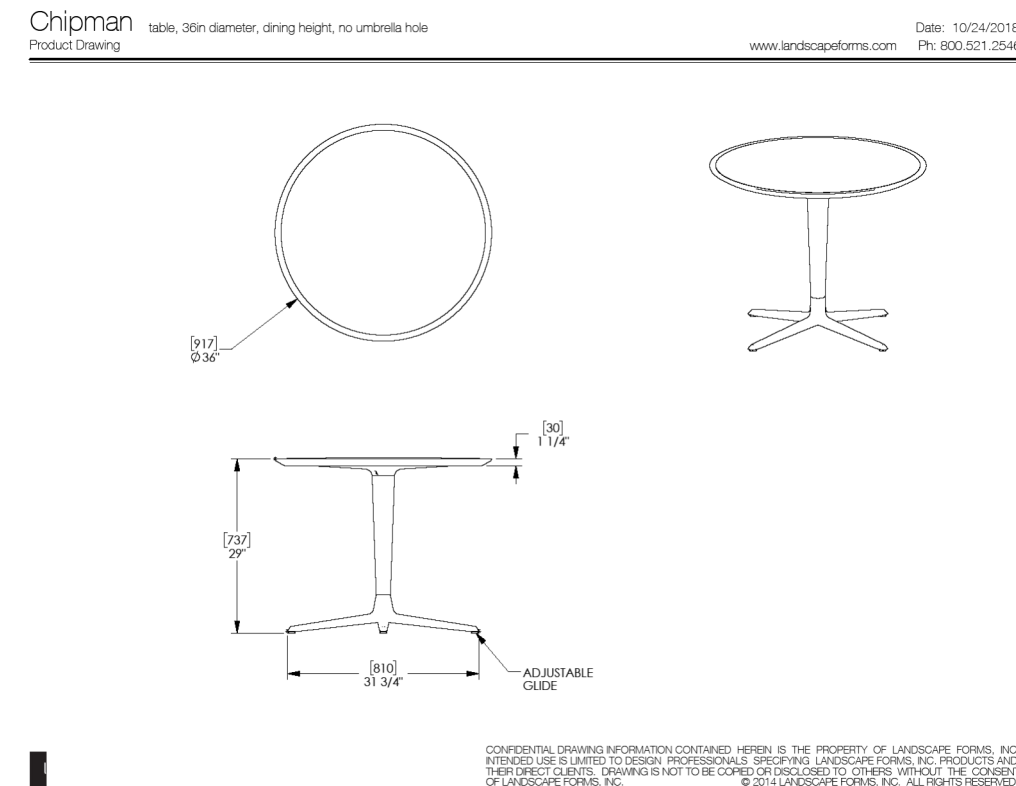
10 NATURAL FIELDSTONE SEAT WALL
1" = 1'-0"



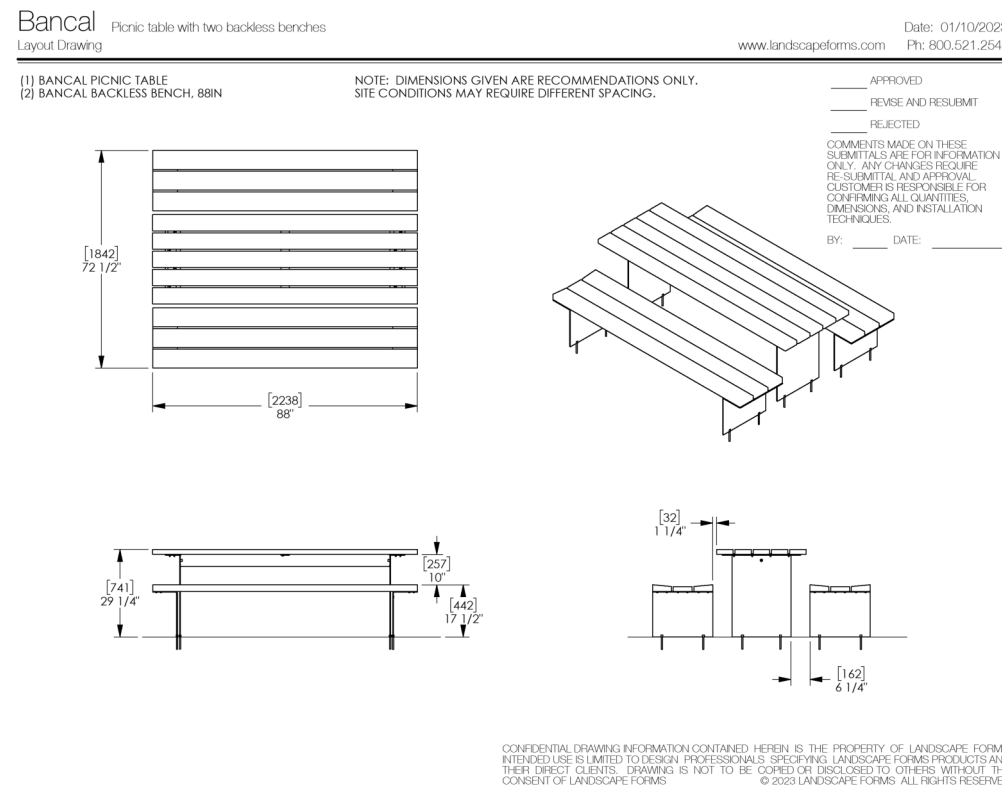
9 BENCH - FS1 - A
1/2" = 1'-0"



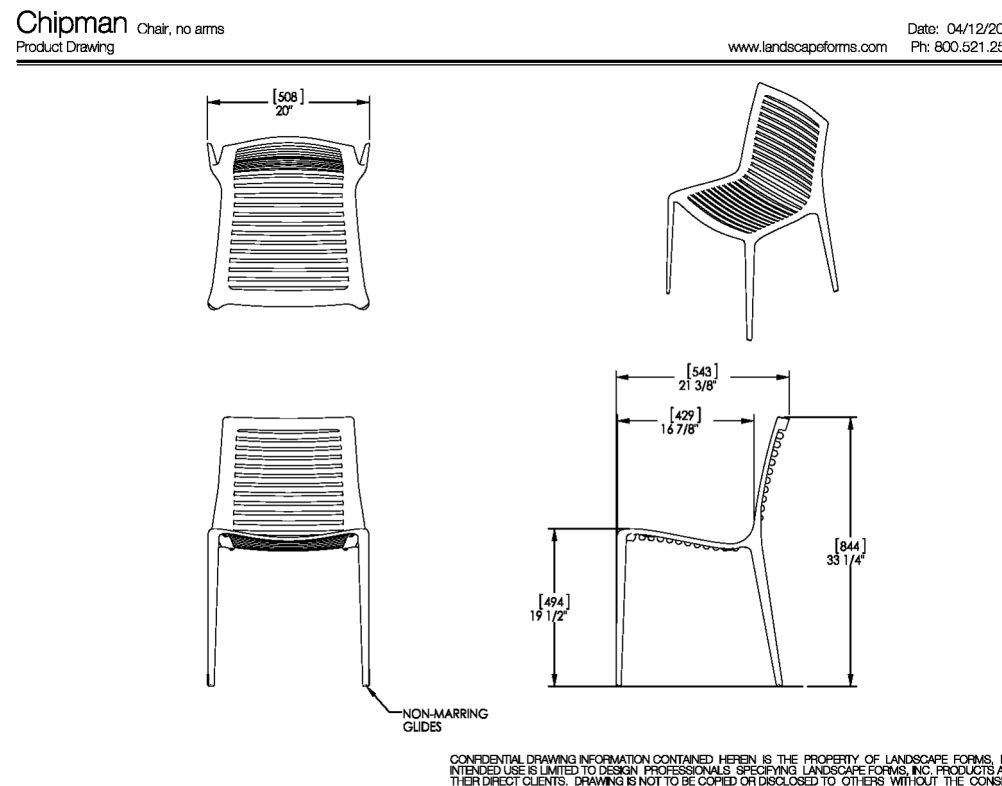
8 LITTER RECEPTACLE - FA3
1/2" = 1'-0"



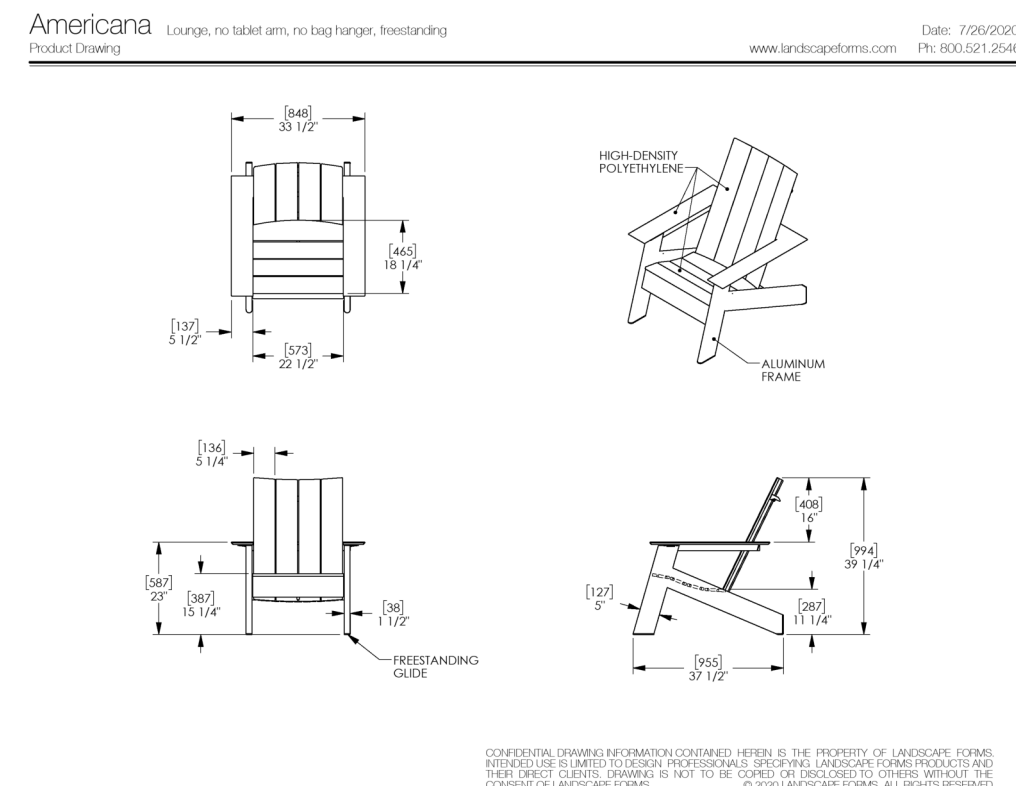
7 DINING TABLE - FS3
1/2" = 1'-0"



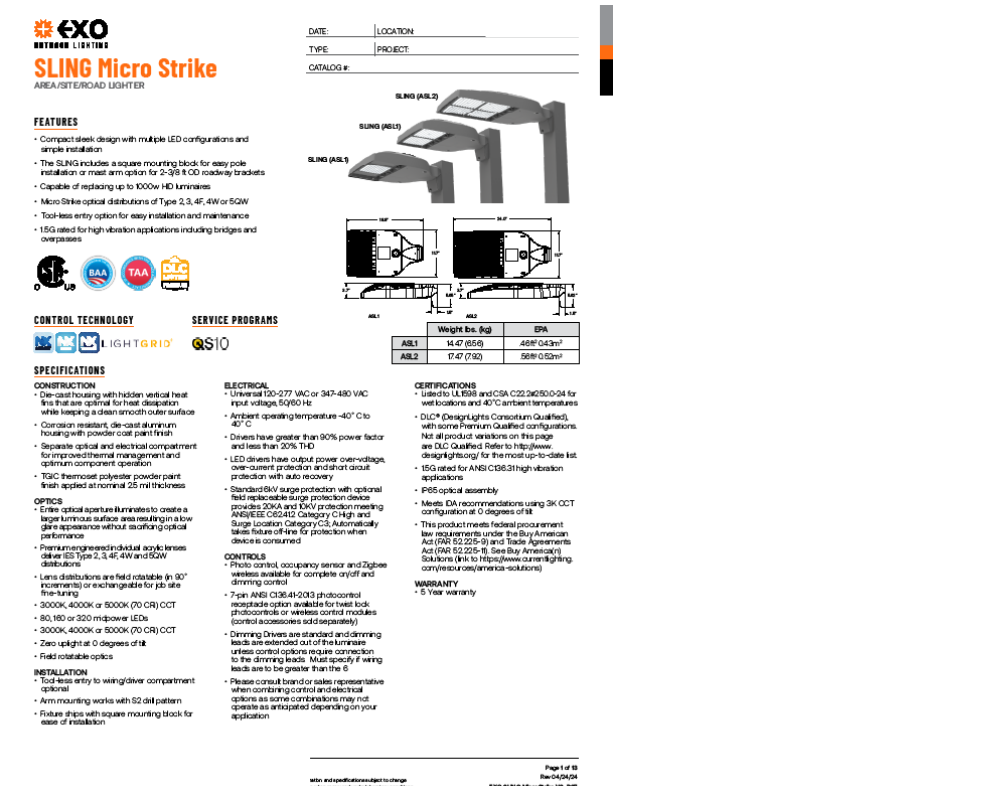
6 PICNIC TABLE SET 2 - FS2 - B
1/2" = 1'-0"



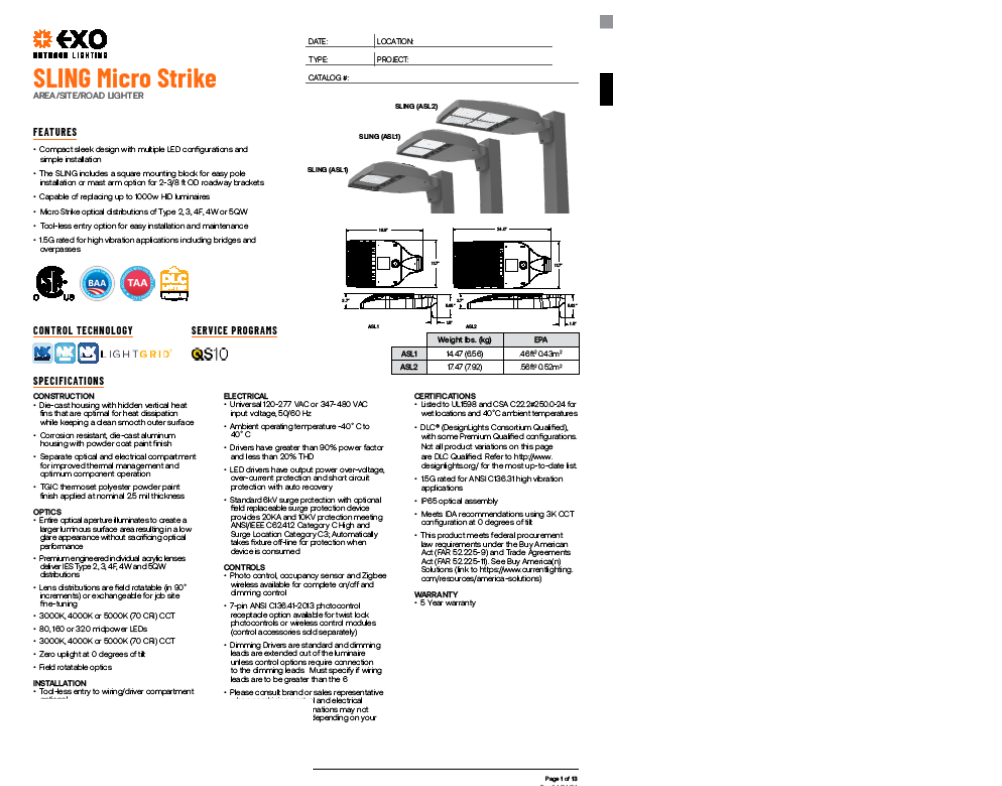
5 DINING CHAIR - FS4 - B
1/2" = 1'-0"



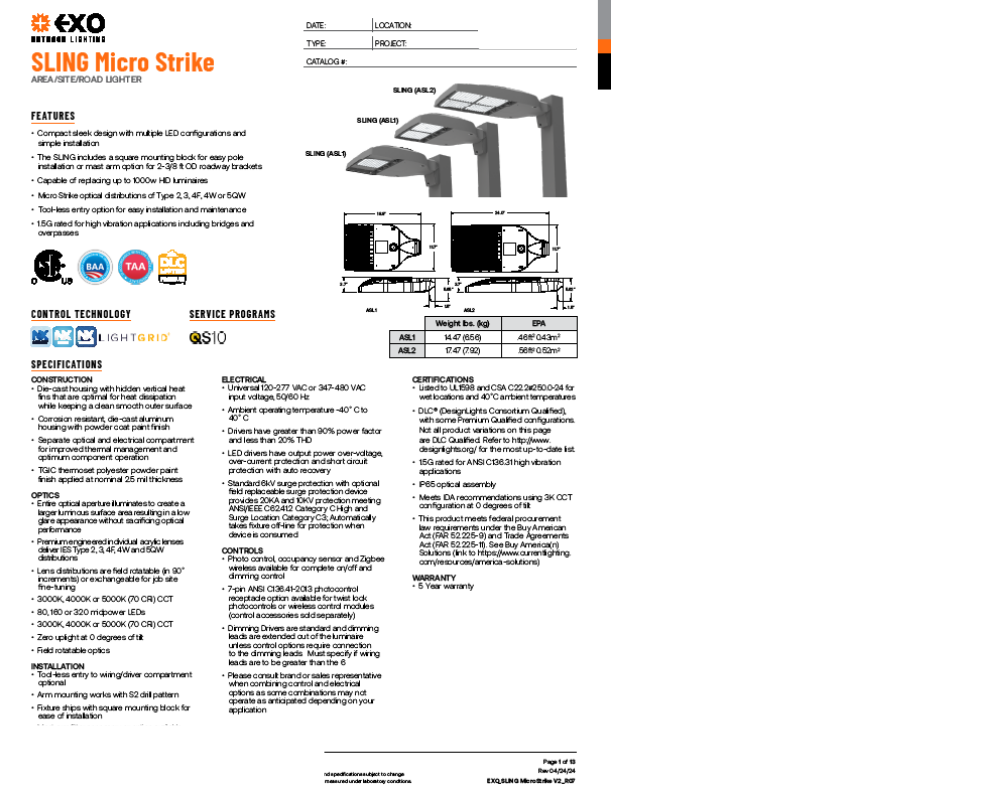
4 LOUNGE CHAIR - FS4 - A
1/2" = 1'-0"



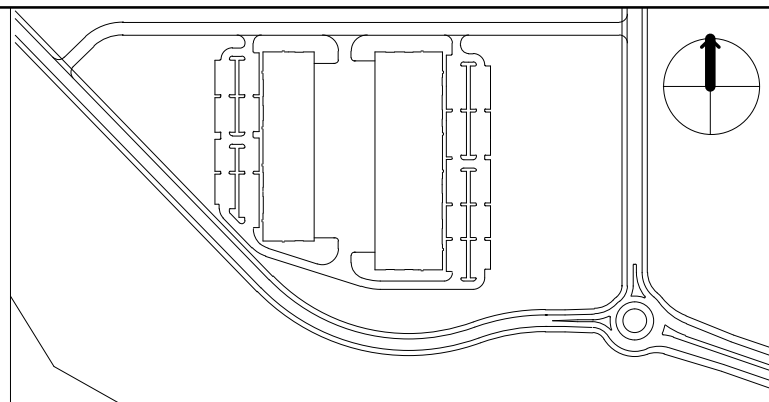
3 PEDESTRIAN POLE LIGHT - LE1 - C
1/2" = 1'-0"



2 VEHICULAR POLE LIGHT - LE1 - B
1/2" = 1'-0"

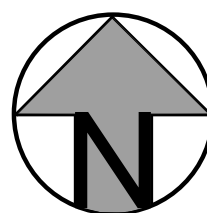


1 VEHICULAR POLE LIGHT - LE1 - A
1/2" = 1'-0"



KEY MAP
1" = 600'

SITE FURNITURE & LIGHTING SCHEDULE			
LEGEND	QUANTITY	TAG	TYPE
	5	FA3	LITTER RECEPTACLE
	1	FS1 - A	BENCH
	9	FS2 - B	PICNIC TABLE SET 2
	9	FS3	DINING TABLE
	35	FS4 - A	LOUNGE CHAIR
	33	FS4 - B	DINING CHAIR
	26	LE1 - A	SINGLE SIDED VEHICULAR POLE LIGHT
	23	LE1 - B	DOUBLE SIDED VEHICULAR POLE LIGHT
	14	LE1 - C	PEDESTRIAN POLE LIGHT



SITE FURNISHING
DETAILS

REVISION DATE:

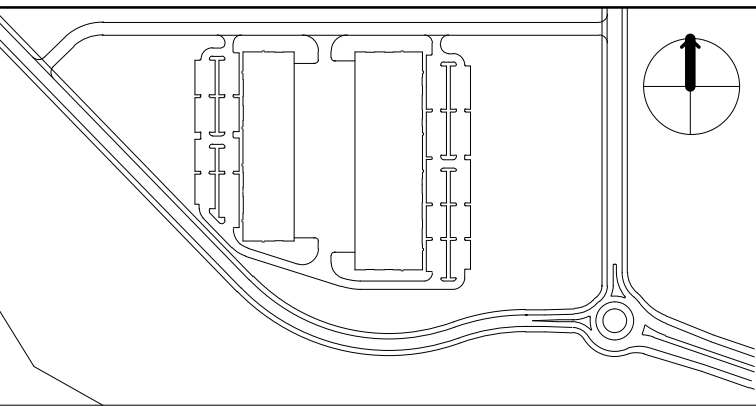
ISSUE DATE: 03/14/2025

SHEET 20 OF 24

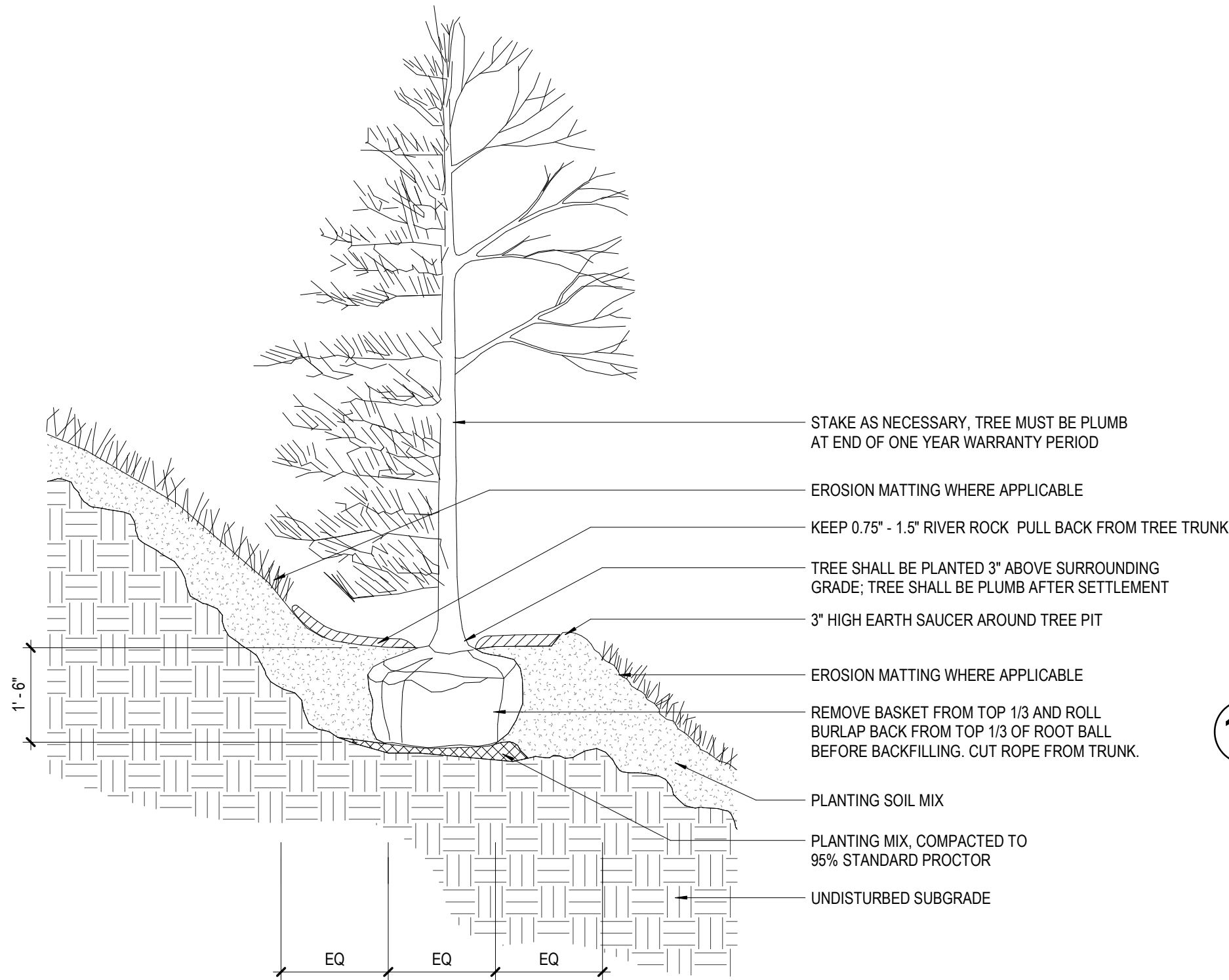
REDTAIL RIDGE PUD1 SOUTH

REDTAIL RIDGE FILING NO.1

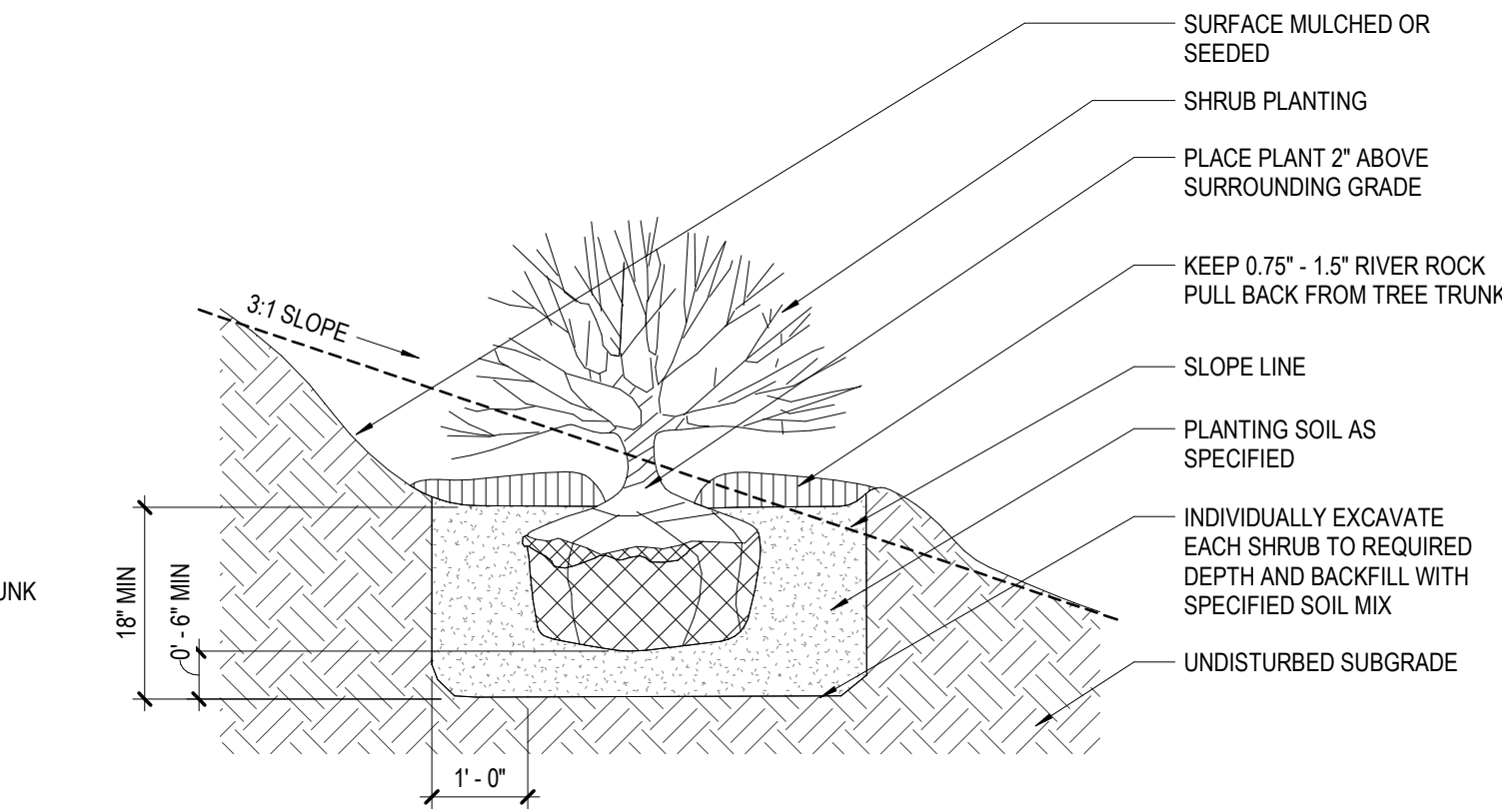
PLANNED UNIT DEVELOPMENT, LOT 1 BLOCK 1 & LOT 2 BLOCK 1
SITUATED IN THE SOUTH HALF OF SECTION 20 AND THE NORTH HALF OF SECTION 29,
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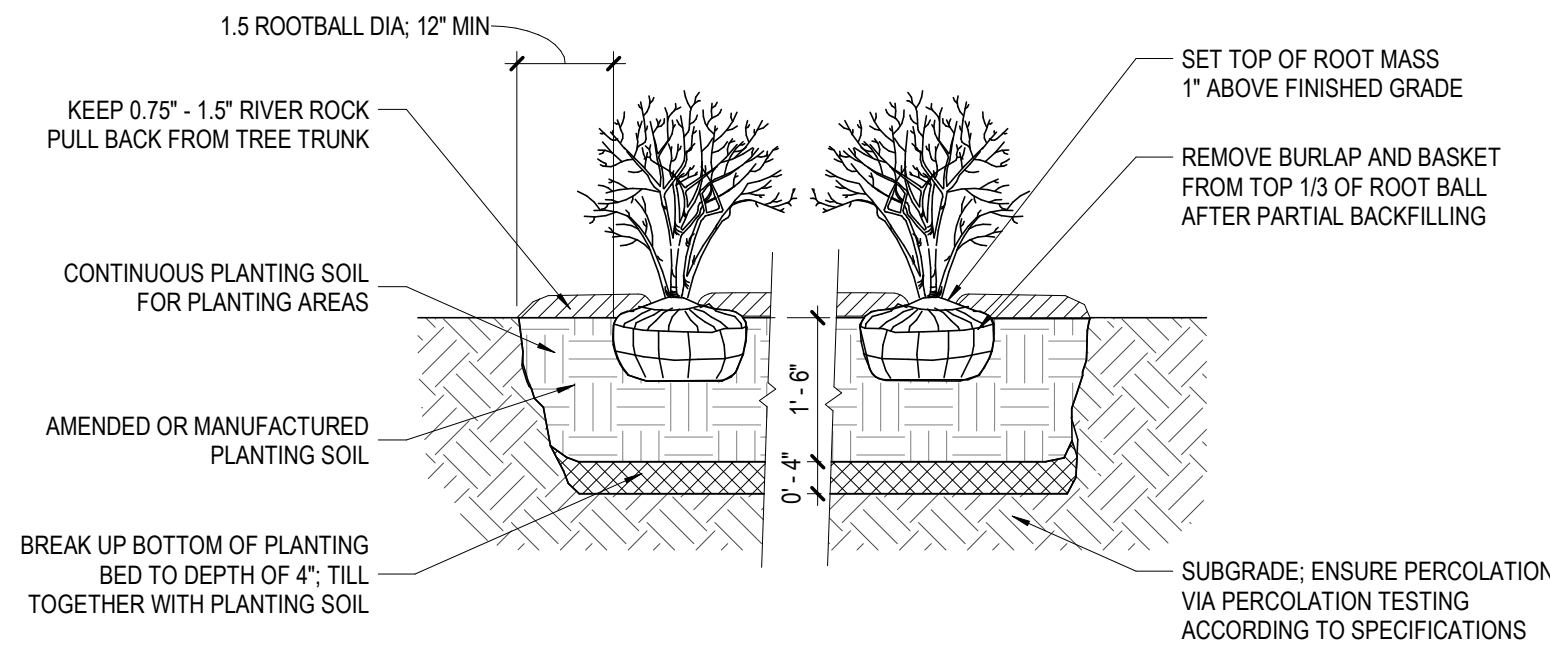
KEY MAP
1" = 600'



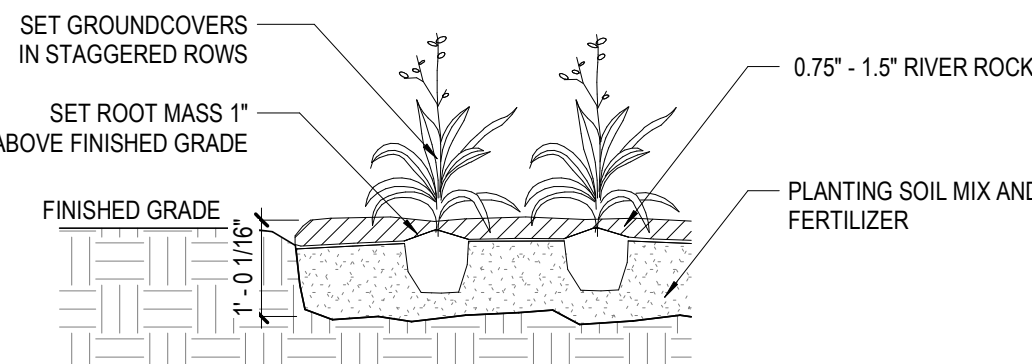
7 TREE PLANTING ON SLOPE
1/2" = 1'-0"



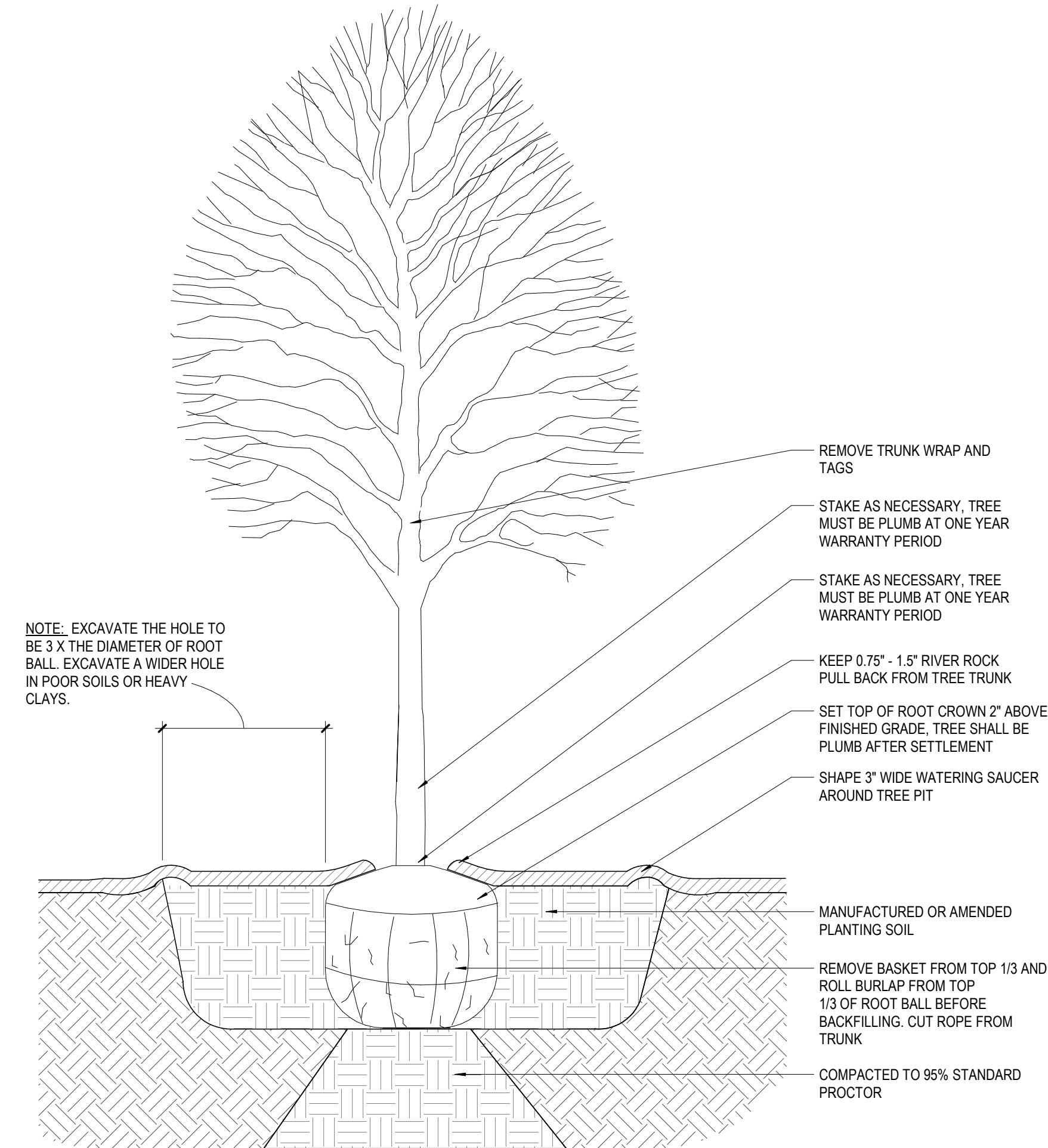
11 SHRUB PLANTING ON SLOPE
1/2" = 1'-0"



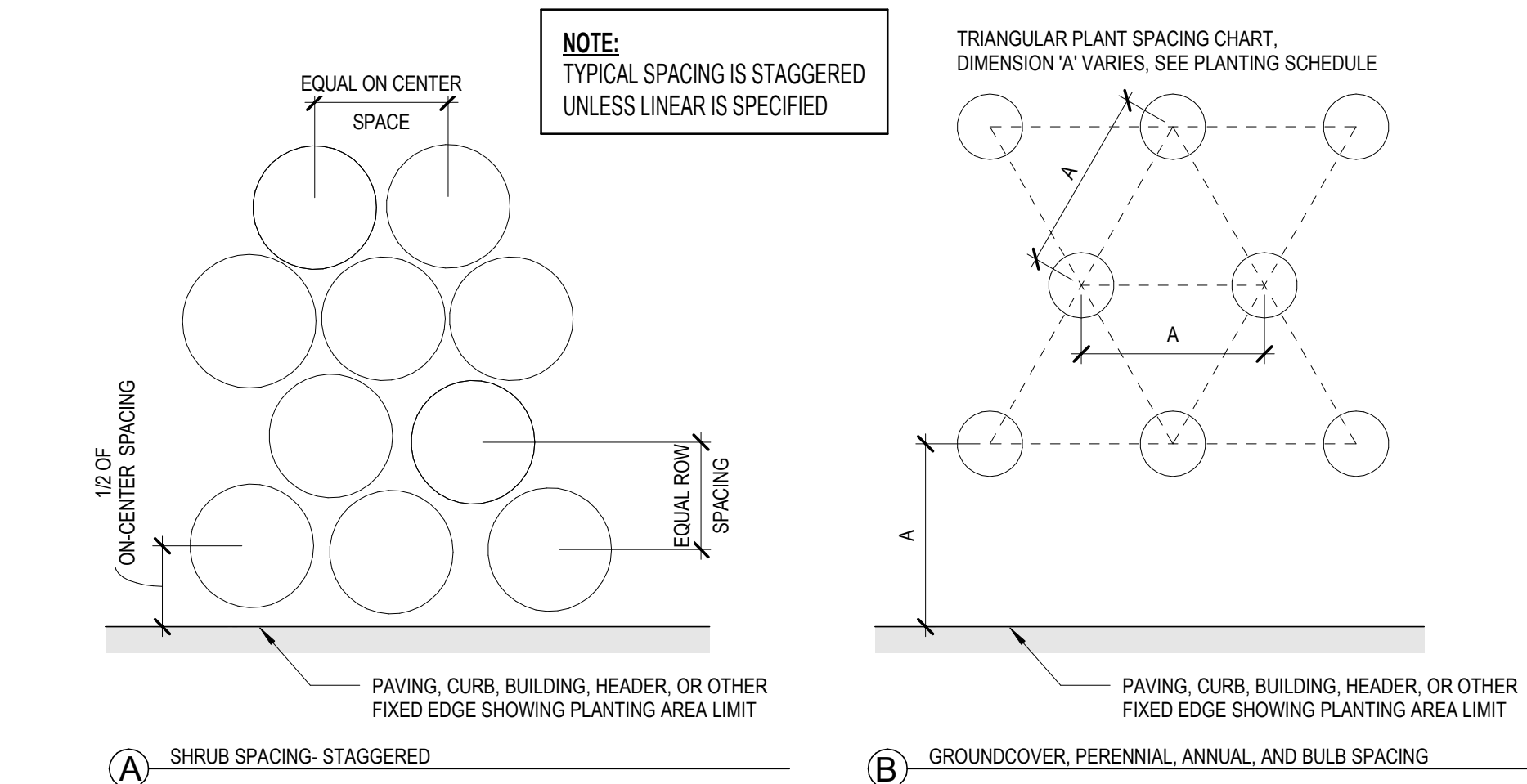
9 TYPICAL SHRUB PLANTING AT GRADE
1/2" = 1'-0"



8 TYPICAL GROUNDCOVER PLANTING
1/2" = 1'-0"



10 TYPICAL TREE PLANTING AT GRADE
1/2" = 1'-0"



1 PLANT SPACING
1/2" = 1'-0"

CLEAN AND MULCH NOTES:

1. THE CONTRACTOR SHALL CLEAR AND GRUB ALL WEEDS, DEAD TREES, TREES ONE (1) INCH CALIPER OR LESS AND OTHER SELECT TREES UP TO FOUR (4) INCH CALIPER AS DETERMINED IN THE FIELD IN THE TREE SAVE AREAS INDICATED ON THE DRAWINGS.
2. A THREE (3) INCH MINIMUM LAYER OF MULCH SHALL BE SPREAD OVER THE ENTIRE CLEARED AREA.
3. THE CONTRACTOR WILL NOTIFY THE ARCHITECT PRIOR TO START OF THE CLEAN AND MULCH WORK.
4. THE ARCHITECT WILL VERIFY SCOPE OF WORK IN FIELD WITH THE CONTRACTOR PRIOR TO THE START OF WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS FROM CLEAN-UP OPERATIONS FROM THE SITE.

GENERAL PLANTING NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL: FREE OF PESTS & DISEASES.
2. ALL PLANTS MUST BE CONTAINER-GROWN (CONT.) OR BALLED AND BURLAPPED (B&B) AS INDICATED IN PLANT LIST.
3. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED, & MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT & THE OWNER BEFORE, DURING, & AFTER INSTALLATION.
5. ALL TREES MUST BE GUYYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES & SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY & ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDED BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC...) OF ALL PLANTING AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ARCHITECT AND OWNER.
10. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END GUARANTEE PERIOD (AS DIRECTED BY THE OWNER).
11. THE ARCHITECT WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.

REVISION DATE:

ISSUE DATE: 03/14/2025

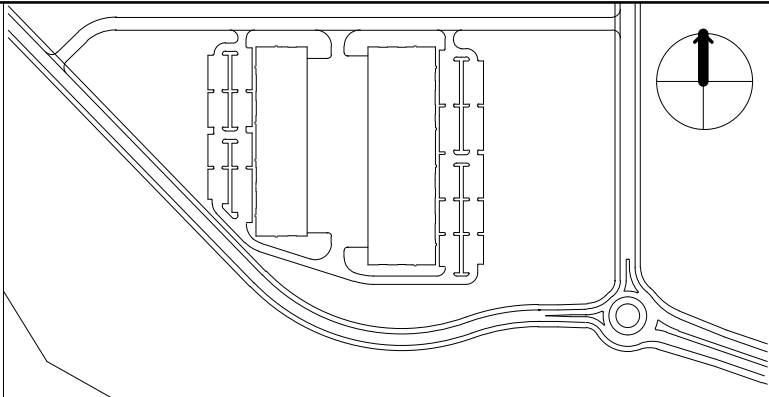
SHEET 21 OF 24

PLANTING DETAILS

REDTAIL RIDGE PUD1 SOUTH

REDTAIL RIDGE FILING NO.1

PLANNED UNIT DEVELOPMENT, LOT 1 BLOCK 1 & LOT 2 BLOCK 1
SITUATED IN THE SOUTH HALF OF SECTION 20 AND THE NORTH HALF OF SECTION 29,
TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CASE #: PUPL-XXXX-2023



KEY MAP
1" = 600'

TREE & SHRUB PLANTING SCHEDULE							
QTY	CODE	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	SPACING	COMMENTS
SHRUB							
114	ACLA	ACHILLEA LANULOSA	MOUNTAIN YARROW	1 GAL	B&B	18"	FULL, WELL BRANCHED
25	ARAF	ARTEMESIA FILLIFOLIA	SAND SAGE	5 GAL	B&B	48"	FULL, WELL BRANCHED
10	ASAC	ASTER ASCENDENS	WESTERN ASTER	1 GAL	B&B	18"	FULL, WELL BRANCHED
165	ASTU	ASCLEPIA TUBEROSA	BUTTERFLY WEED	1 GAL	B&B	18"	FULL, WELL BRANCHED
1284	BGBA	BOUTELOUA GRACILIS 'BLOND AMBITION BLUE'	GRAMA GRASS	1 GAL	B&B	18"	FULL, WELL BRANCHED
187	CAIN	CALLIRHOE INVOLUCRATA	POPPY MALLOW	1 GAL	B&B	18"	FULL, WELL BRANCHED
31	CHMI	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	5 GAL	B&B	5"	FULL, WELL BRANCHED
825	CHNA	CHRYSOTHAMNUS NAUSEOSUS VAR NAUSEOSUS	DWARF RABBITBRUSH	5 GAL	B&B	36"	FULL, WELL BRANCHED
225	ENPE	ENGELLMANIA PERSISTENA	ENGELLMAN DAISY	1 GAL	B&B	18"	FULL, WELL BRANCHED
199	FEPa	FELLUGIA PARADOXA	APACHE PLUME	5 GAL	B&B	36"	FULL, WELL BRANCHED
206	GAAR	GAILLARDIA ARISTATA	BLANKET FLOWER	1 GAL	B&B	18"	FULL, WELL BRANCHED
391	HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	B&B	36"	FULL, WELL BRANCHED
29	LILG	LIATRIS LIGULISTYLUS	ROCKY MOUNTAIN GAYFEATHER	1 GAL	B&B	18"	FULL, WELL BRANCHED
370	MARE	MAHONIA REPENS	CREEPING GRAPE HOLLY	5 GAL	B&B	30"	FULL, WELL BRANCHED
166	MURE	MUHLENBERGIA REVERCHONII 'UNDAUNTED'	UNDAUNTED RUBY MUHLY GRASS	3 GAL	B&B	30"	FULL, WELL BRANCHED
16	OEMA	OENOTHERA MACROCARPA	EVENING PRIMROSE	1 GAL	B&B	18"	FULL, WELL BRANCHED
423	PBSC	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	5 GAL	B&B	48"	FULL, WELL BRANCHED
37	PESR	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	1 GAL	B&B	18"	FULL, WELL BRANCHED
146	PEST	PENSTEMON BARBARATUS	SCARLET BUGLAR	1 GAL	B&B	18"	FULL, WELL BRANCHED
267	PHOP	PHYSOCARPUS OPULIFOLIUS 'NANA'	DWARF NINEBARK	1 GAL	B&B	24"	FULL, WELL BRANCHED
84	RACO	RATIBIDA COLUMNIFERA	PRAIRIE CONEFLOWER	1 GAL	B&B	18"	FULL, WELL BRANCHED
456	RHAR	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GAL	B&B	36"	FULL, WELL BRANCHED
387	RHAR2	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GAL	B&B	48"	FULL, WELL BRANCHED
113	RIAU	RIBES AUREUM	GOLDEN CURRANT	5 GAL	B&B	42"	FULL, WELL BRANCHED
221	RUHI	RUDBECKIA HIRTA	BLACK EYED SUSAN	1 GAL	B&B	18"	FULL, WELL BRANCHED
844	SCSC	SCHIZACYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM GRASS	1 GAL	B&B	18"	FULL, WELL BRANCHED
114	SEGR	SALVIA GREGGI 'FURMAN'S RED'	AUTUMN SAGE	1 GAL	B&B	18"	FULL, WELL BRANCHED
1389	SPHE	SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSEED	1 GAL	B&B	18"	FULL, WELL BRANCHED
61	SPHE2	SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSEED	1 GAL	B&B	24"	FULL, WELL BRANCHED
53	TAME	TAXUS X MEDIA ' DENSIFORMIS'	DENSIFORMIS YEW	5 GAL	B&B	42"	FULL, WELL BRANCHED
1491	YUGL	YUCCA GLAUCA	SOAPWEED	5 GAL	B&B	30"	FULL, WELL BRANCHED

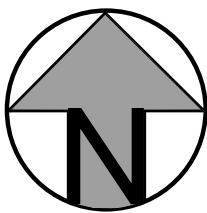
TREE							
27	AC GL	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	2.5" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
20	ACFR	ACER FREMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	4" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
17	AMGR	AMELANCHIER 'GRANDIFLORA X 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	10' HT.	B&B	AS SHOWN	FULL, WELL BRANCHED
17	CE OC	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE HACKBERRY	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
12	CECA	CERCIS CANADENSIS	REDBUD	2.5" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
57	CRCR	CRATAEGUS CRUS-GALLI 'INERMIS'	INERMIS COCKSPUR HAWTHORN	2.5" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED, MIN. 4' CLEAR TRUNK
23	GIBI	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
6	GLTR	GLEDITSIA TRIACANTHOSE	THORNLESS HONEY LOCUST	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
154	GLTRh	GLEDITSIA TRIACANTHOS INERMIS 'HARVEST TM'	NORTHERN ACCLAIM HONEYLOCUST	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
1	GLTRs	GLEDITSIA TRIACANTHOS F. INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
83	GYDI	GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
15	JUSC	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	10' HT.	B&B	AS SHOWN	FULL, WELL BRANCHED
2	KOPA	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
34	PIPI	PINUS EDULIS	PINION PINE	10' HT.	B&B	AS SHOWN	FULL, WELL BRANCHED
52	PIPO	PINUS PONDEROSA	PONDEROSA PINE	10' HT.	B&B	AS SHOWN	FULL, WELL BRANCHED
9	PRVI	PRUNUS VIRGINIANA	CHOKECHERRY	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
7	QUBI	QUERCUS BICOLOR	SWAMP WHITE OAK	6" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
156	QUMA	QUERCUS MACROCARPA	BURR OAK	4" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
56	QUMU	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	4" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
27	QUSH	QUERCUS SHUMARDII	SHUMARD OAK	4" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
3	QUSH- L	QUERCUS SHUMARDII	SHUMARD OAK	6" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED
24	SOJA	SOPHORA JAPONICA	JAPANESE PAGODA TREE	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED, 5' CLEAR TRUNK
23	TIAM	TILIA AMERICANA	BASSWOOD	3" CAL	B&B	AS SHOWN	FULL, WELL BRANCHED

SHRUB & GROUNDCOVER PLANTING SCHEDULE				
Area	CODE	SCIENTIFIC NAME	COMMON NAME	COMMENTS
GRASS/FORB				
204930.56 SF	BUDA	BUCHLOE DACTYLOIDES	BUFFALOGRASS	SOD
18850.83 SF	SHORTGRASS PRAIRIE MIX	BUCHLOE DACTYLOIDES	BUFFALOGRASS	SOD
2454.80 SF	BUDA			
505800.41 SF	SHORTGRASS PRAIRIE MIX			<varies>
16139.16 SF	SHRUBS			

PLANTING LEGEND

SHORTGRASS PRAIRIE MIX

BUFFALO GRASS



PLANTING
SCHEDULE

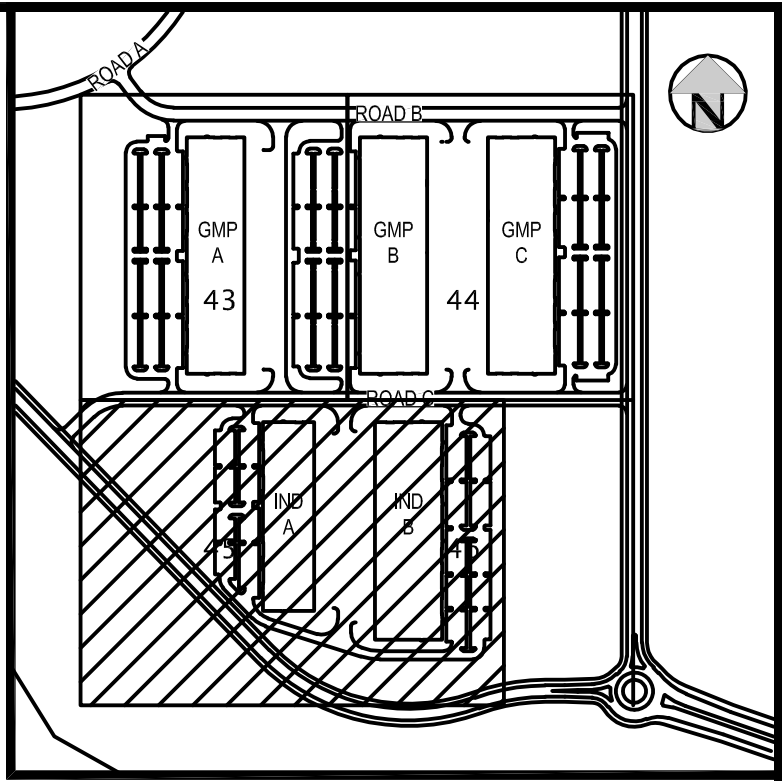
REDTAIL RIDGE FILING NO. 1

PLANNED UNIT DEVELOPMENT

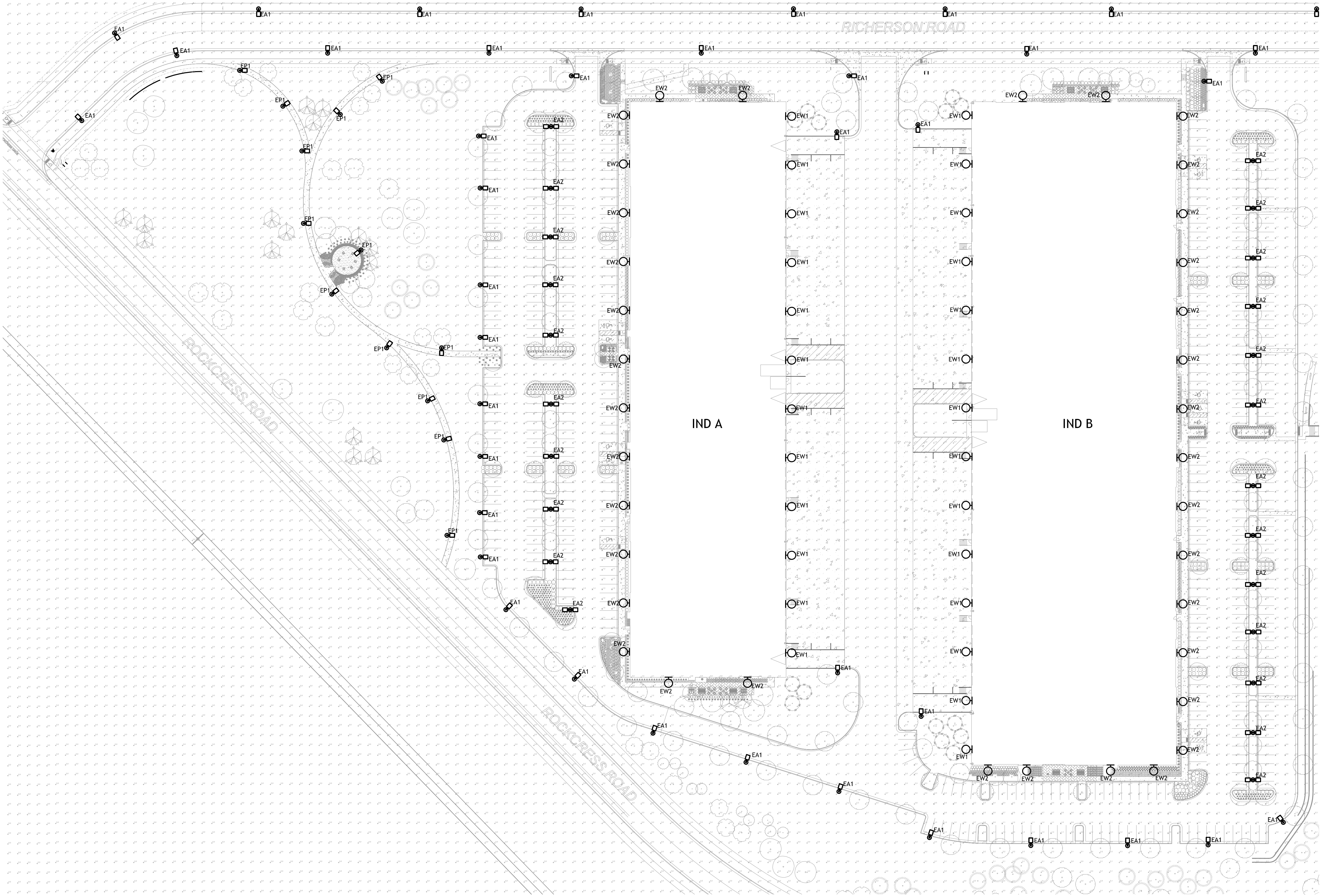
LOT 1 BLOCK 1

SITUATED IN THE SOUTH HALF OF SECTION 20 AND THE NORTH HALF OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CASE #: PUPL-XXXX-2023

AE DESIGN
Integrated Lighting and Electrical Solutions
1900 Wazee Street #205 | Denver, CO 80202 | 303.296.1034
aedesign-inc.com Project #: 60777.00



KEY MAP
SCALE: 1" = 600'

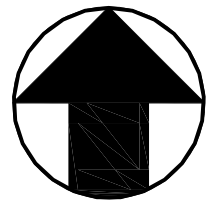


- GENERAL NOTES**
- A. ALL SITE LIGHTING RELATED TO WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
 - B. PER LOUISVILLE MUNICIPAL CODE ALL STREET LIGHTS SHALL NOT EXCEED 20'-0" TOTAL POLE HEIGHT.
 - C. ALL BUILDING-MOUNTED AND POLE-MOUNTED LIGHTING SHALL BE DIRECTED DOWNWARD AND IS FULL CUTOFF. ALL LIGHT SOURCES SHALL BE FULLY SHIELDED SO THE LIGHT SOURCE IS NOT VISIBLE FROM ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY, AND TO PREVENT GLARE. ALL LIGHT FIXTURES ARE DARK SKY COMPLIANT AND MEET LED BUG RATING REQUIREMENT AS DEFINED IN IES TM-15-II OF NO MORE THAN B2-U2-G2.
 - D. REFER TO LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL LIGHTING FIXTURE MOUNTING HEIGHTS AND OVERALL FIXTURE HEIGHTS.
 - E. PER IES HANDBOOK STREET LIGHTING DESIGN CRITERIA THIS SITE IS CONSIDERED A LOCAL STREET WITH LOW PEDESTRIAN ACTIVITY.
 - F. IN LOCAL LOW ACTIVITY THE LIGHTING SHALL PROVIDE AT LEAST A 0.3 FC AVG LUMINANCE PER THE IES HANDBOOK FOR STREET LIGHTING.
 - G. PER LOUISVILLE MUNICIPAL CODE PARKING LOTS SHALL HAVE A MAX LIGHT LEVEL OF 4.5 FOOT-CANDLES.
 - H. PER LOUISVILLE MUNICIPAL CODE PEDESTRIAN WALKWAYS SHALL HAVE A MAX LIGHT LEVEL OF 3.0 FOOT-CANDLES.
 - I. PER LOUISVILLE MUNICIPAL CODE DRIVES SHALL HAVE A MAX LIGHT LEVEL OF 5 FOOT-CANDLES.

LIGHTING FIXTURES

○ WALL MOUNTED LUMINAIRE
□ EXTERIOR AREA LIGHT

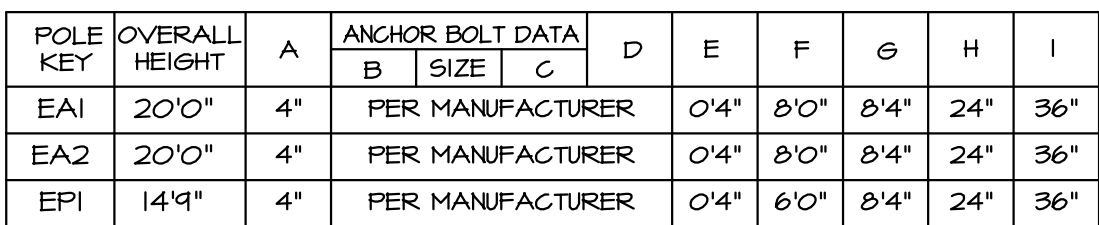
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
IND A PARKING LOT	X	1.7 fc	3.2 fc	0.6 fc	5.3:1	2.8:1
IND B PARKING LOT	X	1.5 fc	3.2 fc	0.2 fc	16.0:1	7.5:1
INTERNAL ROAD B	X	1.1 fc	1.7 fc	0.3 fc	5.7:1	3.7:1
COUNCIL RING PATHWAY	X	1.4 fc	2.6 fc	0.4 fc	6.5:1	3.5:1



50 0 50 100
SCALE: 1" = 50'

LOT 1 BLOCK 1

CASE #: PUPL-XXXX-2023



SCALE: NONE

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFG) - ABOVE FINISHED FLOOR (GRADE), RFD - WALL FIXTURE DEPTH

GENERAL NOTES:

- A. ALL LED LAMPS AND/OR FIXTURES SHALL BE 3000K COLOR TEMPERATURE AND A MINIMUM OF 82CRI, UNO.
- B. ALL REFLECTOR LAMPS SHALL BE PROVIDED AS HIDE FLOOD DISTRIBUTION UNO.
- C. PROVIDE LUMINAIRES SHOWN AS SHADED WITH FACTORY INSTALLED 90 MINUTE EMERGENCY BATTERY OR OTHER REMOTE POWER SOURCE UNO. EMERGENCY LUMINAIRES SHALL SENSE UN-SWITCHED POWER TO THE SPATIAL AND OPERATE AUTOMATICALLY UPON LOSS OF NORMAL POWER. ALL EMERGENCY LUMINAIRES SHALL HAVE AN INTEGRAL TEST SWITCH AND VISIBLE INDICATOR LIGHT. CONNECT THE EMERGENCY BATTERY TO THE UN-SWITCHED LEG OF THE LIGHTING CIRCUIT INDICATED.
- D. LUMENS LISTED ARE DELIVERED LUMENS, NOT INITIAL.
- E. FOR ALL SPECIFIED LUMINAIRES, THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MOUNTING HARDWARE, ACCESSORIES, COMPONENTS, LEADER/JUMPER CABLES, WIRE FEE, ETC. CONNECTORS, END CONNECTORS, POWER SUPPLIES, AND ANY OTHER NECESSARY COMPONENT AS REQUIRED FOR INSTALLING A SECURE AND FULLY FUNCTIONAL SYSTEM.
- F. THE CONTRACTOR SHALL VERIFY THE CEILING TYPE BEFORE ORDERING LIGHT FIXTURES TO ENSURE COMPATIBILITY WITH SPECIFIED FIXTURES. NOTIFY SPECIFICATION OF ANY DISCREPANCIES.
- G. ALL FINISH SELECTIONS SHALL BE VERIFIED BY ARCHITECT/INTERIOR DESIGNER/OWNER AS PART OF THE SUBMITTAL PROCESS. UNLESS OTHERWISE NOTED, EC SHALL ASSUME STANDARD LUMINAIRE FINISH OPTION FOR FINISHES.
- H. EC SHALL VERIFY ALL FIXTURE MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ANY ROUGH-IN.
- I. TYPICAL FOR ALL LIGHT FIXTURES WITH DESIGNATION STARTING WITH 'M': FIXTURES ARE SHOWN FOR REFERENCE ONLY. FIXTURE SELECTIONS AND SPECIFICATIONS SHALL BE PROVIDED BY THE ARCHITECT AND/OR INTERIOR DESIGNER. EC SHALL COORDINATE EXACT MOUNTING LOCATION, MOUNTING HEIGHT, MATTAGE, AND DIMMING PROTOCOL WITH ARCHITECT / INTERIOR DESIGNER, LIGHTING CONSULTANT, AND/OR ELECTRICAL ENGINEER PRIOR TO INSTALLATION.
- J. REMOTE DRIVER(S)/TRANSFORMER(S) SHALL BE LOCATED IN A CONCEALED, ACCESSIBLE, AND VENTILATED LOCATION AS PROPOSED BY THE EC AND APPROVED BY THE ARCHITECT. REFER TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MINIMUM REQUIRED CLEARANCES FROM ADJACENT MATERIALS, AND WIRING REQUIREMENTS TO PREVENT VOLTAGE DROP.
- K. EXCEED MANUFACTURER'S RECOMMENDATIONS REGARDING WIRE SIZE AND CIRCUMFERENCE WITHIN WIRING LEVATHS.
- L. FOR LUMINAIRES SPECIFIED WITH 0-10V DIMMING, 0-10V DIMMING DRIVERS ARE REQUIRED. ADDITIONAL LOW VOLTAGE CONTROL WIRES IN ADDITION TO STANDARD WIRING FOR POWER.
- M. EXTERIOR LUMINAIRES SHALL BE COLD WEATHER RATED FOR 0 DEG. F TO -10 DEG. C, AND RATED FOR OUTDOOR USE.

